

## **SOUTHERN INDUSTRIAL PARK SUBDIVISION,** **ADDITION TO**

Engineering Comments: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Add a legible street name for LaRue Steiner Rd. on the vicinity map.
- C. Show and label the existing Lots 1, 2, and 5 that are referenced in the written legal description.
- D. Show and label each and every existing drainage easement within and adjacent to the proposed subdivision. There appears to be one adjacent to the NW corner of LOT 2.
- E. The proposed subdivision receives drainage from a public street and will require a PUBLIC (Dedicated to the City of Mobile) drainage easement. Additionally a DRAINAGE EASEMENT may be required along the front of LOT 1 and LOT 2. The width and alignment of the easement(s) shall be coordinated with, and approved by, the City Engineer before submitting the Final Plat for signature. The existing drainage ditch that runs through LOT 1 and LOT 2 needs to be contained in a PUBLIC DRAINAGE EASEMENT. Additional width may be required to allow vehicular and equipment access.
- F. Add the item labeled as "FC" to the LEGEND.
- G. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- H. Add a note to the plat stating that all proposed detention facilities, common areas, and wetlands shall be the responsibility of the Property Owner(s), and not the responsibility of the City of Mobile.
- I. Add a note to the plat stating that all easements shall remain in effect until vacated through the proper Vacation process.
- J. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing.
- K. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the red-line markup, the ORIGINAL (with all other signatures) and one (1) copy of the revised original (signatures not required) of the revised Final Plat to the Engineering Department.

Traffic Engineering Comments: Each lot is limited to one curb cut to Larue Steiner Road, with any changes in size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

MAWSS Comments: No comments.

The preliminary plat illustrates the proposed 2-lot, 6.6± acre subdivision which is located on the North side of Larue Steiner Road, 110'± East of Iron Works Road (private street) in Council District 4. The applicant states that the subdivision is served by city water and sanitary sewer systems. The purpose of this application is to resubdivide three (3) legal lots into two (2) legal lots of record.

The site has been given a Light Industry land use designation, per the recently adopted Future Land Use Plan and Map. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This land use designation applies to an array of modern, low-impact industrial uses that include assembly and processing, warehousing, distribution and wholesaling facilities. The bulk of the light industrial use must be contained within a building or facility. If a light industrial use requires outside storage, the storage must be limited in area and appropriately screened from view in accordance to specific zoning requirements. This designation may also include uses such as complementary offices and retail.

LI also includes areas that may be regarded as “industrial business”, where the land uses include business administration and logistics operations for industrial concerns, building trade contractors facilities and advance research facilities, as well as stand-alone educational, scientific and industrial research facilities, or any combination of those facilities located in light industrial and technology parks. Many parcels used for industrial business are smaller and scattered throughout Mobile. For this reason, these parcels are not singled out in the FLUM, but rather are addressed through zoning.

Light industrial uses are characterized by attractive, accessible and connected development, compatible with the character of surrounding neighborhoods. Development may take the form of planned campuses in park-like settings or unified design corridors, with consideration to factors such as site and building orientation, building design, landscaping and buffering, lighting, continuity of pedestrian networks, access and connectivity to transit and to freight transportation.

Heavy commercial and, in some cases, high-density residential land uses may serve as transitions between LI and other, lower-intensity land use designations. Protection buffers may also be required by zoning.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding

development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

The proposed lots front Larue Steiner Road, a minor street. The preliminary plat illustrates a compliant 80' right-of-way width on Larue Steiner Road. If approved, the right-of-width should be retained on the Final Plat.

The preliminary plat depicts a 25' minimum building setback along Larue Steiner Road. If approved, the 25-foot minimum building setback should be retained on the Final Plat.

It should be noted that there are several drainage easements on the proposed lots. If approved, a note should be placed on the Final Plat stated that no structures should be erected in any easement on the site.

The proposed lots exceed the 7,200 square foot minimum lot size requirements for lots served by public water and sanitary sewer systems. The preliminary plat provides the lot size in square feet and acres. If approved, the lot size information should be retained on the Final Plat.

