

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: January 21, 2021****DEVELOPMENT NAME**

Carondolet Subdivision

SUBDIVISION NAME

Carondolet Subdivision

LOCATION

4612 Spring Hill Avenue
(North terminus of an unnamed public street, 220'± North of Spring Hill Avenue).

CITY COUNCIL**DISTRICT**

District 7

AREA OF PROPERTY

1 Lot / 19.3± Acres

CONTEMPLATED USE

Planned Unit Development Approval to allow a private street subdivision and multiple buildings on a single building site; and Subdivision approval to create one (1) legal lot of record from one (1) existing legal lot and five (5) metes-and-bounds parcels.

TIME SCHEDULE**FOR DEVELOPMENT**

Immediate

ENGINEERING**COMMENTS**

Subdivision: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Add street names to the vicinity map.
- C. Review and revise the written overall description or distance label for one of the legs of the east property line.
- D. Provide a written description for the subdivision boundary.
- E. National Wetlands Inventory (NWI) mapping, as shown on City of Mobile GIS information, indicates that there is potential for wetlands within the property or properties shown on this plat. Show and label the delineated wetlands, or provide a

- note stating that the wetlands shown on this plat are scaled from the NWI data and have not been delineated.
- F. Provide a note that a 25' riparian buffer may be required, during development, along the edge of anything considered by ADEM to be a water of the state.
 - G. Show and label all flood zones. New maps went into effect on June 5, 2020.
 - H. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation.
 - I. Clarify that Carondolet Circle within LOT 1 is PRIVATE.
 - J. Provide the Surveyor's and Owner's (notarized) signatures.
 - K. Email a pdf copy of the FINAL SUBDIVISION PLAT and LETTER OF DECISION to the Permitting Engineering Dept. for review at land.disturbance@cityofmobile.org prior to obtaining any signatures. No signatures are required on the drawing.
 - L. After addressing all of the FINAL SUBDIVISION PLAT review comments provide the ORIGINAL (with all signatures except for the Planning Commission, Traffic Engineering, and City Engineer), one (1) copy, and a transmittal letter to the Engineering Permitting Department. They can be dropped off at 205 Government St. or mailed to PO Box 1827, Mobile, AL, 36633.

Planned Unit Development:

1. Retain PUD NOTES #1 - #5 and #11, as shown on the PUD Site Plan dated DEC 2020.

TRAFFIC ENGINEERING**COMMENTS**

With the vacation of right-of-way within the subject property, the site is limited to one curb cut to Carondolet Court, with any changes to size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.

FIRE DEPARTMENT**COMMENTS**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.

REMARKS

The applicant is seeking Planned Unit Development Approval to allow a private street subdivision with multiple buildings on a single building site and Subdivision approval to create one (1) legal lot of record from one (1) existing legal lot and five (5) metes-and-bounds parcels. The site is located in Council District 7, and according to the applicant is served by public water and sanitary sewer.

The site has been given a Mixed Density Residential (MxDR) land use designation, per the Future Land Use Plan and Map, adopted on May 18, 2017 by the Planning Commission. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This designation applies mostly to residential areas located between Downtown and the Beltline, where the predominant character is that of a traditional neighborhood laid out on an urban street grid.

These residential areas should offer a mix of single-family homes, townhouses, 2- to 4- residential unit buildings, accessory dwellings, and low- and mid-rise multifamily apartment buildings. The density varies between 6 and 10 du/ac, depending on the mix, types, and locations of the housing as specified by zoning.

Like LDR areas, MxDR areas may incorporate compatibly scaled and sited complementary uses such as neighborhood retail and office uses, schools, playgrounds and parks, and churches and other amenities that create a complete neighborhood fabric and provide safe and convenient access to daily necessities.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

In pursuit of these purposes, the objectives to be met by a PUD are as follows: a) to encourage innovative and diversified design in building form and site development; b) flexibility, to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations; c) to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for re-development; d) to preserve and protect as urban amenities the natural features and characteristics of land; e) to encourage the provision of common open space through efficient site design; and, f) to encourage optimum use of available public utilities, streets and community facilities.

PUD approval is site-plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission. Also, PUD approvals expire within one (1) year if no permits for the development are obtained.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site is zoned R-3, Multiple-Family Residential District, thus the existing and proposed developments are allowed by right. The site abuts vacant R-3 zoning to the North, developed R-1, Single-Family Residential to the East, developed B-2, Neighborhood Business to the South, and vacant B-2 to the West.

The applicant states:

We are creating this PUD to go along with a Subdivision Application where we are creating one legal lot of record out of six (6) separate tax parcels. Since we will have multiple buildings on one legal lot following the subdivision, a PUD is required. We will be adding to the site plan a leasing office and private gate in the areas shown as future structure on the PUD Site Plan. Those will be constructed as soon as final approval is obtained. Also, we will be filing a vacation of all of the public right of ways within the complex.

Initial development on the subject site occurred approximately between 1960 and 1964 around the same time that the Subdivision Regulations and Zoning Ordinance were being adopted, 1962 and 1967 respectively. Multi-family residential use appears to have been intended for the property from the beginning as it was initially given the R-2 zoning designation when zoning was adopted. A request to rezone the property from R-2 to its current designation of R-3 was later approved by the City Council in February 1971.

