

## **ALTA SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until a Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 3.3± acre, three-lot subdivision, which is located on the East side of Schillinger Road North, extending from Old Shell Road to Avenue G. The applicant states that the site is served by public water and sanitary sewer; however, based on MAWSS comments above, the applicant must submit proof that Lot A is served by public water and/or sanitary sewer, and that Lot C is served by both public water *and* sanitary sewer, prior to signing the final plat. This is due to recent State changes that require public water *and* sanitary sewer service for lots with 15,000 square feet or less; and public water *or* sanitary sewer service for lots with 15,000 to 40,000 square feet.

The purpose of the application is to create three new lots from 53 lots of record.

The site fronts Schillinger Road North, a planned major street with a varying right-of-way, which is 100 feet wide at the narrowest point near the site; Avenue G, a dirt road (public right-of-way, but not County-maintained) with a 40-foot right-of-way; and Old Shell Road, with a 60-foot right-of-way.

As Old Shell Road is a planned major street with a widening project underway, dedication sufficient to provide 50 feet from the centerline should be required. In addition, Avenue G is substandard in width and construction, so dedication sufficient to provide 30 feet from the centerline should also be required; and access should be denied to Avenue G until it is constructed to County Engineering standards. The plat also indicates dedication of a radius for the slip lane at Old Shell Road and Schillinger Road; the dedicated 25-foot turning radius should be adjusted to align with the other dedication along Old Shell Road.

As a means of access management, the site should be limited to three curb cuts to Schillinger Road and two curb cuts to Old Shell Road, with size, location, and design subject to County Engineering approval.

The plat also shows the site including the right-of-way of Tanner Road, a County-maintained dirt road which presently has a 40-foot right-of-way. Approval of the subdivision would be conditional on completion of the right-of-way vacation process.

The site is presently developed with several commercial facilities, four of which would be on a single lot, proposed Lot B. As the site is in the County, this configuration may not present a problem, and it does not violate any specific aspect of the Subdivision Regulations; however, it is not clear whether this would satisfy all other agency standards. Therefore, it will be the

applicant's responsibility to determine whether the existing buildings may remain on a single lot, and to ensure compliance with other applicable codes.

Because the site is located in the County, any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

Based on the preceding, this application is recommended for Tentative Approval, subject to the following conditions: 1) submission of proof that Lot A is served by public water and/or sanitary sewer, and that Lot C is served by both public water *and* sanitary sewer, prior to signing the final plat; 2) dedication sufficient to provide 50 feet from the centerline of Old Shell Road; 3) dedication of sufficient right-of-way to provide 30 feet from the centerline of Avenue G; 4) the placement of a note on the final plat stating that the site is denied direct access to Avenue G until it is constructed to County Engineering standards; 5) the placement of a note on the final plat stating that the site is limited to three curb cuts to Schillinger Road and two curb cuts to Old Shell Road, with size, location, and design subject to County Engineering approval; 6) the dedication of a 25-foot turning radius at Schillinger and Old Shell Roads, to align with the other dedicated right-of-way along Old Shell Road; 7) completion of the vacation process for Tanner Road; 8) that the site be developed in compliance with applicable State or County codes, with regard to existing and new construction allowable on a single lot of record; and 9) the placement of a note on the final plat stating that any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

## LOCATOR MAP



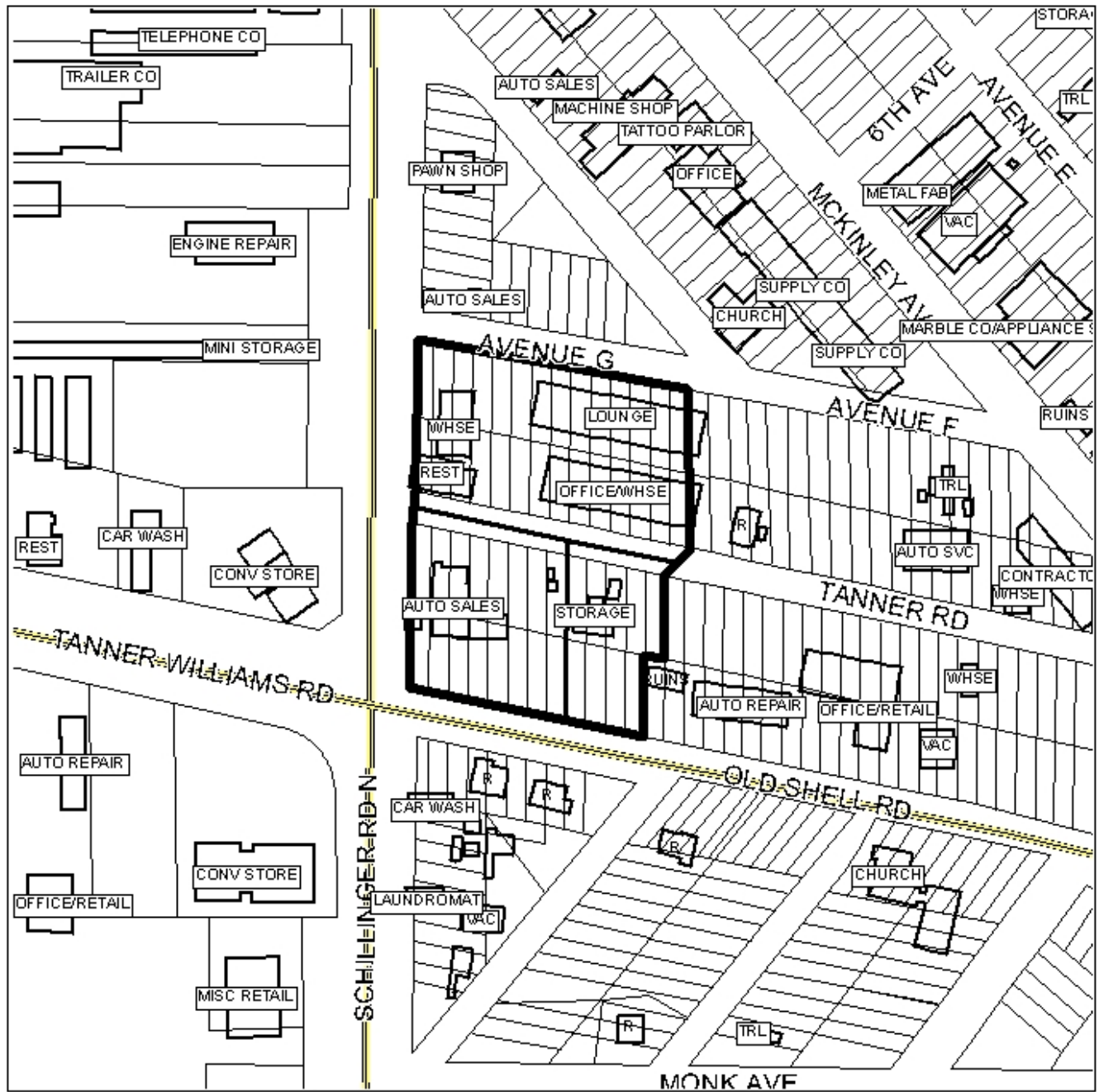
APPLICATION NUMBER 3 DATE June 15, 2006

APPLICANT Alta Subdivision

REQUEST Subdivision



# ALTA SUBDIVISION



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LEGEND 

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



NTS