



## Agenda Item # 3 SUB-002698-2023

View additional details on this proposal and all application materials using the following link:

[Applicant Materials for Consideration](#)

### DETAILS

**Location:**

South side of Haul Road, 416'± East of Schillinger Road  
North

**Subdivision Name:**

Williams Willow Subdivision, Resubdivision of Lots 6 &  
7

**Applicant / Agent:**

Richard Williams / Justin Palmer, The Woodlands  
Group, Agent

**Property Owner:**

Richard Williams

**Current Zoning:**

R-1, Single-Family Residential Suburban District

**Future Land Use:**

Mixed Commercial Corridor

**Applicable Codes, Policies, and Plans:**

- Unified Development Code
- Subdivision Regulations
- Map for Mobile Comprehensive Plan

**Proposal:**

- Subdivision approval to shift property lines and create two (2) legal lots of record from two (2) existing legal lots of record.

**Commission Considerations:**

- Subdivision proposal with ten (10) conditions.

**Report Contents:**

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WILLIAMS WILLOW SUBDIVISION,  
RESUBDIVISION OF LOTS 6 & 7



APPLICATION NUMBER 3 DATE November 16, 2023



## SITE HISTORY

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The subject site was brought before the Planning Commission on September 2, 2004 for an 8-lot Subdivision, which was subsequently recorded in Probate Court. At that time the site was located in the County, but within the City's Planning Jurisdiction. The Planning Jurisdiction was altered to coincide with the city limit line in 2018. The site has been developed with various commercial and residential uses since at least 2006.

The site was annexed into Mobile City limits in July 2023 as part of Orchard Estates.

There have been no other Planning Commission or Board of Zoning Adjustment applications associated with the site.

## STAFF COMMENTS

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### Engineering Comments:

FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Review and revise the written legal description or written bearing for the west property line.
- C. Show and label the limits of the various Ingress/Egress easements.
- D. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo LOTS A & B will receive historical credit of existing (1984) impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control) as follows: LOT A – NONE and LOT B – NONE.
- E. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- F. Add a note that all existing and proposed detention facilities, common areas, and wetlands shall be the responsibility of the Property Owner(s), and not the responsibility of the City of Mobile.
- G. Delete the seventh and the ninth NOTES. Both mention Mobile County requirements/notes.
- H. Email a pdf copy of the FINAL SUBDIVISION PLAT and LETTER OF DECISION to the Permitting Engineering Dept. for review at [land.disturbance@cityofmobile.org](mailto:land.disturbance@cityofmobile.org) prior to obtaining any signatures. No signatures are required on the drawing.

### Traffic Engineering Comments:

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Article 3, Section 64-3-12 of the City's Unified Development Code.

### Urban Forestry Comments:

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.

## **Fire Department Comments:**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2021 International Fire Code). Fire apparatus access is required to be within 150' of all non-sprinklered commercial buildings and within 300' of all sprinklered commercial buildings. Fire water supply for all commercial buildings will be required to meet the guidance of Appendices B and C of the 2021 International Fire Code. The minimum requirement for fire hydrants is to be within 400' of non-sprinklered commercial buildings, within 600' of sprinklered commercial buildings, and within 100' of fire department connections (FDC) for both standpipes and sprinkler systems.

## **Planning Comments:**

The purpose of this application is to amend the subdivision plat recorded in 2004 to shift lot lines between Lots 6 and 7 in order to create two (2) legal lots of record, both with access to Haul Road. The site is served by public water and sanitary sewer.

Both Lot A and Lot B have proposed frontage on Haul Road, a recently annexed minor road without curb and gutter requiring a 60-foot right-of-way. The preliminary plat illustrates Haul Road as an unimproved gravel road with sub-standard 35-foot right-of-way. If approved, the plat should be revised to illustrate dedication sufficient to provide 30 feet from the centerline of Haul Road.

It should be noted that Haul Road as a minor street branches off of Schillinger Road, a Major street on the Major Street Plan and the entirety of Haul Road appears to be located on Mobile County property. Haul Road consists of approximately 300 linear feet of pavement from Schillinger Road Eastwardly, then transitions to gravel for approximately 500 linear feet along which the residential uses occur, including the subject site.