The Southwest portion of the site was before the Commission in February 1974, when the Carondelet Court Phase 2 subdivision was approved, creating the only legal lot of record among the lots proposed in the subdivision request. The applicant now proposes to combine the aforementioned lots into a single legal lot and create a PUD to allow for a private street subdivision with multiple buildings on a single building site.

As proposed, Lot 1 fronts the North terminus of an unnamed public street, 220'± North of Spring Hill Avenue. This unnamed public street is labeled as Carondolet Court on the preliminary plat and feeds into Carondolet Court South where it is proposed to become a private street within the bounds of the subdivision. Carondolet Court (public street) is a minor street provided with curb and gutter and illustrated as having compliant right-of-way. The preliminary plat illustrates a non-compliant 40' right-of-way width for Carondolet Court North, East, South, and West. However, as this is an established roadway being proposed for privatization, a waiver from Section V.B.14. may be appropriate. It should also be noted that Spring Hill Avenue, as a major street on the Major Street Plan requires a 100' right-of-way width. The preliminary plat labels the Spring Hill Avenue right-of-way incorrectly as 60' and should, therefore, if approved, be revised on or removed from the Final Plat and PUD site plan as the site does not adjoin Spring Hill Avenue.

Carondolet Court North, East, South, and West each currently exist as public rights-of-way providing ingress and egress to the existing dwellings. As that right-of-way is proposed to be vacated and made into a private street with gated entry, the applicant should complete the Vacation process with the City Clerk's office prior to signing the Final Plat, if approved. Additionally, if approved, the Final Plat and PUD site plan should be revised to clearly label the proposed private street as such.

It should be noted that the property which abuts directly to the North of the subject site has access off Carondolet Court North (as well as Spring Hill Avenue further to the West), according to aerial photos. An unimproved dirt drive provides ingress to the parcel and continues to navigate through several other properties North and West of the subject site owned by the City of Mobile, and may be utilized for accessing various easements along Three Mile Creek.

As illustrated, the proposed lot will meet the minimum size requirements of the Subdivision Regulations. The lot size label in both square feet and acres should be retained on the Final Plat or a table should be furnished on the Final Plat providing the same information.

It should be noted that the preliminary plat and site plan both depict building setback lines around the property, however they are not entirely correct. The required 25' minimum front building setback along Carondolet Court is depicted along the entire Southern property line, causing several buildings to encroach into the setback. If approved, the 25' front setback should be revised to be illustrated only where public right-of-way abuts the subject site. Furthermore, all other setbacks along the property boundaries are depicted at eight feet. If approved, this should be revised to either not show side and rear setbacks (as they are not required by the Subdivision Regulations) or reflect a minimum setback of 10' where the site abuts residentially zoned or utilized property and may be a minimum five feet where the site abuts commercially zoned property.

Typically, a 25' front setback would be required wherever the property abuts road frontage, including interior private streets. However, as this is an already established development and the private streets will basically serve as interior driveways, a waiver from Section V.D.9. of the Subdivision Regulations may be appropriate. If approved, the Final Plat and PUD site plan should be revised to either reflect the correct setbacks requirement along all property lines, or only show the correct 25' front minimum building setback line prior to signing the Final Plat.

Regarding access management, a note should be placed on the Final Plat and PUD site plan stating Traffic Engineering comments.

The preliminary plat illustrates numerous existing drainage, utility, and ingress/egress easements recorded on the site which should be retained and labeled on the Final Plat and PUD site plan. Additionally, a note should be placed on the Final Plat and PUD site plan stating that no structure may be placed or constructed within any easement without permission of the easement holder.

There are two existing dumpsters depicted on the site plan. Any future additional shared dumpsters will need to meet the setback, enclosure and sanitary sewer connection requirements of Section 64-4.D.9. of the Zoning Ordinance and be illustrated on a revised PUD site plan.

The applicant proposes a new leasing office and private gate and both are depicted on the site plan by a bubble labeled “future structure”; however, the specific size, shape, and location of the structures is not depicted. As the proposed areas for the gate and leasing office are illustrated on the PUD site plan, once the street vacation is complete and the Final Plat is recorded, the applicant should submit an Admin PUD for the proposed gate and leasing office to ensure site compliance with queuing, parking, and setback requirements etc.

Finally, the preliminary plat proposes a common area; the Final Plat should include a note stating that maintenance of the common area is the sole responsibility of the property owners, and not the City of Mobile.

RECOMMENDATION

Subdivision: Based upon the preceding, and with waivers from Sections V.D.9. and V.B.14. of the Subdivision Regulations, the Subdivision is recommended for Tentative Approval subject to the following conditions:

- 1) Either revision of the Final Plat to label the right-of-way width for Spring Hill Avenue as 100 feet or remove the right-of-way width label for Spring Hill Avenue;
- 2) Completion of the Vacation process through the City Clerk’s office prior to signing of the Final Plat;
- 3) Revision of the Final Plat to clearly label the streets as private;
- 4) Retention of the lot size label in both square feet and acres on the Final Plat or the furnishing of a table providing the same information;
- 5) Retention of all recorded easements on the Final Plat and placement of a note stating that no structures shall be constructed within any easement without the permission of the easement holder;
- 6) Placement of a note stating that maintenance of the common area is the sole responsibility of the property owners, and not the City of Mobile;
- 7) Full compliance with Engineering comments: (*FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required*

- notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Add street names to the vicinity map. C. Review and revise the written overall description or distance label for one of the legs of the east property line. D. Provide a written description for the subdivision boundary. E. National Wetlands Inventory (NWI) mapping, as shown on City of Mobile GIS information, indicates that there is potential for wetlands within the property or properties shown on this plat. Show and label the delineated wetlands, or provide a note stating that the wetlands shown on this plat are scaled from the NWI data and have not been delineated. F. Provide a note that a 25' riparian buffer may be required, during development, along the edge of anything considered by ADEM to be a water of the state. G. Show and label all flood zones. New maps went into effect on June 5, 2020. H. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation. I. Clarify that Carondolet Circle within LOT 1 is PRIVATE. J. Provide the Surveyor's and Owner's (notarized) signatures. K. Email a pdf copy of the FINAL SUBDIVISION PLAT and LETTER OF DECISION to the Permitting Engineering Dept. for review at land.disturbance@cityofmobile.org prior to obtaining any signatures. No signatures are required on the drawing. L. After addressing all of the FINAL SUBDIVISION PLAT review comments provide the ORIGINAL (with all signatures except for the Planning Commission, Traffic Engineering, and City Engineer), one (1) copy, and a transmittal letter to the Engineering Permitting Department. They can be dropped off at 205 Government St. or mailed to PO Box 1827, Mobile, AL, 36633.);*
- 8) Placement of a note on the site plan stating the following Traffic Engineering comments: *(With the vacation of right-of-way within the subject property, the site is limited to one curb cut to Carondolet Court, with any changes to size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
 - 9) Compliance with Urban Forestry comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.);*
 - 10) Compliance with Fire Department comments: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.);*
 - 11) Provision of two (2) revised PUD Site Plans to the Planning & Zoning Department prior to signing of the Final Plat; and
 - 12) Compliance with all other applicable municipal Codes and Ordinances.

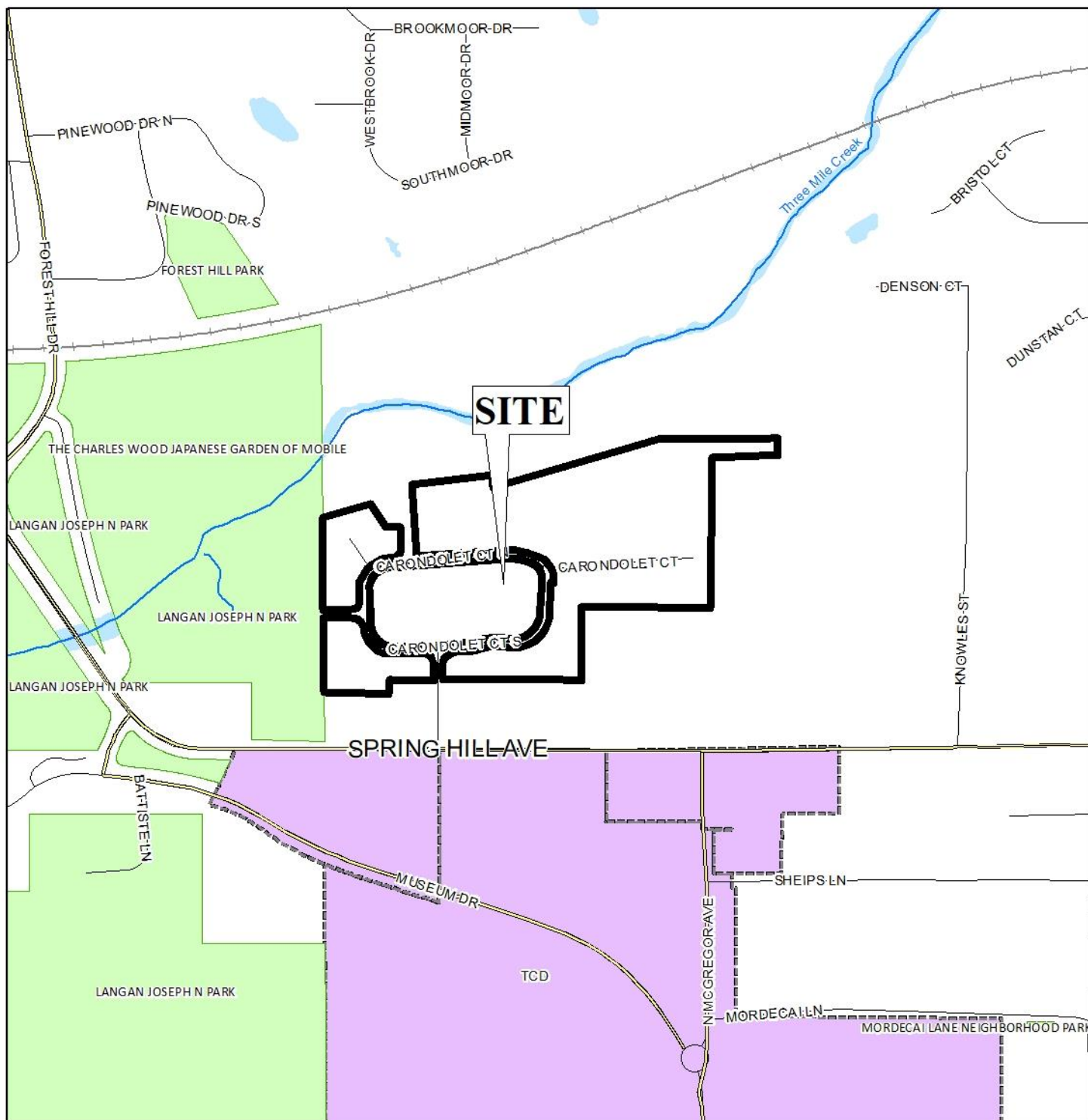
Planned Unit Development: Based on the preceding, staff recommends to the Planning Commission the following findings of fact for Approval of the Planned Unit Development:

- a) the proposal promotes the objective of Creative design (to encourage innovative and diversified design in building form and site development), because it is allowing additional development to occur on a developed lot;
- b) the proposal promotes the objective of Efficient land use (to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for redevelopment), because it is allowing the existing business to expand on the existing property;
- c) the proposal promotes the objective of Environment (to preserve and protect as urban amenities the natural features and characteristics of the land), because no perimeter development or development within the wetland or wooded areas of the site are proposed;
- d) the proposal promotes the objective of Open space (to encourage the provision of common open space through efficient site design), because there will be little new development within the open space of the site; and
- e) the proposal promotes the objective of Public services (to encourage optimum use of available public utilities, streets and community facilities), because it is utilizing a site that is already developed that is already served with public infrastructure.

The Approval should be subject to the following conditions:

- 1) Full compliance with Engineering comments: (*Retain PUD NOTES #1 - #5 and #11, as shown on the PUD Site Plan dated DEC 2020.*);
- 2) Placement of a note on the site plan stating the following Traffic Engineering comments: (*With the vacation of right-of-way within the subject property, the site is limited to one curb cut to Carondolet Court, with any changes to size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.*);
- 3) Compliance with Urban Forestry comments: (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.*);
- 4) Compliance with Fire Department comments: (*All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.*);
- 5) Provision of two (2) revised PUD Site Plans to the Planning & Zoning Department prior to signing of the Final Plat;
- 6) Submittal and approval of an Admin PUD application for the proposed future gate and leasing office; and
- 7) Compliance with all other applicable municipal Codes and Ordinances.

LOCATOR MAP



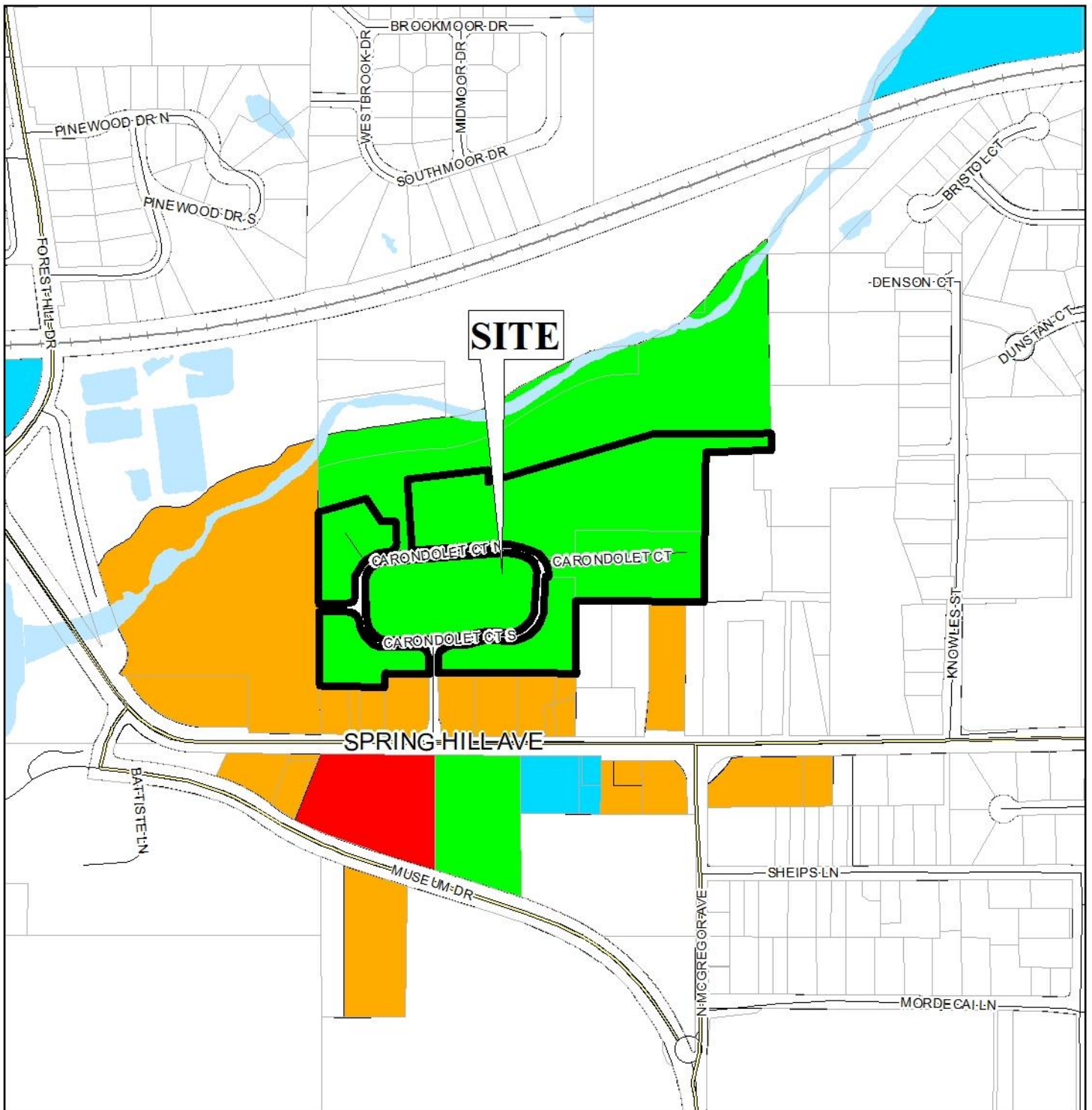
APPLICATION NUMBER 3 DATE January 21, 2021

