

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: March 4, 2010****DEVELOPMENT NAME**

Greater Vision of Faith

SUBDIVISION NAME

Greater Vision of Faith Subdivision

LOCATION461 & 463 Bay Shore Avenue
(Southwest corner of Bay Shore Avenue and Josephine Street)**CITY COUNCIL
DISTRICT**

District 1

AREA OF PROPERTY

1 Lot / 0.8 ± acres

CONTEMPLATED USE

Planned Unit Development Approval to allow multiple buildings on a single building site, and Subdivision approval to create 1 lot.

**TIME SCHEDULE
FOR DEVELOPMENT***Immediate upon approval (Revised for 4/1/10 meeting)***ENGINEERING
COMMENTS**

A drainage easement will be required on each side of the creek; the width of the easement shall be a minimum of 50' wide and its location to be coordinated with City Engineering Department. The parking lot on the south side of the creek shall not extend beyond the existing top of bank without approval from the City Engineer. A note shall be added to the plat stating that any pavement or other structure located within the drainage easement is subject to removal without compensation for the purposes of maintenance of the creek and any cost associated with the replacement of such shall be the sole responsibility of the property owner. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Any existing damaged sidewalk panels and/or driveway aprons shall be replaced.

Revised comments for the April 1, 2010 meeting

The parking lot on the south side of the creek shall not extend beyond the existing top of bank without approval from the City Engineer. All proposed drainage structures private and public are to be reviewed and approved during the land disturbance phase. A note shall be added to the plat stating that any pavement or other structure located within the drainage easement is subject to removal without compensation for the purposes of maintenance of the creek and any cost associated with the replacement of such shall be the sole responsibility of the property owner. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Any existing damaged sidewalk panels and/or driveway aprons shall be replaced.

TRAFFIC ENGINEERING**COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. The northern most drive accessing Bayshore Avenue must be widened to the standard of twenty-four feet with twenty foot radii. The unused driveway cuts to Bayshore Avenue must be removed. Limited to one curb cut to Josephine Street.

Revised comments for the April 1, 2010 meeting

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Traffic Engineering will approve two driveway cuts for Josephine Street.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

There is a 48-inch Live Oak tree and a 77-inch Live Oak tree on the site that are proposed to be removed. After consultation with the applicant's Engineer, relocation of proposed building to save the trees is not possible due to existing open ditch on the site.

FIRE DEPARTMENT**COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

REMARKS

The applicant is seeking Planned Unit Development Approval to allow multiple buildings on a single building site, and Subdivision approval to create one legal lot of record from six (6) existing legal lots of record. The site is located in Council District 1, and according to the applicant is served by public water and sanitary sewer.

The applicant proposes to construct an 8,800 square-foot Family Center Building for the church as well as to construct new parking areas.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the

minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The information that the applicant submitted did not include any information regarding what type of activities or functions that the proposed “Family Center” building will be utilized for. A detailed narrative, including a floor plan of the building, should be provided so that the application may be accurately reviewed. Additionally, no information was provided regarding the time frame of development which is required by Section 64-5.D.2.a (2) of the Zoning Ordinance for a Planned Unit Development application.

Both City Engineering and City Traffic Engineering have expressed concern with the site plan. Regarding City Engineering’s concerns, the site does not appear to depict any retention or detention for the site. Additionally, there is a large drainage ditch cutting across the property, with a new parking lot encroaching into that ditch. The applicant should consult with City Engineering to determine the requirements and make appropriate changes.

City Traffic Engineering states that only one curb cut should be allowed to Josephine Street. The applicant currently illustrates three curb cuts, with only one being of standard width. Additionally, the site plan depicts asphalt parking and maneuvering area within the Josephine Street right-of-way, and this should be removed. Along Bayshore Avenue, the two unused driveway cuts should be removed, and the northernmost curb cut should be revised to meet the standard 24-foot width.

The proposed lot, as depicted, meets the minimum size and frontage requirements as regulated by the Subdivision Regulations. The proposed lot appears to meet all requirements of the zoning ordinance, however, as the PUD is recommended for holdover, the Subdivision should similarly be heldover.