With regard to access, if approved, a note should be included on the Final Plat stating that Lots A and B cannot be further resubdivided until such time that direct access to a compliant, fully improved roadway can be provided.

The Preliminary Plat depicts both Lots A and B as irregular, flag-shaped lots. Per Section 6.C.9. of the Subdivision Regulations, flag shaped lots are generally not allowed. There are existing flag-shaped lots in the vicinity of the site, a number of which were approved by the Planning Commission under various subdivision requests. However, these lots provided direct access to a paved road. If approved, a waiver of Section 6.C.9. will be required.

The Preliminary Plat illustrates a non-compliant minimum building setback line for both Lots A and B. If approved, the Final Plat should be revised to illustrate a minimum building setback line located 25 feet from the point where each lot "balloons" out to a minimum width of 60 feet.

The proposed lots exceed the minimum size requirements of Article 2, Section 64-2-16 of the UDC for lots in an R-1, Single-Family Residential Suburban District. However, neither proposed lot is appropriately labeled and as such, the preliminary plat should be revised to depict the lot size labels in both square feet and acres on the Final Plat; or a table should be furnished on the Final Plat providing the same information.

Both Lot A and Lot B contain non-exclusive access and utility easements; however, as illustrated the location of said easements are not clearly depicted. Therefore, the easements should be clearly illustrated on the Final Plat, if approved. Additionally, a note should be required on the Final Plat, if approved, stating that no structure may be constructed or placed within any easement without the permission of the easement holder.

## SUBDIVISION CONSIDERATIONS

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### Standards of Review:

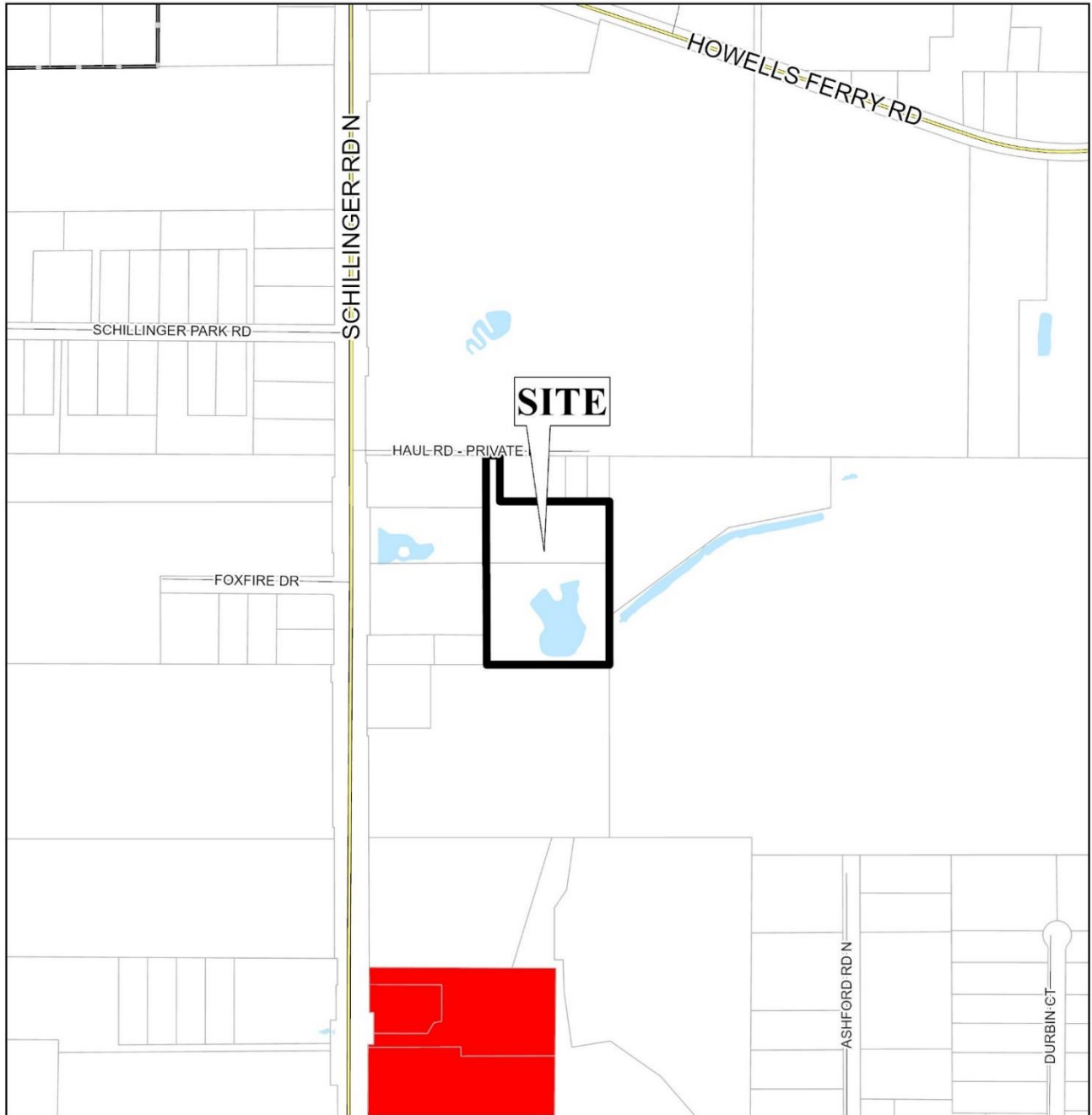
Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