APPLICANT Carondolet Subdivision

REQUEST Subdivision, Planned Unit Development



LOCATOR ZONING MAP



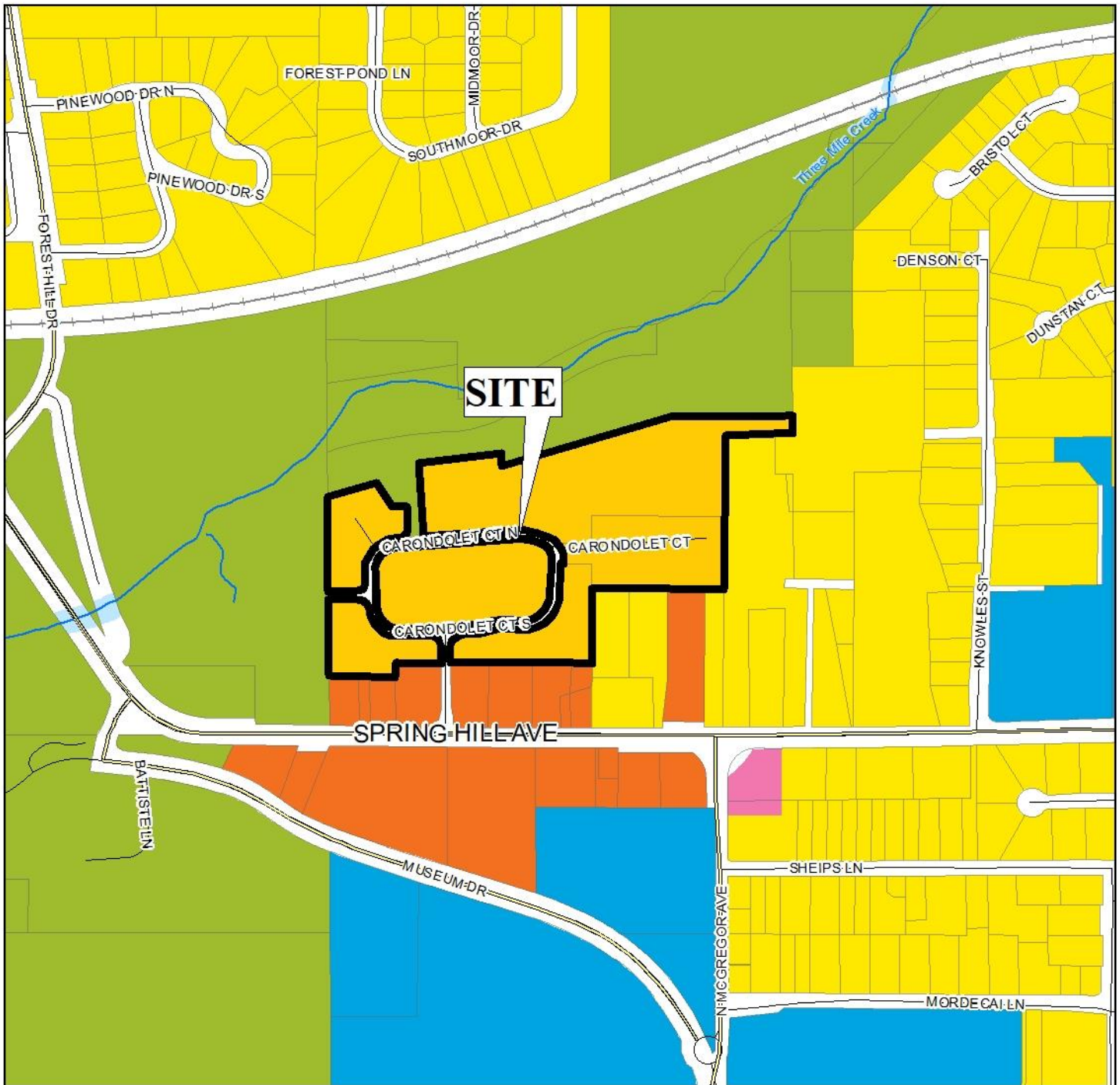
APPLICATION NUMBER 3 DATE January 21, 2021

