

**PLANNED UNIT DEVELOPMENT  
STAFF REPORT****Date: December 15, 2022****DEVELOPMENT NAME**

Chart Industries

**LOCATION**7600 Mitsubishi Lane  
(East side of the North terminus of Mitsubishi Lane).**CITY COUNCIL  
DISTRICT**

District 4

**PRESENT ZONING**

I-2, Heavy Industry District

**AREA OF PROPERTY**

59.3 ± Acres

**CONTEMPLATED USE**

Planned Unit Development Approval to allow multiple buildings on a single building site.

**TIME SCHEDULE  
FOR DEVELOPMENT**

Immediate

**ENGINEERING  
COMMENTS**

1. Retain NOTES #2 - #8, as shown on the OVERALL PUD PLAN, SHEET C201.
2. Correct the sheet number for the second sheet from C200 to C201.

**TRAFFIC ENGINEERING  
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, should meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

**URBAN FORESTRY  
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.

**FIRE-RESCUE DEPARTMENT****COMMENTS**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.

**REMARKS**

The applicant is requesting Planned Unit Development approval to allow multiple buildings on a single building site.

The site has been given a Heavy Industry (HI) land use designation, per the Future Land Use Plan and Map, adopted on May 18, 2017 by the Planning Commission. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This designation applies to larger parcels primarily devoted to high-impact industrial activity which is preferably removed from residential and commercial uses. Light industry, industrial business or heavy commercial lands may separate heavy industry from other land uses.

Heavy industrial areas include collection, treatment, and manufacturing processes which use raw materials, are distinguished by the presence of noise, vibration, and/or odors, and benefit from easy access to a multimodal freight transportation network. Certain types of heavy industry are characterized by low building coverage and activities that rely on large areas of outdoor storage of raw material stockpiles and/or waste-product disposal areas, storage tanks, pipelines, and transportation yards to handle the transfer of heavy materials. The outdoor storage areas should be screened as much as possible by the nature of the stored materials.

Land designated as HI may be underdeveloped due to the presence of wetlands on portions of the parcel. In these cases, the wetlands may serve to buffer surrounding uses from the potential impacts of the heavy industrial use. Undeveloped areas of HI parcels that have tree cover may be used as buffering between the heavy industrial use and other uses. Where buffers do not exist naturally, they should be provided as spelled out in the zoning and subdivision regulations. Open areas reserved for dredge disposal are also designated as HI and may contain wetlands.

In Mobile, port terminal facilities, docks, shipyards, drydocks, etc., are mostly owned by the State of Alabama. Although not subject to local zoning, these facilities are shown as heavy industrial uses in the FLUM.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities. PUD approvals expire within one (1) year if no permits for the development are obtained.

In pursuit of these purposes, the objectives to be met by a PUD are as follows: a) to encourage innovative and diversified design in building form and site development; b) flexibility, to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations; c) to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for re-development; d) to preserve and protect as urban amenities the natural features and characteristics of land; e) to encourage the provision of common open space through efficient site design; and, f) to encourage optimum use of available public utilities, streets and community facilities.

The subject site was before the Planning Commission on November 17, 2022 as Standard Concrete Products Inc Subdivision, Resubdivision of Lots 1 & 2, which was approved as a 2-lot, 130.3+ acre subdivision. The applicant proposes to expand the development on one of the lots which was created via that subdivision. If the application at hand is approved, the Subdivision process should be finalized prior to the issuance of permits for development of the PUD. The legal description on the site plan is for Lot 1, Standard Concrete Products Subdivision. The legal description should be revised after recording of the resubdivision.

The site was originally developed when in the County as a facility for manufacturing pre-cast concrete components. The applicant proposes to convert and expand the facility for the manufacture of industrial storage tanks.

The applicant states the following concerning the application:

*Chart Industries is embarking on the construction of a new manufacturing facility to be located at 7600 Mitsubishi Lane in the City of Mobile. The project site was previously developed by Standard Concrete for the purpose of manufacturing precast concrete components. The site is primarily gravel surfacing with several existing metal buildings, a concrete batch plant and various concrete slabs. The project scope of work will be to redevelop the existing site with the construction of a 175,000 square foot manufacturing facility with associate concrete aprons surrounding the new building, installation of a new railway spur, redevelopment of the existing dock and ramp, resurfacing of the existing gravel areas to provide a smooth surface, and installation asphalt employee*

*parking areas. The project scope also includes all necessary utilities and storm drainage infrastructure for the facility along. The total project area to be disturbed is 22.75 acres.*

Larger structures previously associated with the manufacture of concrete components have been removed from the site, except for four small buildings which are proposed to remain. The site plan indicates the proposed 175,000 square-foot manufacturing facility with site coverage calculations indicating that all structures would occupy 7.33% of the total site area. The site is not labeled with its size in square feet and acres, however, a table on the site plan provides this information, and should be retained on the site plan.

