

DOUGLAS PLACE ESTATES SUBDIVISION

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Correct the Subdivision Name to include "Resubdivision of LOT 4 & 5 Audubon Cove, PH 1".
- C. Provide a graphic scale.
- D. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- E. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- F. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- G. It is recommended that the applicant provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures.
- H. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Urban Forestry: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Traffic Engineering Comments: Lot is limited to one curb cut to Higgins Road, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

MAWSS Comments: MAWSS has only sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 1-lot, 0.6± acre subdivision which is located on the South side of Higgins Road, 385'± mile West of Belle Isle Lane within Council District 4. The applicant states that the subdivision is served by city water and sanitary sewer. The purpose of this application is to create one legal lot of record from two legal lots of record.

The proposed lot fronts Higgins Road, a minor street without curb and gutter. As a minor street without curb and gutter, this street requires a 60' wide right-of-way width. The existing right-of-way width is depicted as 50', thus dedication is required to provide 30' from the centerline.

The 25-foot minimum building setback line is depicted on the preliminary plat, and should be retained on the Final Plat, if approved.

As a means of access management, a note should be placed on the Final Plat stating that the lot is limited to the one curb cut to Higgins Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

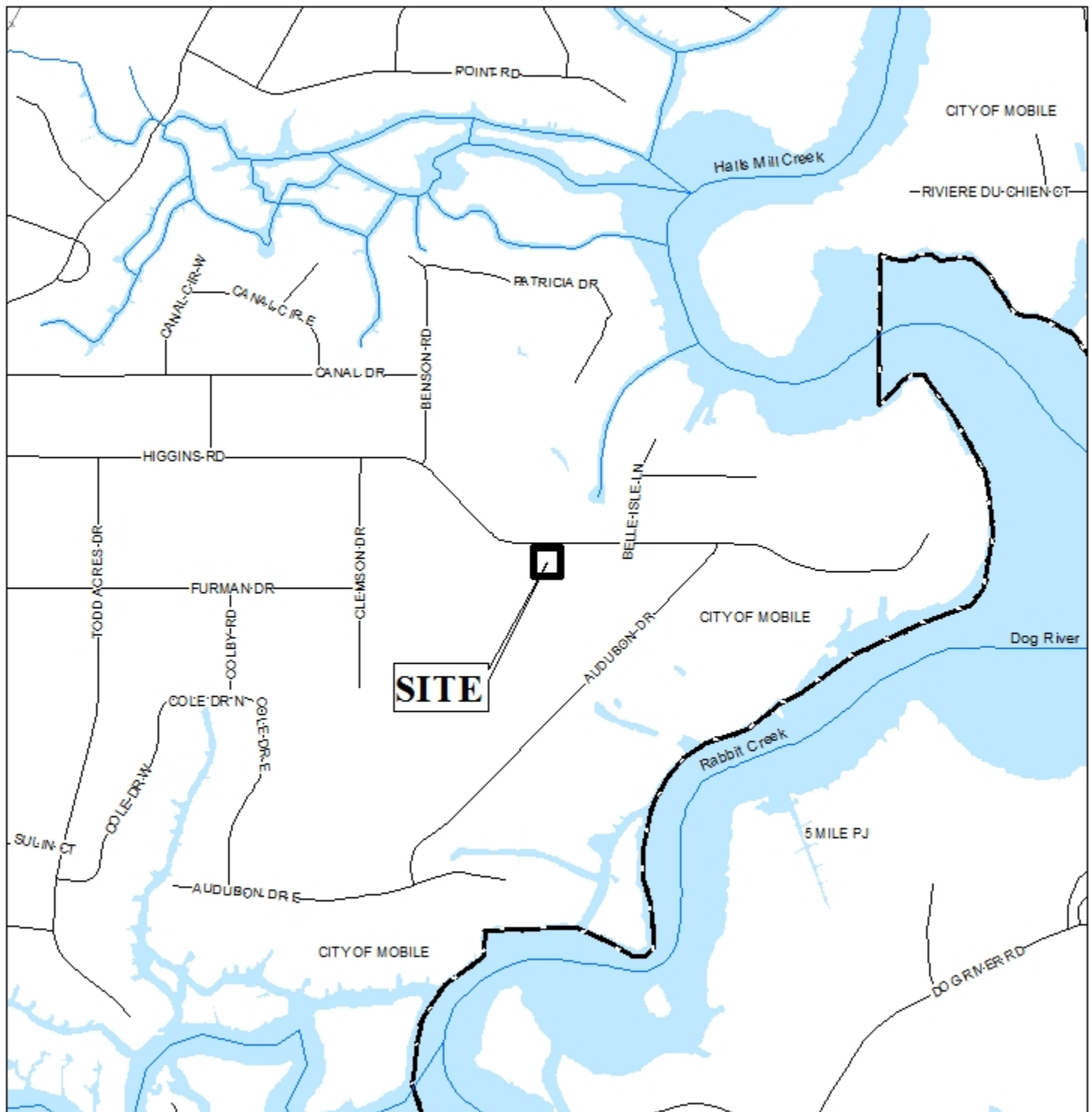
The preliminary plat does not depict the proposed lot size in square feet or in acres as required by Section V.D.2. of the Subdivision Regulations. This information should be indicated on the Final Plat, if approved.

Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Dedication to provide 30' from the centerline of Higgins Road;
- 2) Retention of the 25' minimum building setback along Higgins Road;
- 3) Placement of a note on the Final Plat to state that the lot is limited to one curb cut to Higgins Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 4) Revision of the Final Plat to depict the lot size in square feet and in acres;
- 5) Compliance with Engineering comments (*The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:*
A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Correct the Subdivision Name to include "Resubdivision of LOT 4 & 5 Audubon Cove, PH 1". C. Provide a graphic scale. D. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. E. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. F.. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. G. It is recommended that the applicant provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures. H. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);
- 6) Compliance with Traffic Engineering comments (*Lot is limited to one curb cut to Higgins Road, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*

- 7) Compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).*); and
- 8) Placement of a note and compliance with Fire Department comments (*All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).*).

LOCATOR MAP



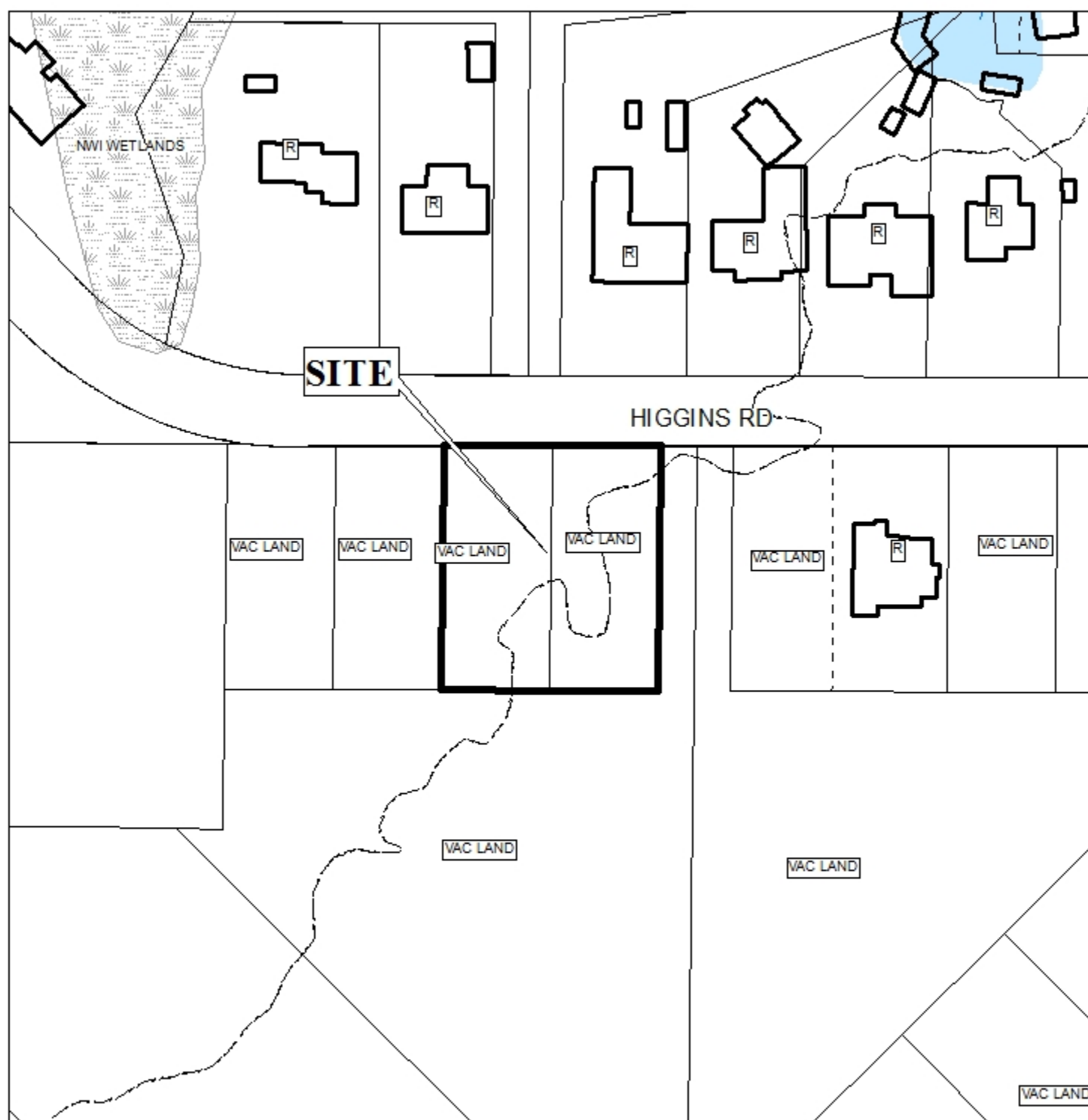
APPLICATION NUMBER 3 DATE October 15, 2015