As a means of access management, a note should be placed on the Final Plat, stating that each lot is limited to one curb cut to Larue Steiner Road, with any changes in size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

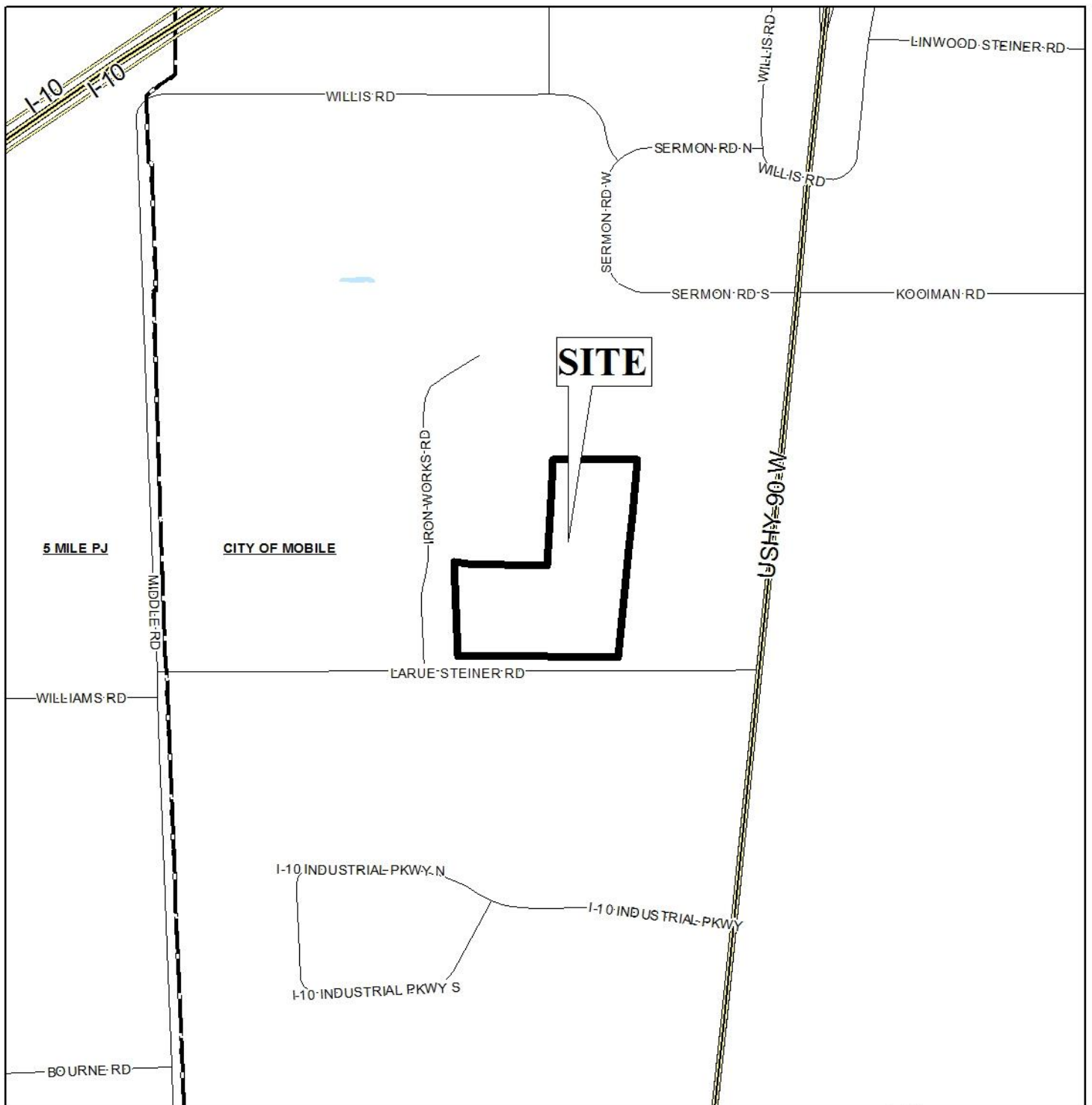
Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Retention of the 80' right-of-way width to Larue Steiner Road;
- 2) Retention of the 25' minimum building setback line along Larue Steiner Road;
- 3) Retention of lot size information in both square feet and acres;
- 4) Placement of note on the Final Plat stating that no structures should be erected in any easement;
- 5) Placement of a note on the Final Plat stating the following Traffic Engineering comments: *(Each lot is limited to one curb cut to Larue Steiner Road, with any changes in size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 6) Compliance with Engineering comments: *(FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Add a legible street name for LaRue Steiner Rd. on the vicinity map. C. Show and label the existing Lots 1, 2, and 5 that are referenced in the written legal description. D. Show and label each and every existing drainage easement within and adjacent to the proposed subdivision. There appears to be one adjacent to the NW corner of LOT 2. E. The*