The site is accessed by Mitsubishi Lane, which is labeled on the site plan as an easement. However, Mitsubishi Lane was actually deeded as right-of-way to Mobile County in 1974. Therefore, the site plan should be revised to indicate that Mitsubishi Lane is a public right-of-way with a 100-foot width. The site plan does not indicate the 25-foot minimum building setback line along Mitsubishi Lane, and should be revised to indicate such.

The site plan indicates numerous easements within the site for vehicular access, utilities, railroads and surrounding industries. Therefore, a note should be placed on the site plan stating that no structure is allowed in any easement without the approval of the easement holder.

As per the Traffic Engineering comments, the driveway number, size, location, and design are to be approved by Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, should meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. Note #9 on the site plan should be revised as per the Traffic Engineering comments.

The site plan indicates that much of the site is currently paved in gravel, or that further gravel paving will be added. Such is allowed in I-2 Districts for heavy equipment access and maneuvering, and for equipment lay-down areas. New employee parking areas are indicated to be paved in compliant asphalt surfacing. Parking calculations on the site plan do not break-down the parking requirements based upon total office area square footage or the number of warehouse employees. Therefore, the parking calculations should be revised to indicate compliance with Section 64-6.A.6 pertaining to parking requirements for industrial, manufacturing, warehousing and distribution establishments. As the parking areas will have more than 25 parking spaces, a compliant photometric site plan will be required at the time of permitting.

The site plan contains a table providing the landscaped area, but does not provide the specific calculations for the total area required and the total area provided, nor the frontage area required and provided. The site plan should be revised to provide such. Frontage trees only, are required in industrial zones; however, no frontage tree planting calculations are provided. The site plan should be revised to provide frontage tree planting calculations. As the City is looking closely at the spacing of heritage overstory tree plantings to provide a more favorable growth space, a spacing of at least 40' between trees is being considered as per the proposed Right Tree/Right Place concept. Therefore, the applicant should coordinate with staff on the location of heritage trees and the possibility of reducing the number of required trees with contributions to the Mobile Tree Commission for any reduction in required plantings

No dumpster is depicted on the site plan provided. If approved, the site plan should be revised to either depict a dumpster with a compliant enclosure and connection to sanitary sewer, or a note should be placed on the site plan stating that curbside pickup will be utilized. The site plan does not depict a sidewalk within the Mitsubishi Lane right-of-way. Therefore, the site plan should be revised to provide a sidewalk within the right-of-way, or a Sidewalk Waiver application should be submitted.

A copy of a revised PUD site plan should be submitted to and approved by Planning and Zoning prior to the issuance of permits for site development.