### Considerations:

Based on the preceding, and with a waiver of Section 6.C.9. of the Subdivision Regulations, if the Subdivision request is considered for approval, the following conditions should apply:

1. Revision of the Final Plat to depict dedication sufficient to provide 30 feet from the centerline of Haul Road;
2. Revision of the Final Plat to illustrate the minimum building setback line for Lot A and Lot B to be located 25 feet from the point where each lot “balloons” out to a minimum width of 60 feet;
3. Revision of the Final Plat to depict lot size labels in both square feet and acres, or provision of a table on the Final Plat with the same information;
4. Revision of the Final Plat to clearly illustrate all easement locations;
5. Provision of a note on the Final Plat stating that no structure may be constructed or placed within any easement without the permission of the easement holder;
6. Provision of a note on the Final Plat stating that Lots A and B cannot be further resubdivided until such time that direct access to a compliant, fully improved roadway can be provided;
7. Compliance with all Engineering comments noted in this staff report;
8. Placement of a note on the Final Plat stating the Traffic Engineering comments noted in this staff report;
9. Compliance with all Urban Forestry comments noted in this staff report; and
10. Compliance with all Fire Department comments noted in this staff report.

# LOCATOR ZONING MAP

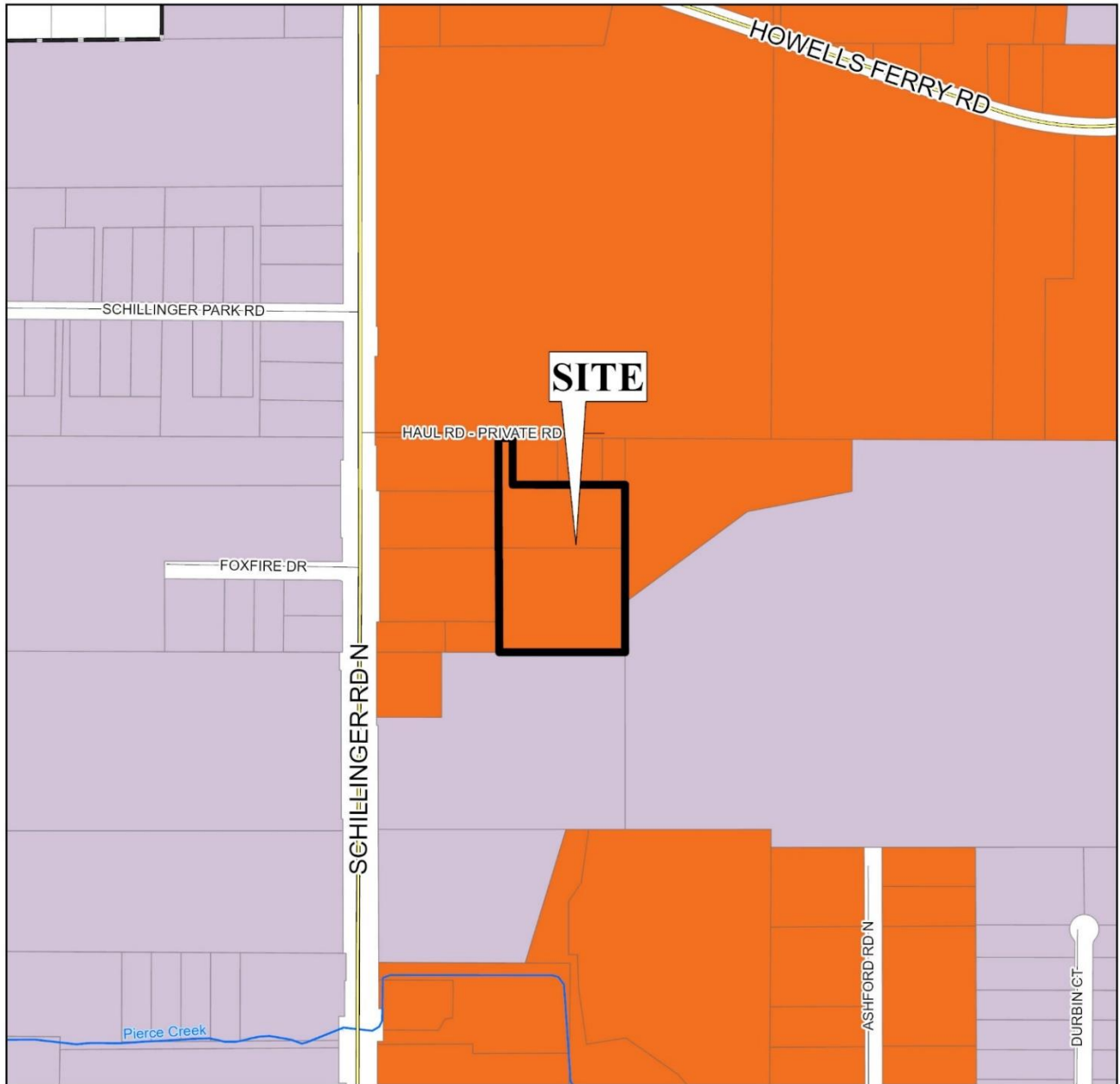


APPLICATION NUMBER <u>3</u> DATE <u>November 16, 2023</u>
APPLICANT <u>Williams Willow Subdivision, Resubdivision of Lots 6 &amp; 7</u>
REQUEST <u>Subdivision</u>