*proposed subdivision receives drainage from a public street and will require a PUBLIC (Dedicated to the City of Mobile) drainage easement. Additionally a DRAINAGE EASEMENT may be required along the front of LOT 1 and LOT 2. The width and alignment of the easement(s) shall be coordinated with, and approved by, the City Engineer before submitting the Final Plat for signature. The existing drainage ditch that runs through LOT 1 and LOT 2 needs to be contained in a PUBLIC DRAINAGE EASEMENT. Additional width may be required to allow vehicular and equipment access. F. Add the item labeled as "FC" to the LEGEND. G. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. H. Add a note to the plat stating that all proposed detention facilities, common areas, and wetlands shall be the responsibility of the Property Owner(s), and not the responsibility of the City of Mobile. I. Add a note to the plat stating that all easements shall remain in effect until vacated through the proper Vacation process. J. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing. K. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the red-line markup, the ORIGINAL (with all other signatures) and one (1) copy of the revised original (signatures not required) of the revised Final Plat to the Engineering Department.);*

- 7) Compliance with Urban Forestry comments: (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.); and*
- 8) Compliance with Fire Department comments and placement of a note: (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).*

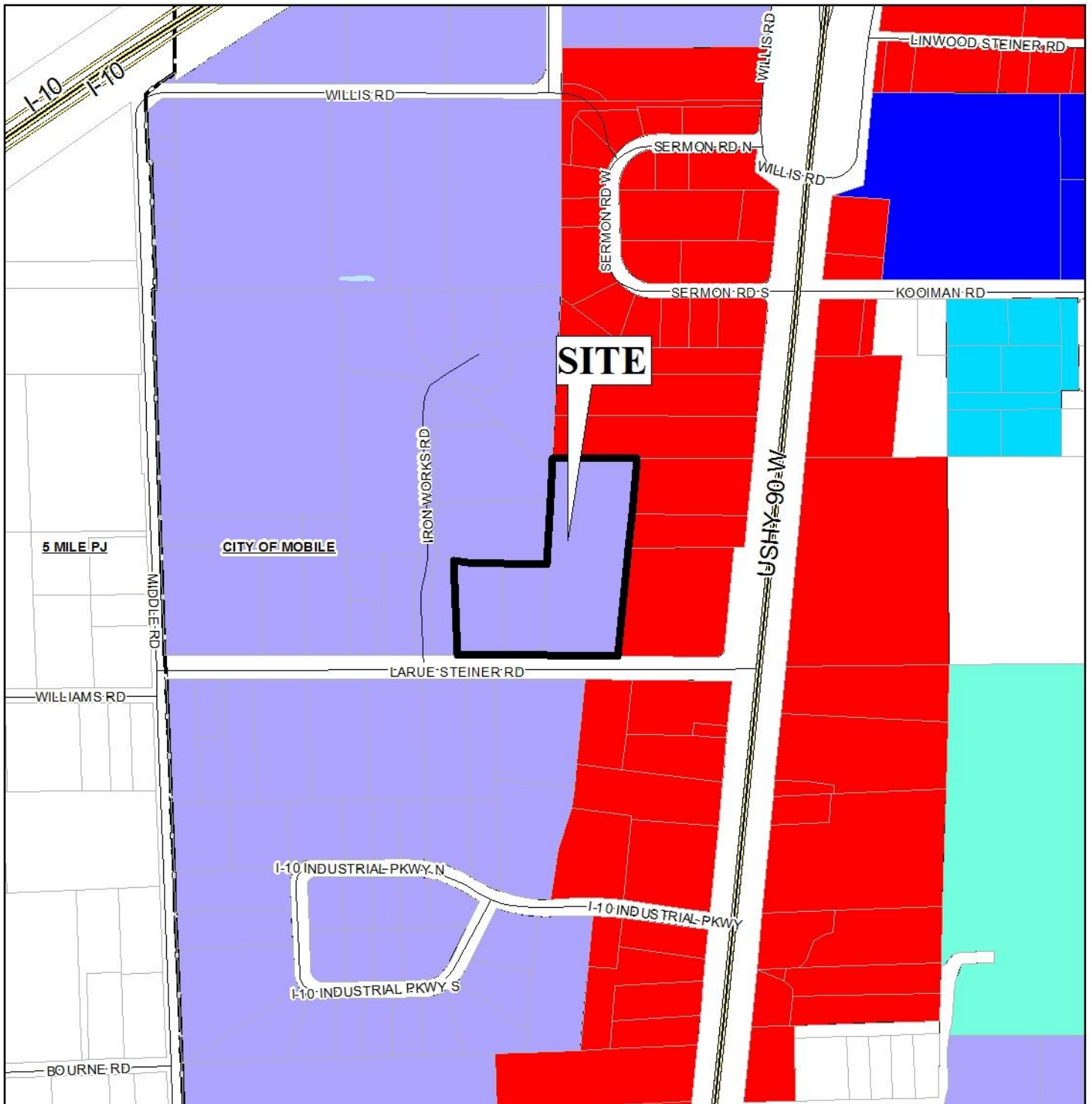
# LOCATOR MAP



APPLICATION NUMBER 3 DATE December 20, 2018  
 APPLICANT Southern Industrial Park Subdivision, Addition to  
 REQUEST Subdivision