APPLICANT Douglas Place Estates Subdivision

REQUEST Subdivision



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



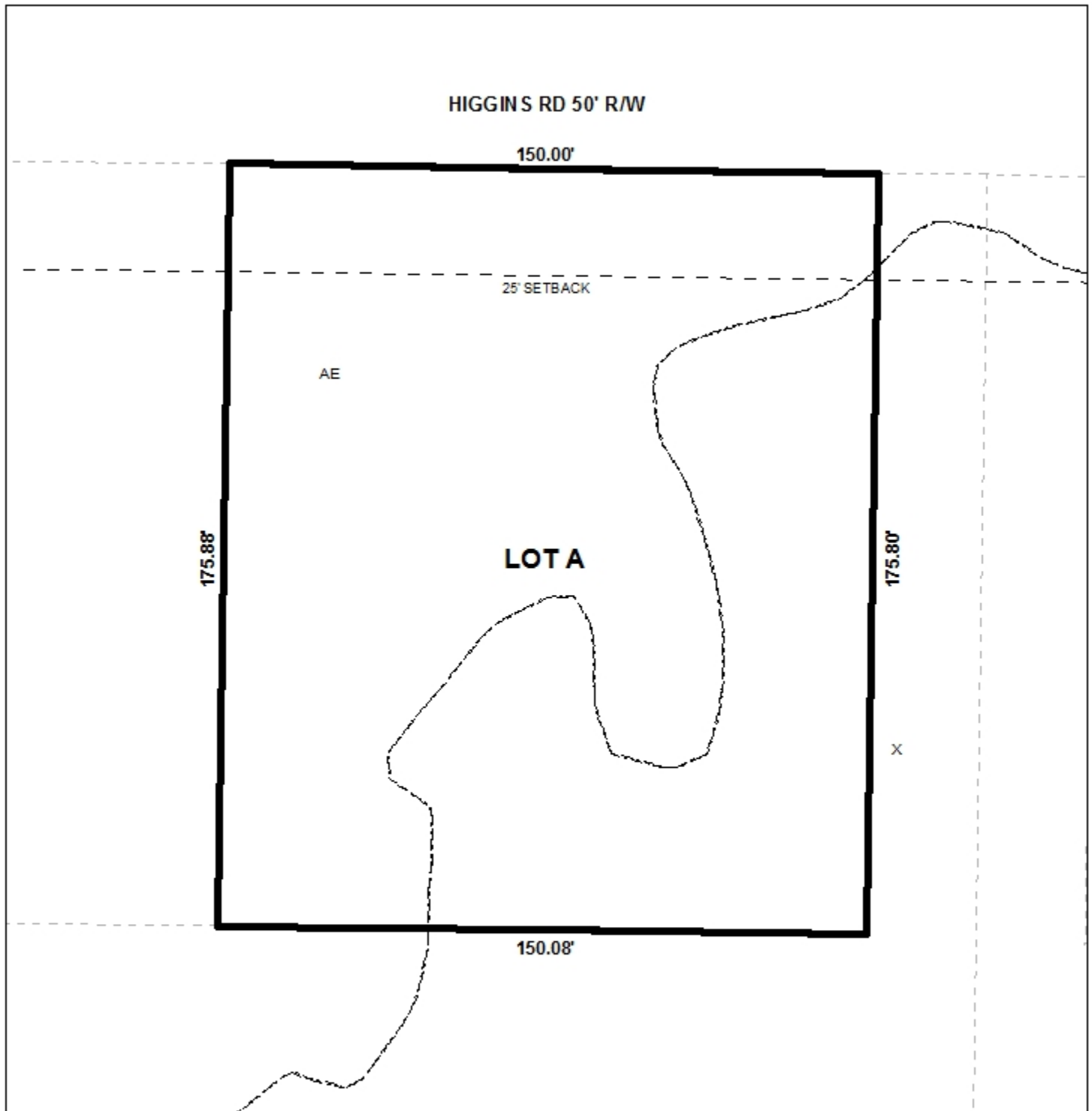
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DETAIL SITE PLAN



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APPLICANT Douglas Place Estates Subdivision

REQUEST Subdivision