## **RECOMMENDATION**

**Planned Unit Development:** Staff recommends the following Findings of Fact for Approval:

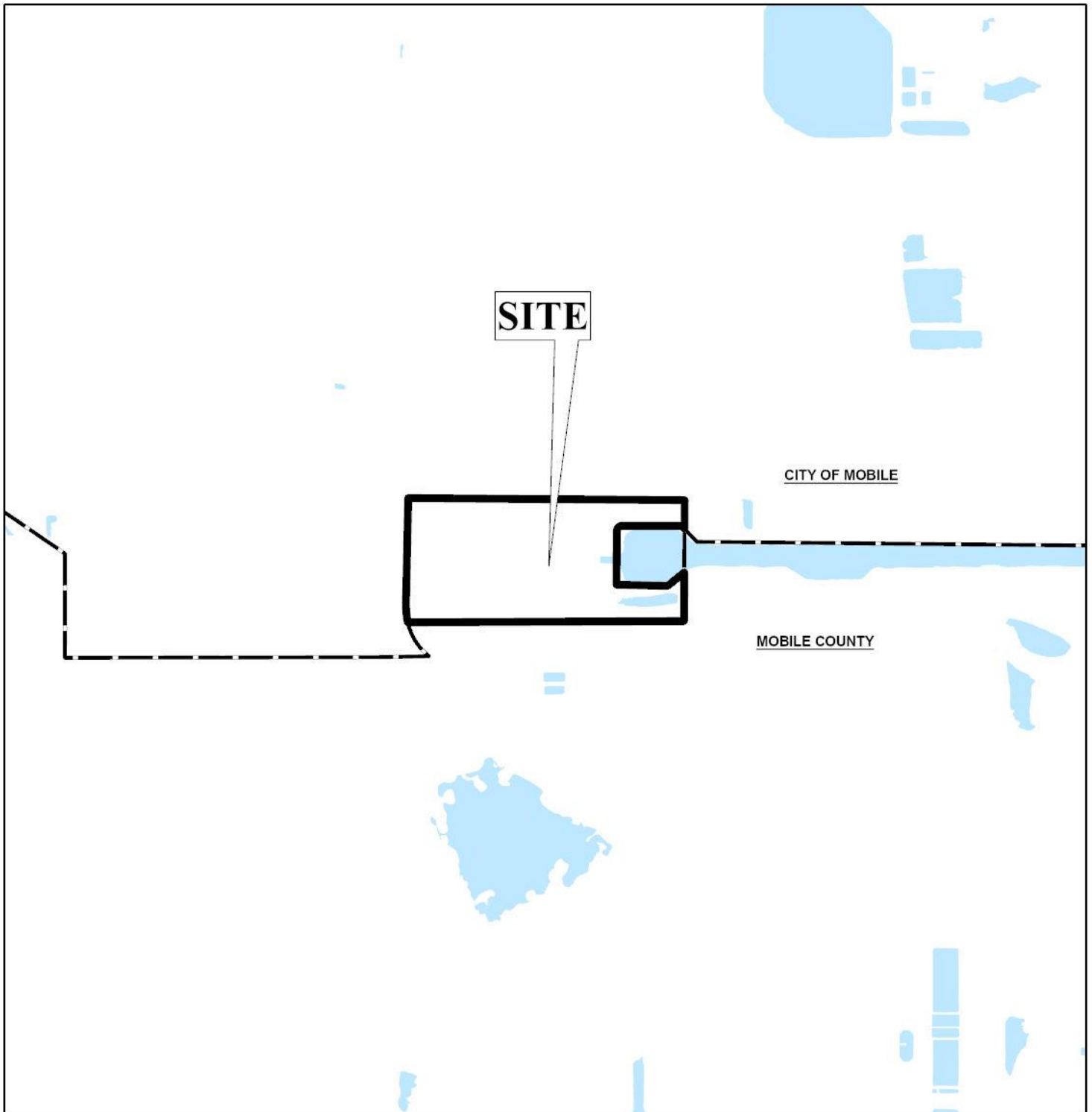
- a. the proposal promotes the objective of Creative design (to encourage innovative and diversified design in building form and site development), because it will allow for the renovation and reuse of an existing dormant site;
- b. the proposal promotes the objective of Flexibility (to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations), by allowing multiple buildings on a single building site;
- c. the proposal promotes the objective of Efficient land use (to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for redevelopment), because the site is in an existing industrial area;
- d. the proposal promotes the objective of Environment (to preserve and protect as urban amenities the natural features and characteristics of the land), because the site will comply with tree planting and landscape area requirements;
- e. the proposal promotes the objective of Public services (to encourage optimum use of available public utilities, streets and community facilities), because it will take advantage of existing infrastructure.

The approval should be subject to the following conditions:

- 1) completion of the Subdivision process for Standard Concrete Products Inc Subdivision, Resubdivision of Lots 1 & 2, prior to the issuance of permits for development;
- 2) revision of the legal description on the site plan to reflect the new legal description for the site;
- 3) retention of the site area table on the site plan in both square feet and acres, or the labeling of the site with the same information;
- 4) revision of the site plan to label Mitsubishi Lane as a public right-of-way with a 100-foot width;
- 5) revision of the site plan to indicate the 25-foot minimum building setback line along Mitsubishi Lane;

- 6) placement of a note on the site plan stating that no structure is allowed in any easement without the permission of the easement holder;
- 7) revision of the site plan to indicate compliance with Section 64-6.A.6 of the Zoning Ordinance pertaining to parking requirements for industrial, manufacturing, warehousing and distribution establishments;
- 8) placement of a note on the site plan stating that a compliant photometric site plan will be required at the time of permitting;
- 9) revision of the site plan to provide landscaping calculations indicating compliance with the total site area landscaping required and the frontage landscaping area required;
- 10) revision of the site plan to provide frontage tree planting compliance, to be coordinated with staff on the location of heritage trees and the possibility of reducing the number of required trees with contributions to the Mobile Tree Commission for any reduction in required plantings;
- 11) revision of the site plan to either depict a dumpster with a compliant enclosure and connection to sanitary sewer, or the placement of a note on the site plan stating that curbside pickup will be utilized;
- 12) revision of the site plan to provide a sidewalk within the Mitsubishi Lane right-of-way, or the submittal and approval of a Sidewalk Waiver application;
- 13) compliance with Engineering comments: *(1. Retain NOTES #2 - #8, as shown on the OVERALL PUD PLAN, SHEET C201. 2. Correct the sheet number for the second sheet from C200 to C201.);*
- 14) revision of Note #9 on the site plan as per the Traffic Engineering comments: *(Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, should meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 15) compliance with Urban Forestry comments *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.);*
- 16) compliance with the Fire-Rescue Department comments *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.);*
- 17) provision of one copy of the revised PUD site plan prior to any permit requests for site development; and
- 18) full compliance with all municipal codes and ordinances.