# LOCATOR ZONING MAP

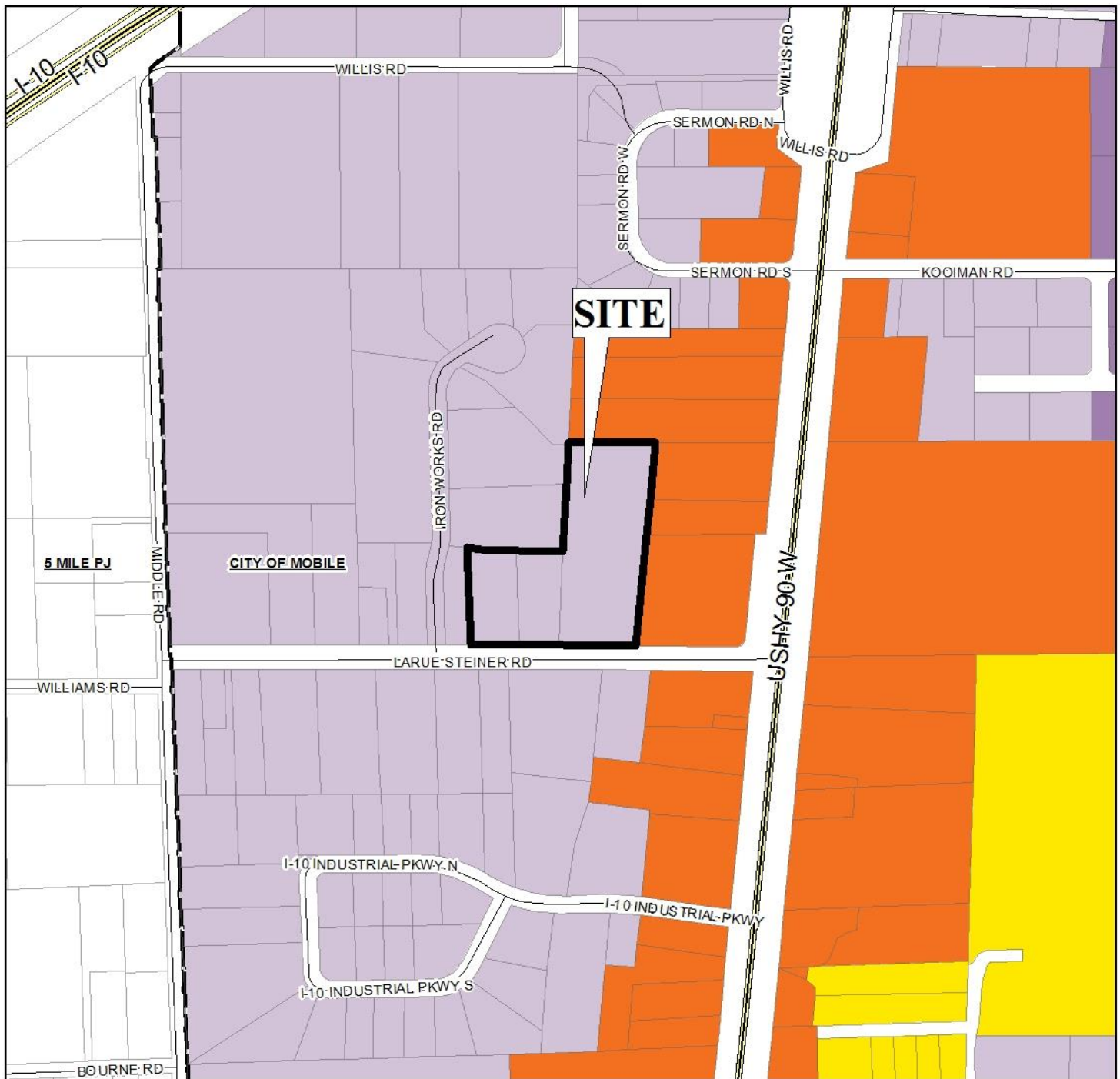


APPLICATION NUMBER 3 DATE December 20, 2018  
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REQUEST Subdivision