APPLICANT Carondolet Subdivision

REQUEST Subdivision, Planned Unit Development



FLUM LOCATOR MAP



APPLICATION NUMBER 3 DATE January 21, 2021

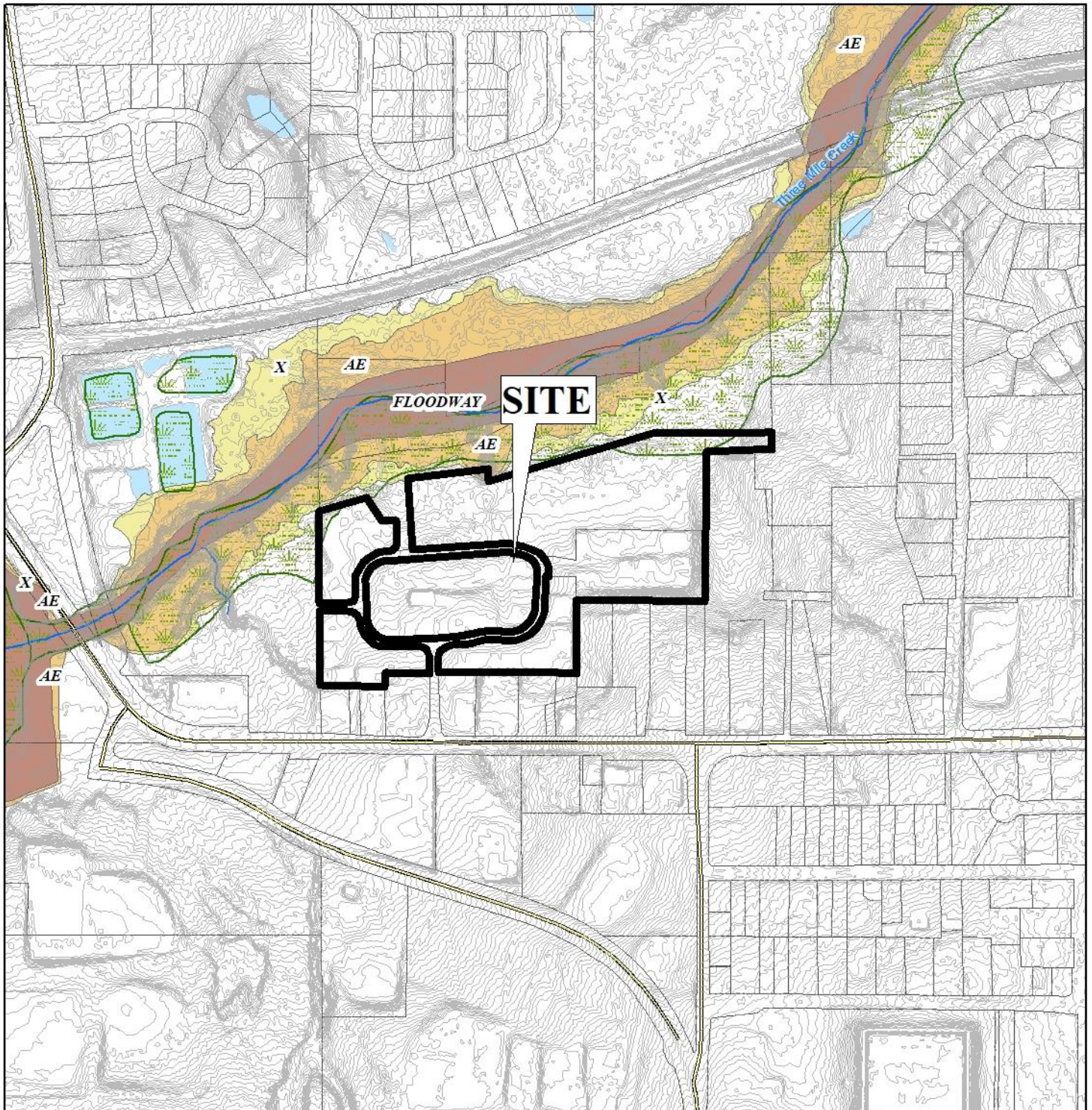
APPLICANT Carondolet Subdivision

REQUEST Subdivision, Planned Unit Development

Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



ENVIRONMENTAL LOCATOR MAP