# LOCATOR MAP



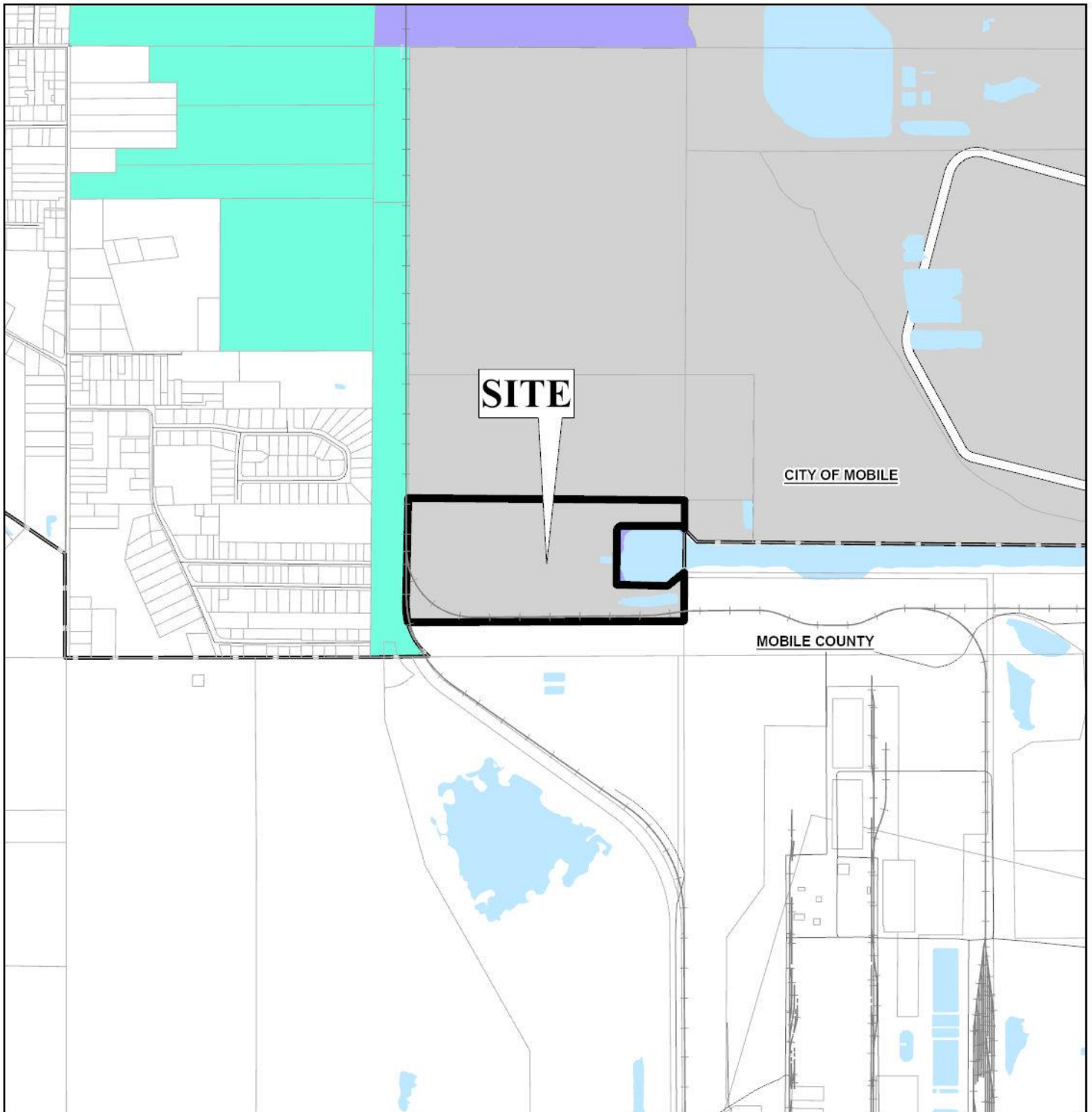
APPLICATION NUMBER 3 DATE December 15, 2022