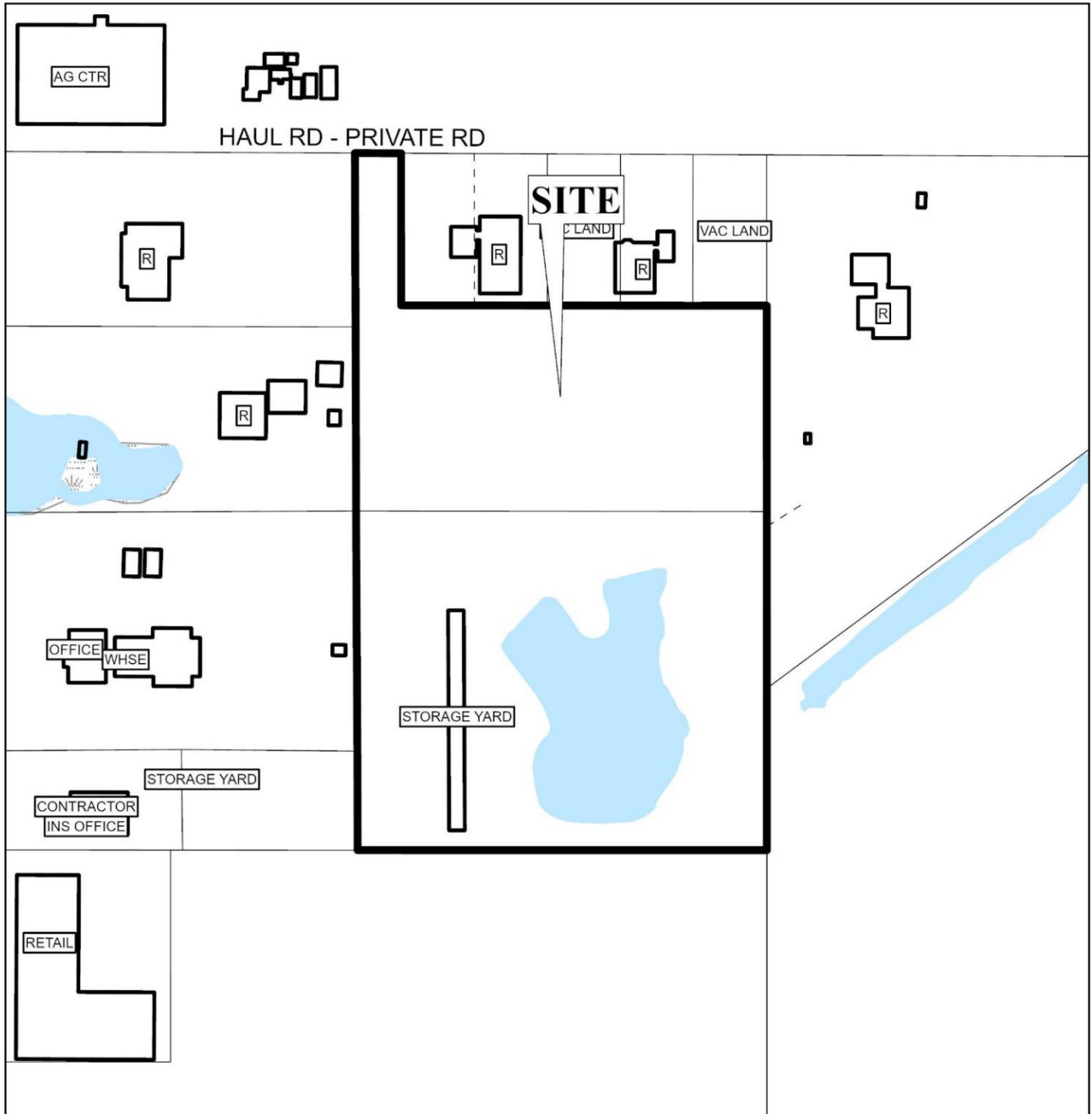
NTS

# FLUM LOCATOR MAP



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APPLICANT <u>Williams Willow Subdivision, Resubdivision of Lots 6 &amp; 7</u>			
REQUEST <u>Subdivision</u>			
<ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: yellow; border: 1px solid black;"></span> Low Density Residential</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: orange; border: 1px solid black;"></span> Mixed Density Residential</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: pink; border: 1px solid black;"></span> Downtown</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: red; border: 1px solid black;"></span> District Center</li> </ul>	<ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: brown; border: 1px solid black;"></span> Neighborhood Center - Traditional</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: blue; border: 1px solid black;"></span> Neighborhood Center - Suburban</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: lightpink; border: 1px solid black;"></span> Traditional Corridor</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: orange; border: 1px solid black;"></span> Mixed Commercial Corridor</li> </ul>	<ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: lightgrey; border: 1px solid black;"></span> Light Industry</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: purple; border: 1px solid black;"></span> Heavy Industry</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: lightblue; border: 1px solid black;"></span> Institutional</li> </ul>	<ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: lightgreen; border: 1px solid black;"></span> Parks &amp; Open Space</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: darkblue; border: 1px solid black;"></span> Water Dependent</li> </ul>