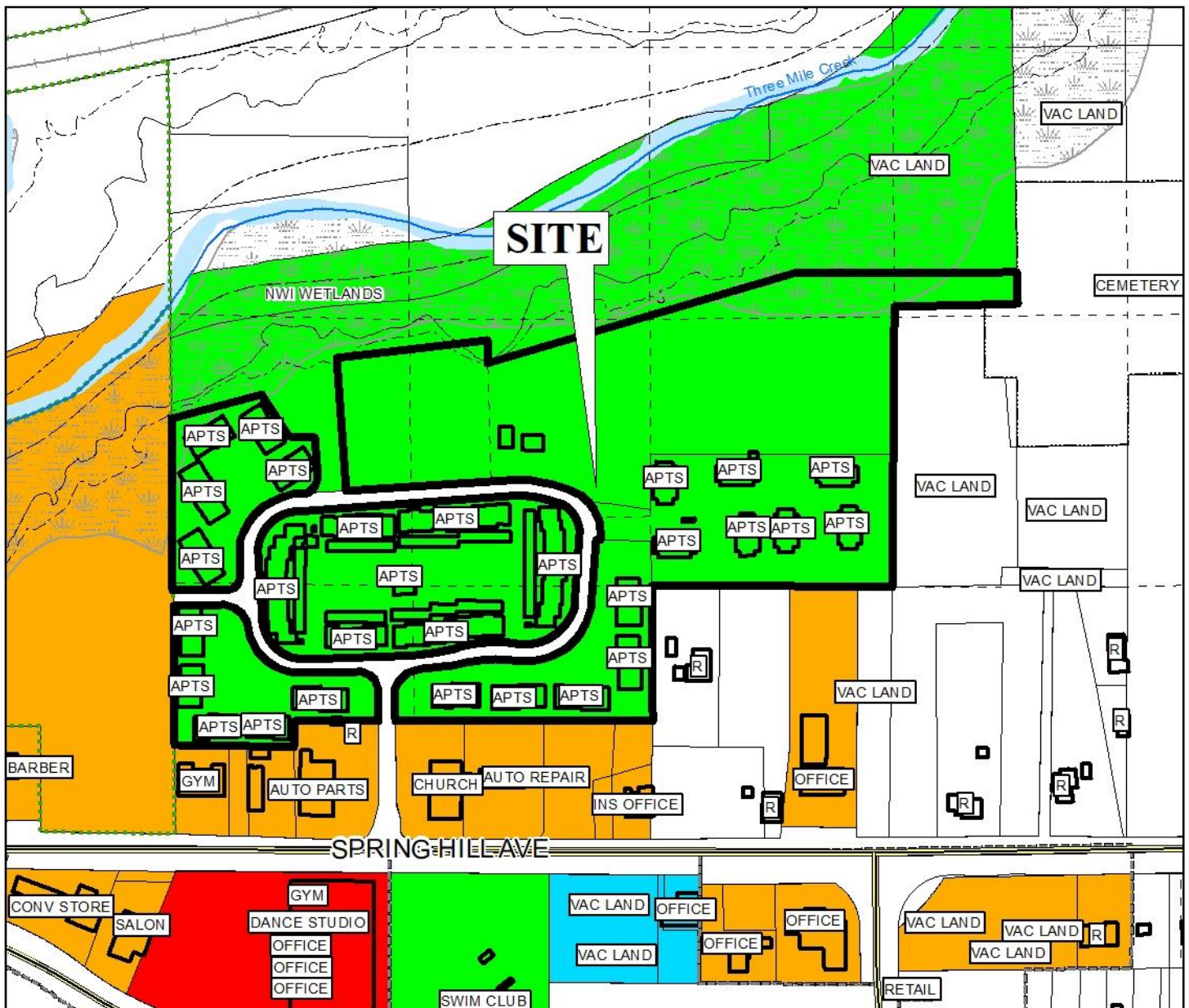
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REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by wetlands, vacant lands, commercial and residential units and a church.

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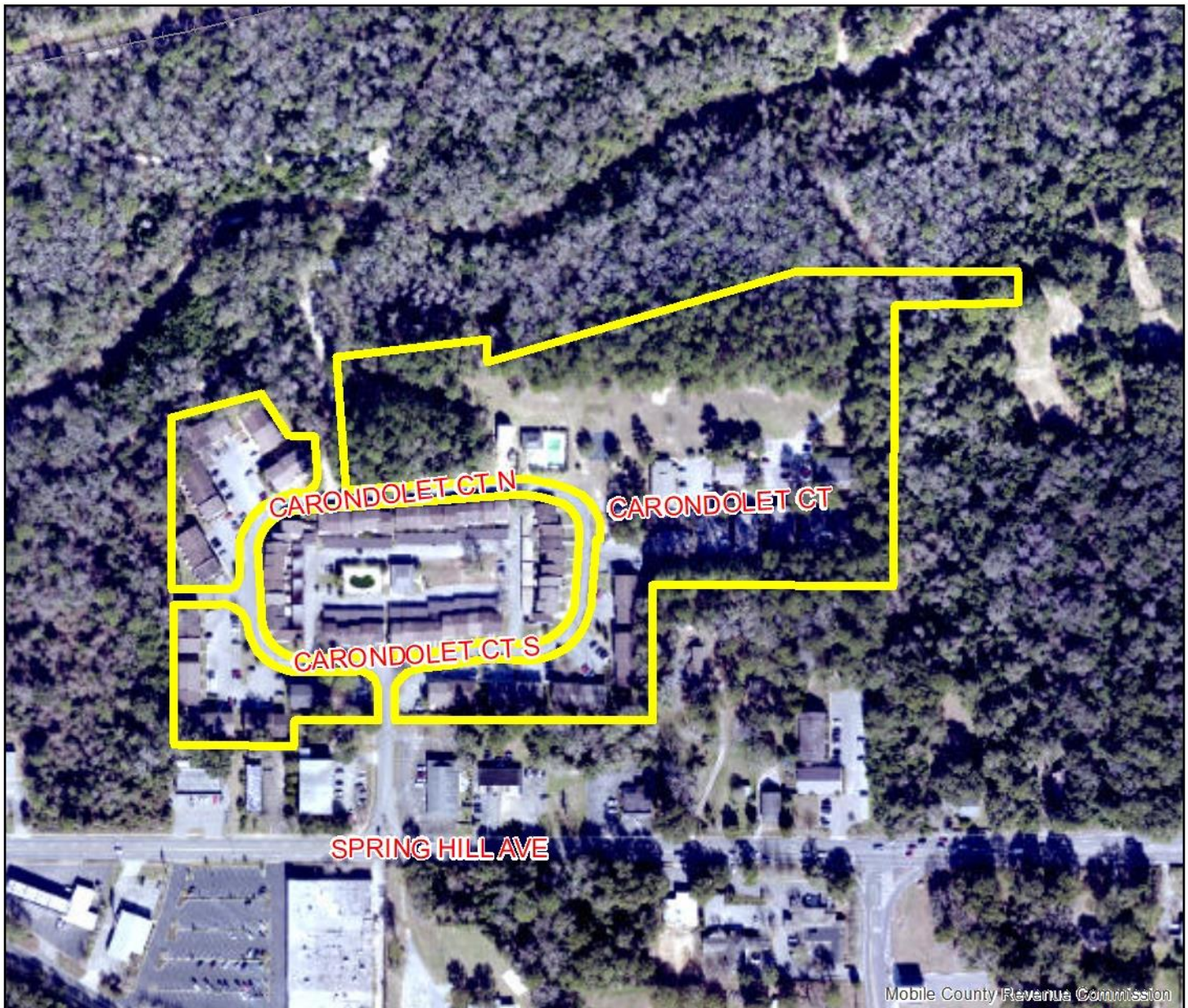
APPLICANT Carondolet Subdivision