# FLUM LOCATOR MAP



APPLICATION NUMBER 3 DATE December 20, 2018

APPLICANT Southern Industrial Park Subdivision, Addition to

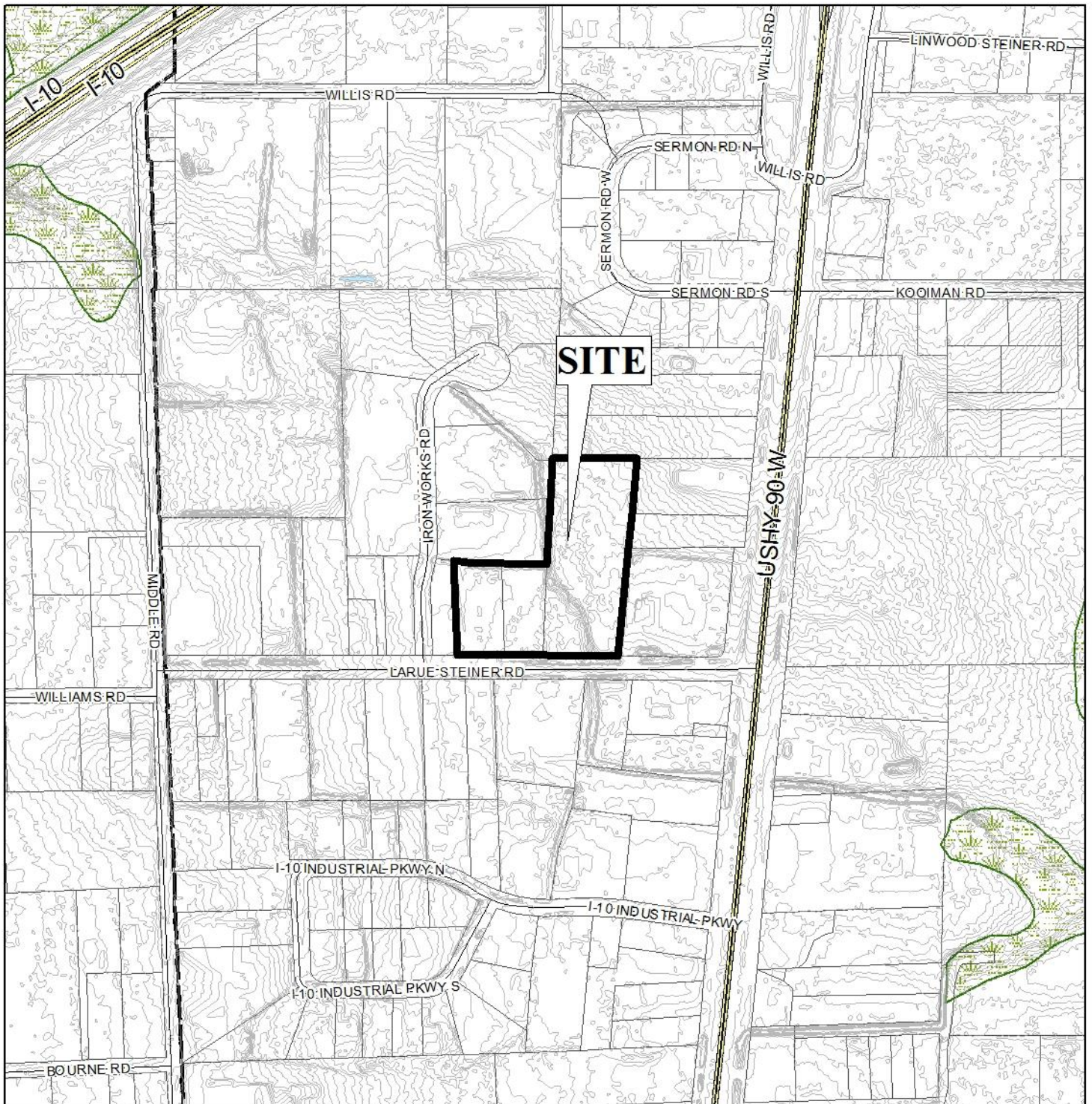
REQUEST Subdivision

- |                           |                                   |                     |                    |
|---------------------------|-----------------------------------|---------------------|--------------------|
| Low Density Residential   | Neighborhood Center - Traditional | Downtown Waterfront | Parks & Open Space |
| Mixed Density Residential | Neighborhood Center - Suburban    | Light Industry      | Water Dependent    |
| Downtown                  | Traditional Corridor              | Heavy Industry      |                    |
| District Center           | Mixed Commercial Corridor         | Institutional       |                    |