# WILLIAMS WILLOW SUBDIVISION, RESUBDIVISION OF LOTS 6 & 7



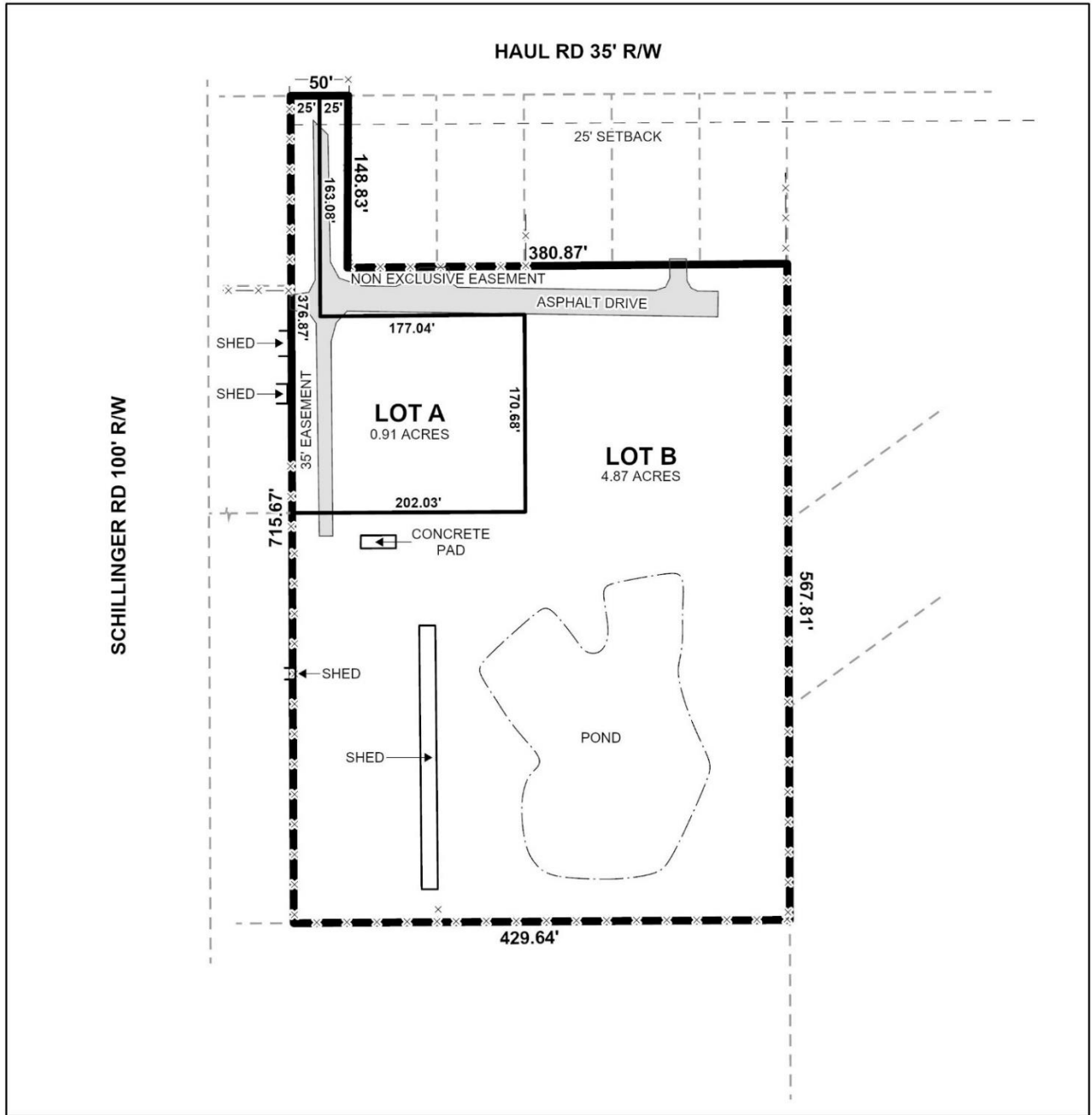
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R-A	R-3	B-1	B-2	B-5	ML	I-2	OPEN	T-3	T-5.2
R-1	R-B	T-B	B-3	CW	MH	PD	SD	T-4	T-6
R-2	H-B	LB-2	B-4	MM	I-1	MUN	SD-WH	T-5.1	