REQUEST Subdivision, Planned Unit Development

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



The site is surrounded by wetlands, vacant lands, commercial and residential units and a church.

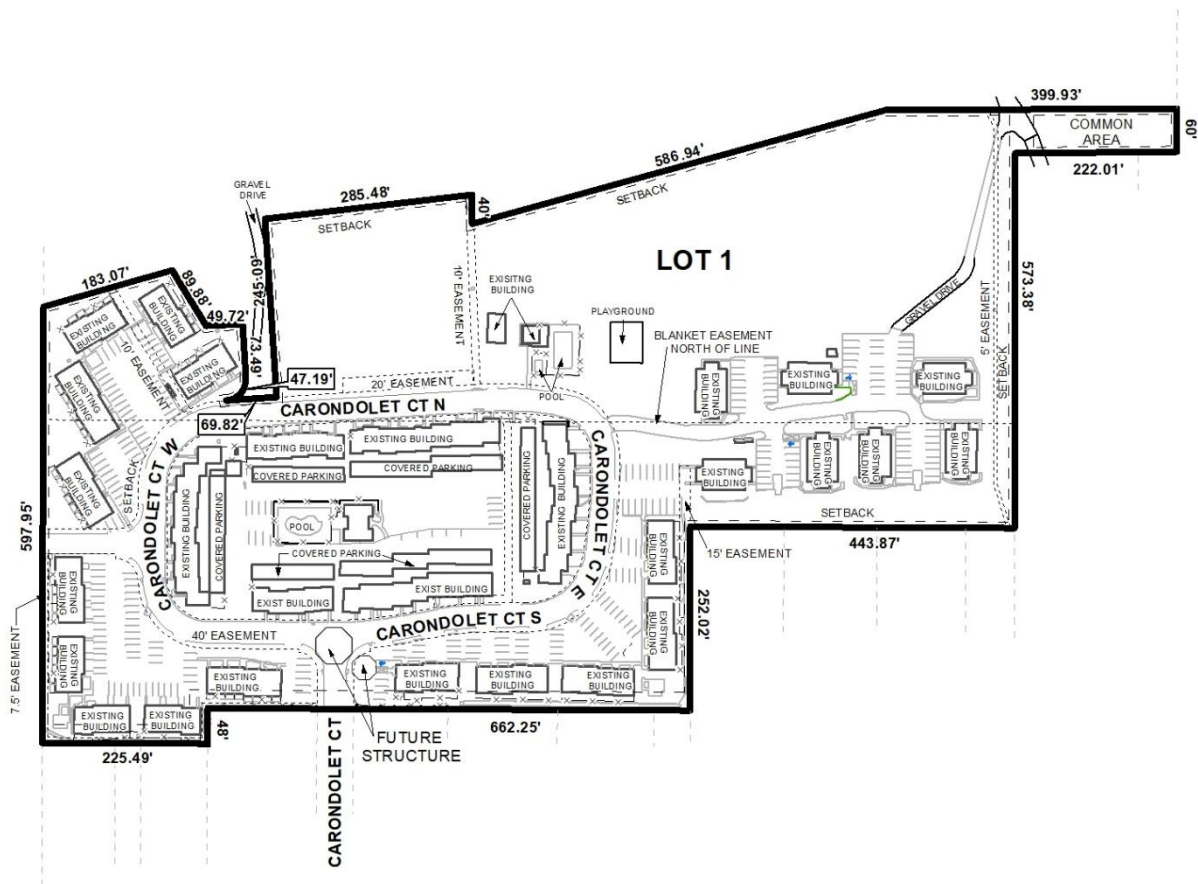
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SITE PLAN



The site plan illustrates existing buildings, easements, setbacks, and proposed structures.

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NTS