# ENVIRONMENTAL LOCATOR MAP



APPLICATION NUMBER 3 DATE December 20, 2018

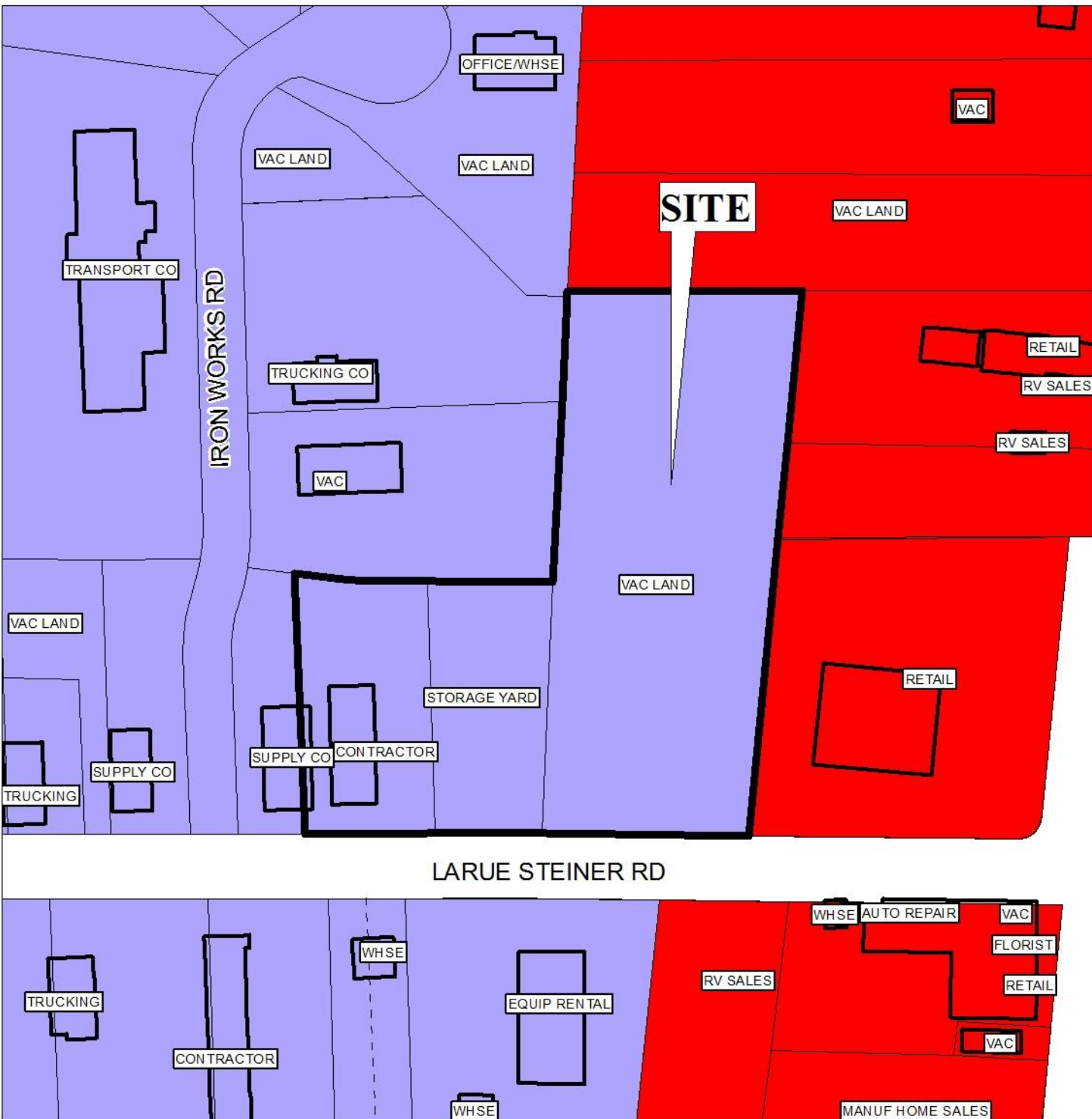
APPLICANT Southern Industrial Park Subdivision, Addition to