APPLICANT Chart Industries

REQUEST Planned Unit Development



# LOCATOR ZONING MAP



APPLICATION NUMBER 3 DATE December 15, 2022

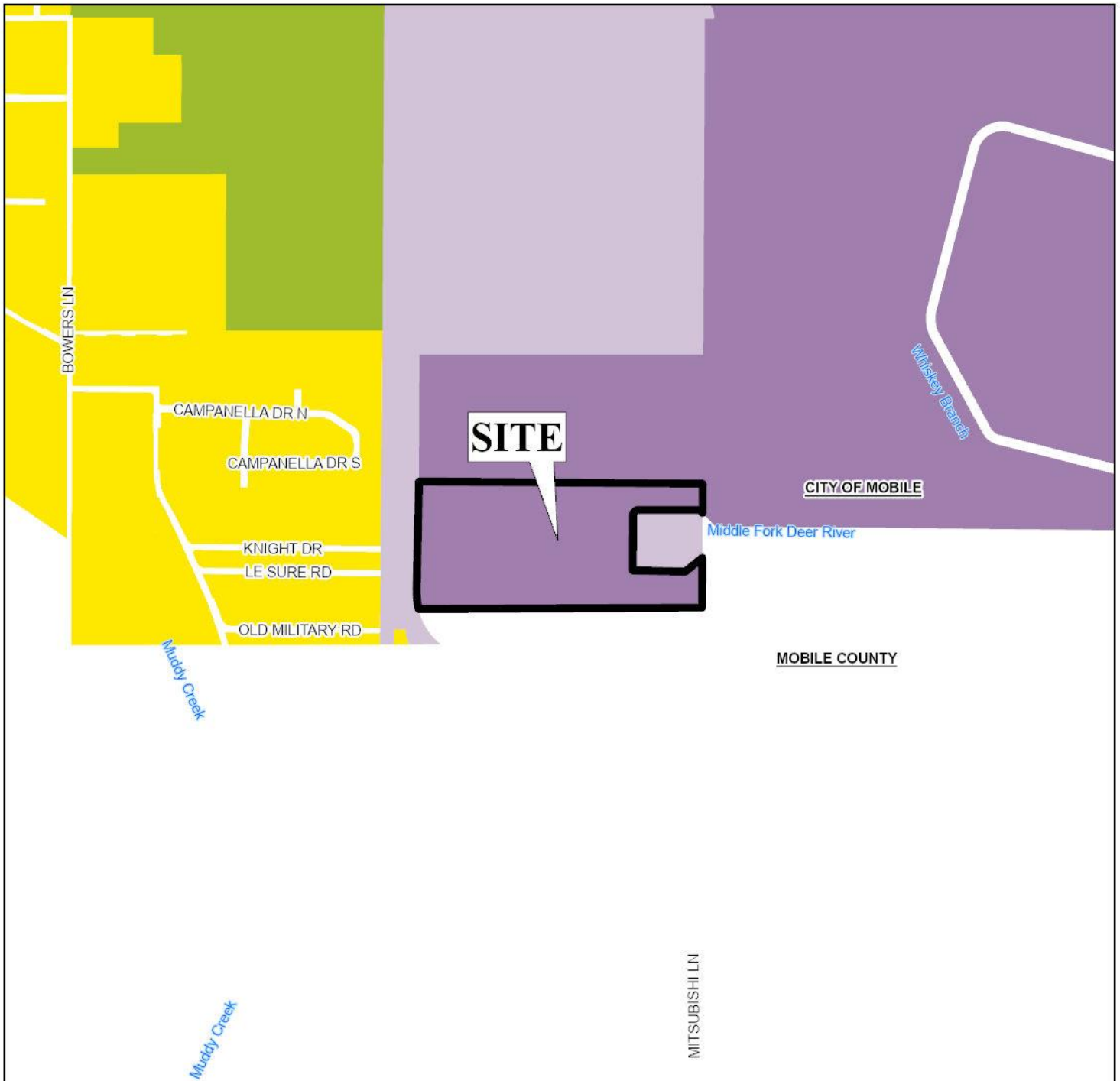
APPLICANT Chart Industries

REQUEST Planned Unit Development





# FLUM LOCATOR MAP



APPLICATION NUMBER 3 DATE December 15, 2022

APPLICANT Chart Industries

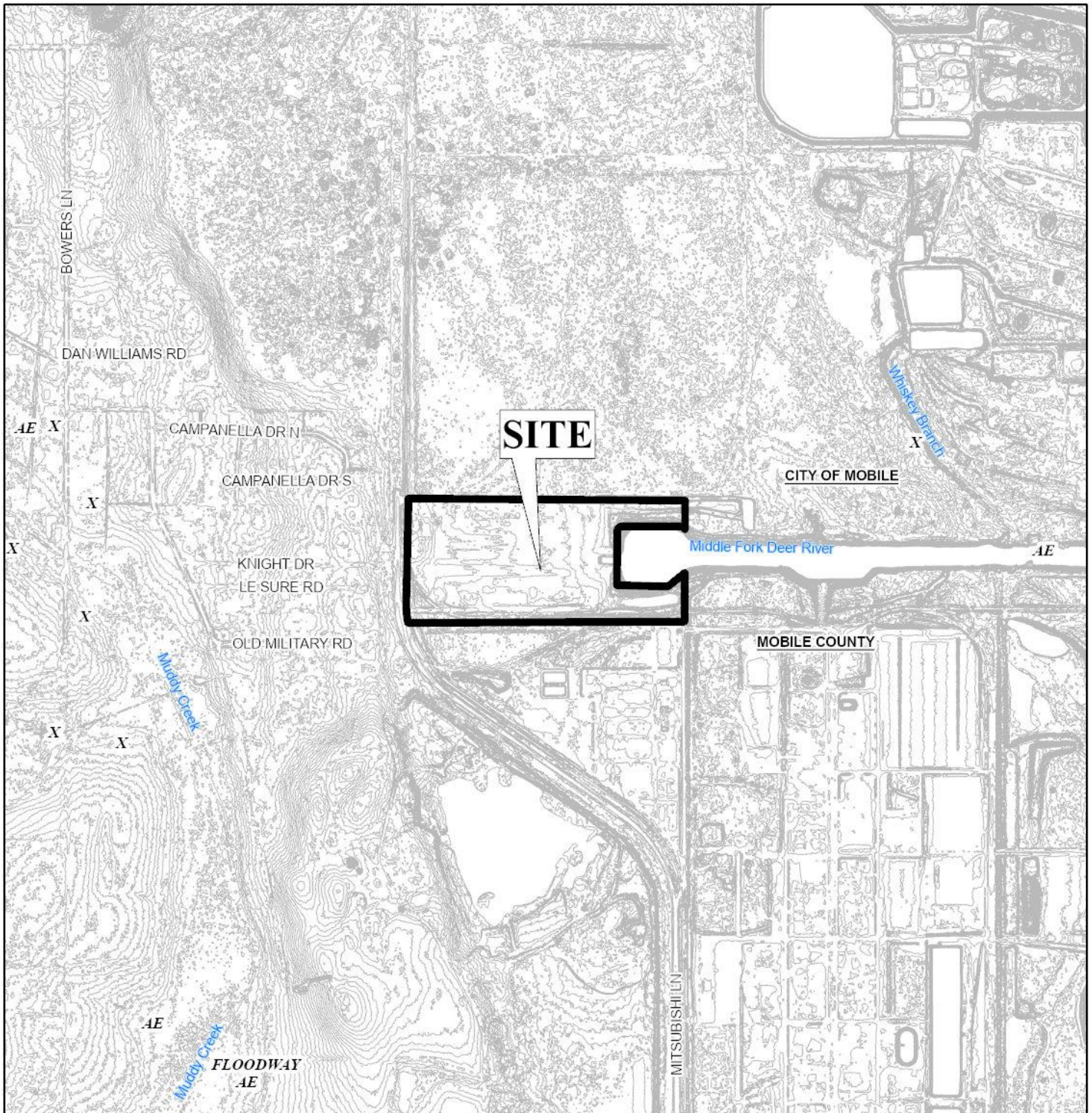
REQUEST Planned Unit Development

## Layer2

<span style="color: yellow;">■</span> Low Density Residential	<span style="color: red;">■</span> Downtown	<span style="color: pink;">■</span> Traditional Corridor	<span style="color: purple;">■</span> Heavy Industry
<span style="color: orange;">■</span> Mixed Density Residential	<span style="color: darkred;">■</span> District Center	<span style="color: orange;">■</span> Mixed Commercial Corridor	<span style="color: blue;">■</span> Institutional
	<span style="color: brown;">■</span> Neighborhood Center - Traditional	<span style="color: brown;">■</span> Downtown Waterfront	<span style="color: green;">■</span> Parks & Open Space
	<span style="color: blue;">■</span> Neighborhood Center - Suburban	<span style="color: lightpurple;">■</span> Light Industry	<span style="color: darkblue;">■</span> Water Dependent