# SITE PLAN



APPLICATION NUMBER <u>3</u>	DATE <u>November 16, 2023</u>
APPLICANT <u>Williams Willow Subdivision, Resubdivision of Lots 6 &amp; 7</u>	
REQUEST <u>Subdivision</u>	



ZONING DISTRICT CORRESPONDENCE MATRIX			LOW DENSITY RESIDENTIAL (LDR)	MIXED DENSITY RESIDENTIAL (MXDR)	DOWNTOWN (DT)	DISTRICT CENTER (DC)	NEIGHBORHOOD CENTER - TRADITIONAL (NC-T)	NEIGHBORHOOD CENTER - SUBURBAN (NC-S)	TRADITIONAL CORRIDOR (TC)	MIXED COMMERCIAL CORRIDOR (MCC)	LIGHT INDUSTRIAL (LI)	HEAVY INDUSTRY (HI)	INSTITUTIONAL LAND USE (INS)	PARKS & OPEN SPACE (POS)	DOWNTOWN WATERFRONT (DW)	WATER DEPENDENT USES (WDWRU)
RESIDENTIAL - AG	R-A															
ONE-FAMILY RESIDENCE	R-1	■				■		■						□		
TWO-FAMILY RESIDENCE	R-2	■				■		■						□	○	
MULTIPLE-FAMILY	R-3	○	■			■	■							□	○	
RESIDENTIAL-BUSINESS	R-B		○			■		■						□	○	
TRANSITIONAL-BUSINESS	T-B		○		■	■	■	■						□		
HISTORIC BUSINESS	H-B			■		■		■						□		
VILLAGE CENTER	TCD					■	■							□		
NEIGH. CENTER	TCD					■	■							□		
NEIGH. GENERAL	TCD					■								□		
DOWNTOWN DEV. DDD	T-6			■										□		
DOWNTOWN DEV. DDD	T-5.1			■		■		□						□		
DOWNTOWN DEV. DDD	T-5.2			■		■								□		
DOWNTOWN DEV. DDD	T-4			■		■		□						□		
DOWNTOWN DEV. DDD	T-3			■		■								□		
DOWNTOWN DEV. DDD	SD-WH										○	○		□		
DOWNTOWN DEV. DD	SD	○	○	○	○	○	○	○			○	○		□		
BUFFER BUSINESS	B-1		□			□	■	■	■					□	○	
NEIGH. BUSINESS	B-2		○			□	■	■	■					□	○	
LIMITED BUSINESS	LB-2		○			□	■	■	■					□	○	
COMMUNITY BUSINESS	B-3				■				■				○	□	○	
GEN. BUSINESS	B-4			■					■				○	□	○	
OFFICE-DISTRIBUTION	B-5								■	■				□	□	
LIGHT INDUSTRY	I-1										■			□	□	□
HEAVY INDUSTRY	I-2											■		□		□

**Zoning District Correspondence Matrix**

- Directly Related
- Elements of the zoning category are related to the future LU category, but with qualifications (such as a development plan with conditions)
- Land use category is appropriate, but the district does not directly implement the category (e.g., open space in an industrial district)

## MIXED COMMERCIAL CORRIDOR (MCC)

This land use designation mostly applies to transportation corridors west of I-65 serving primarily the low-density (suburban) residential neighborhoods. MCC includes a wide variety of retail, services and entertainment uses.

This designation acknowledges existing commercial development that is spread along Mobile's transportation corridors in a conventional strip pattern or concentrated into shorter segments of a corridor.

Over time, new development and redevelopment in Mixed Commercial Corridors is encouraged to raise design quality, improve connectivity to surrounding neighborhoods; improved streetscapes; and improve mobility and accessibility for all users of the corridor.