REQUEST Subdivision





























**SOUTHERN INDUSTRIAL PARK SUBDIVISION,  
ADDITION TO**



APPLICATION NUMBER 3 DATE December 20, 2018

 R-A
  R-3
  T-B
  B-2
  B-5
  MUN
  SD-WH
  T5.1

 R-1
  R-B
  B-1
  B-3
  I-1
  OPEN
  T3
  T5.2

 R-2
  H-B
  LB-2
  B-4
  I-2
  SD
  T4
  T6



# SOUTHERN INDUSTRIAL PARK SUBDIVISION, ADDITION TO

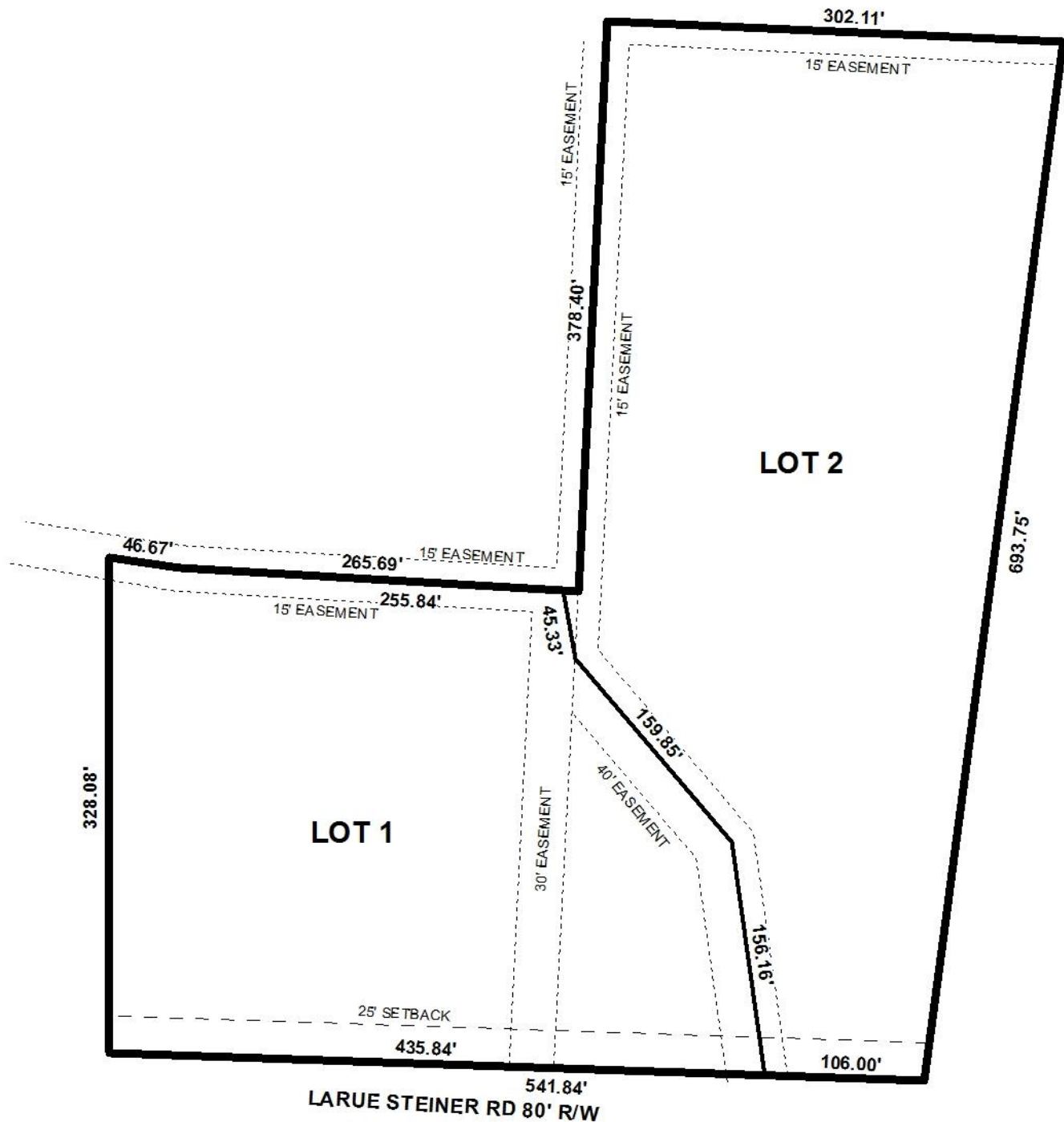


APPLICATION NUMBER 3 DATE December 20, 2018





# DETAIL SITE PLAN



APPLICATION NUMBER 3 DATE December 20, 2018  
APPLICANT Southern Industrial Park Subdivision, Addition to  
REQUEST Subdivision