# ENVIRONMENTAL LOCATOR MAP



APPLICATION NUMBER 3 DATE December 15, 2022

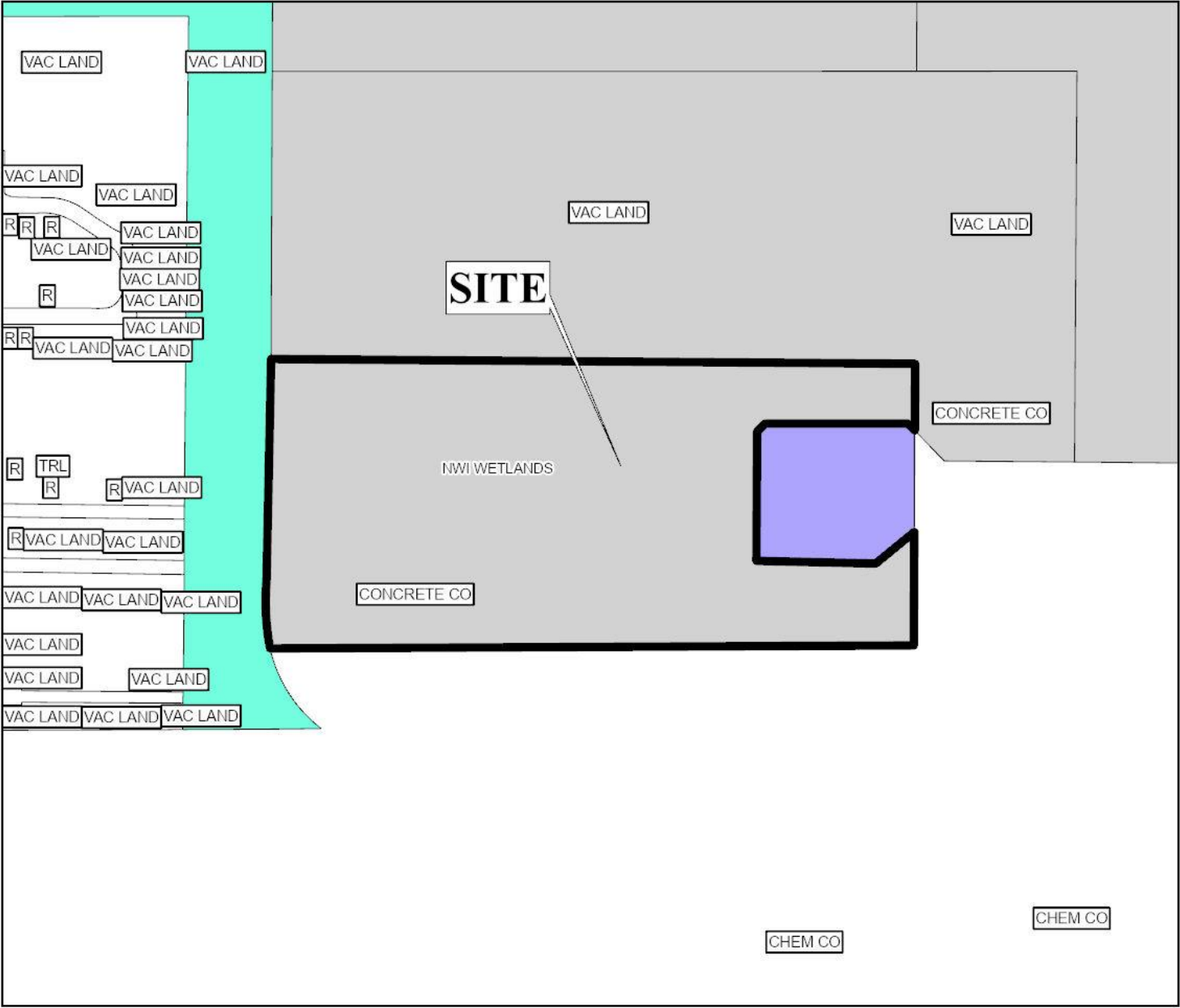
APPLICANT Chart Industries

REQUEST Planned Unit Development





**PLANNING COMMISSION  
VICINITY MAP - EXISTING ZONING**



























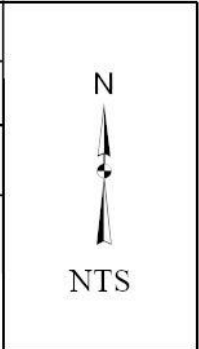
The site is surrounded by industrial units and wetlands. Residences lie west of the site.

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APPLICANT Chart Industries

REQUEST\_\_\_\_\_Planned Unit Development

	R-A		R-3		T-B		B-2		B-5		MUN		SD-WH		T5.1
	R-1		R-B		B-1		B-3		I-1		OPEN		T3		T5.2
	R-2		H-B		LB-2		B-4		I-2		SD		T4		T6





# PLANNING COMMISSION

## VICINITY MAP - EXISTING AERIAL



The site is surrounded by industrial units and wetlands. Residences lie west of the site.

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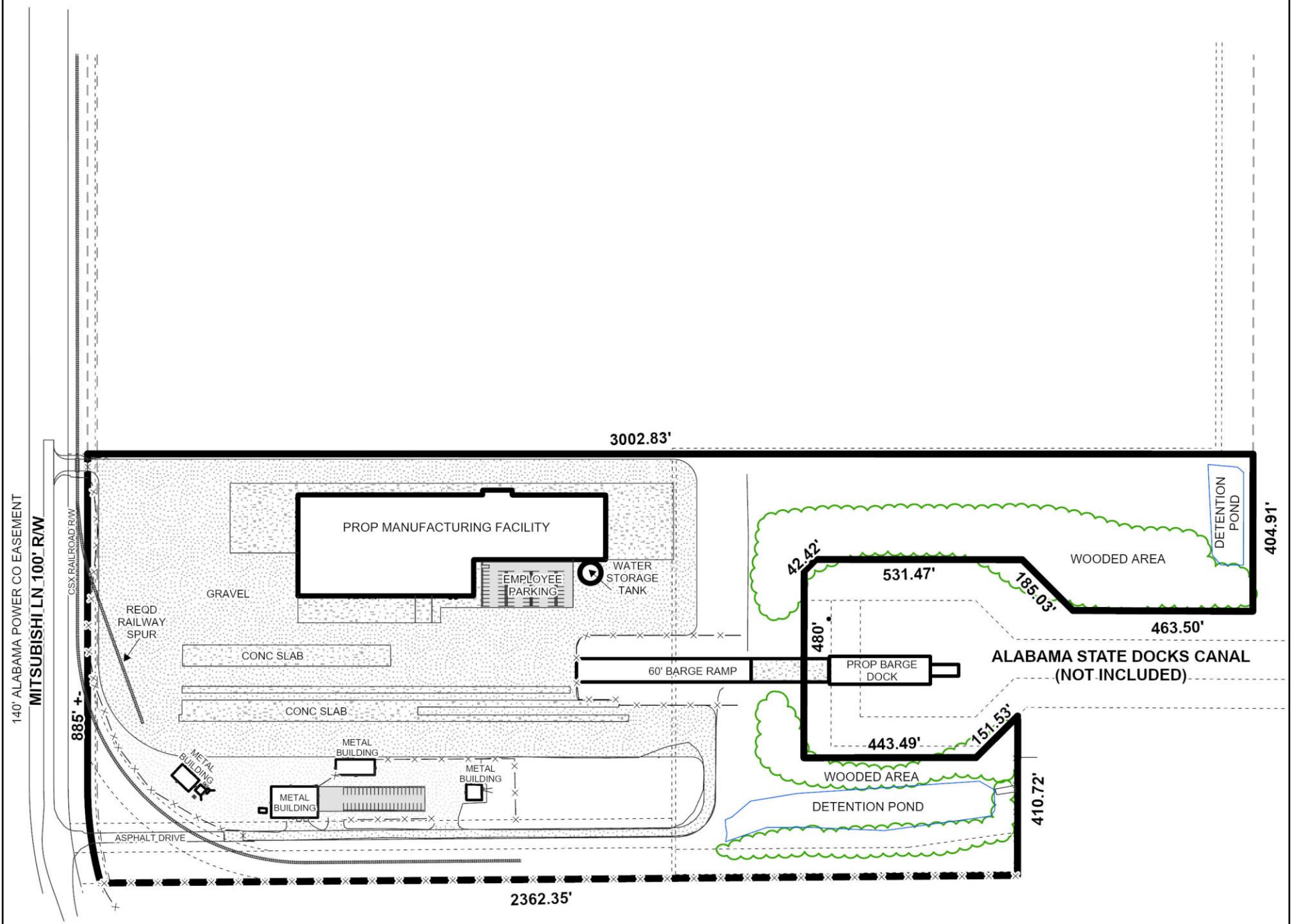
REQUEST Planned Unit Development



NTS



SITE PLAN



The site plan illustrates the existing buildings, parking, proposed building, and proposed barge ramp and dock.

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APPLICANT Chart Industries

REQUEST Planned Unit Development