RECOMMENDATION

Planned Unit Development: Based upon the preceding, this application is recommended for Holdover until the April 1, 2010 meeting, with revisions due by noon Wednesday, March 17, 2010, to address the following:

- 1) submittal of a revised narrative describing the activities and uses that the proposed Family Center building, including a floor plan;
- 2) inclusion of a development time schedule as required by Section 64-5.D.2.a (2) of the Zoning Ordinance;
- 3) consultation and possible revision of the site plan to comply with Engineering Requirements *“A drainage easement will be required on each side of the creek; the width of the easement shall be a minimum of 50’ wide and its location to be coordinated with City Engineering Department. The parking lot on the south side of the creek shall not extend beyond the existing top of bank without approval from the City Engineer. A note shall be added to the plat stating that any pavement or other structure located within the drainage easement is subject to removal without compensation for the purposes of maintenance of the creek and any cost associated with the replacement of such shall be the sole responsibility of the property owner. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way*

permit. Any existing damaged sidewalk panels and/or driveway aprons shall be replaced”;

- 4) *revision of the site plan to comply with Traffic Engineering requirements “Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. The northern most drive accessing Bayshore Avenue must be widened to the standard of twenty-four feet with twenty foot radii. The unused driveway cuts to Bayshore Avenue must be removed. Limited to one curb cut to Josephine Street”;*
and
- 5) *removal of any parking and/or maneuvering area from the right-of-way.*

Subdivision: Based upon the preceding, this application is recommended for Holdover until the April 1, 2010 meeting, with revisions due by noon Wednesday, March 17, 2010, to address the following:

- 1) *address all of the issues regarding the PUD including any easements or notes that may be required by City Engineering.*

Revised for the April 1, 2010 meeting

The applicant has submitted a revised Planned Unit Development site plan as well as a revised narrative. The applicant has complied with all previous comments except the limitation to one curb cut to Josephine Street. Traffic Engineering has indicated, however, that two curb cuts to Josephine Street will be acceptable. Further, all curb cuts are now depicted to be of sufficient width to meet City of Mobile requirements.

The applicant is also now depicting a 50-foot easement in the area of the existing creek, as well as on-site detention as required by the City Engineering Department.

The site plan depicts adequate parking for the use of the buildings as well as driveways of adequate width.

Sidewalks should be depicted on all street frontages or applications for a sidewalk waiver should be submitted.

The site plan depicts an existing freestanding sign in the right-of-way. This sign should be removed and relocated, with proper permits, to a suitable location on the church property.

Regarding the subdivision application, the preliminary plat depicts the proposed one-lot subdivision. The proposed lot, as depicted, meets the minimum size and frontage requirements as regulated by the Subdivision Regulations. The lot area size is not depicted on the plat, and this information should be shown on the Final Plat, or a table placed on the Final Plat with the same information, if approved.

The 25-foot minimum building setback line is depicted along all street frontages, and this should be retained on the Final Plat, if approved. The plat also depicts a 10-foot minimum building setback line along the southern 200 feet of the western property line. A 10-foot setback line is required by the Zoning Ordinance due to the site abutting residential properties, however, this is

not required by the subdivision regulations, and as such, this line should be deleted from the Final Plat, if approved.

The City Engineering Department is requiring a 50-foot easement to be shown on the plat for creek maintenance. This easement is shown on the PUD site plan, and should be also shown on the Final Plat, if approved.

Both Josephine Street and Bay Shore Avenue are minor streets, provided with curb and gutter. Both streets are depicted with adequate rights-of-way, and, as such, no dedication of right-of-way should be required. Regarding curb cuts, the site should be limited to two curb cuts to Bay Shore Avenue and two curb cuts to Josephine Street, with the size, design, and exact location of all curb cuts to be approved by Traffic Engineering and conform to AASHTO standards. These curb cuts correspond to the proposed PUD.

Three Mile Creek runs through the site, and wetlands associated with the creek may occur on a portion of the site. The presence of wetlands indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

Finally, the geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

RECOMMENDATION

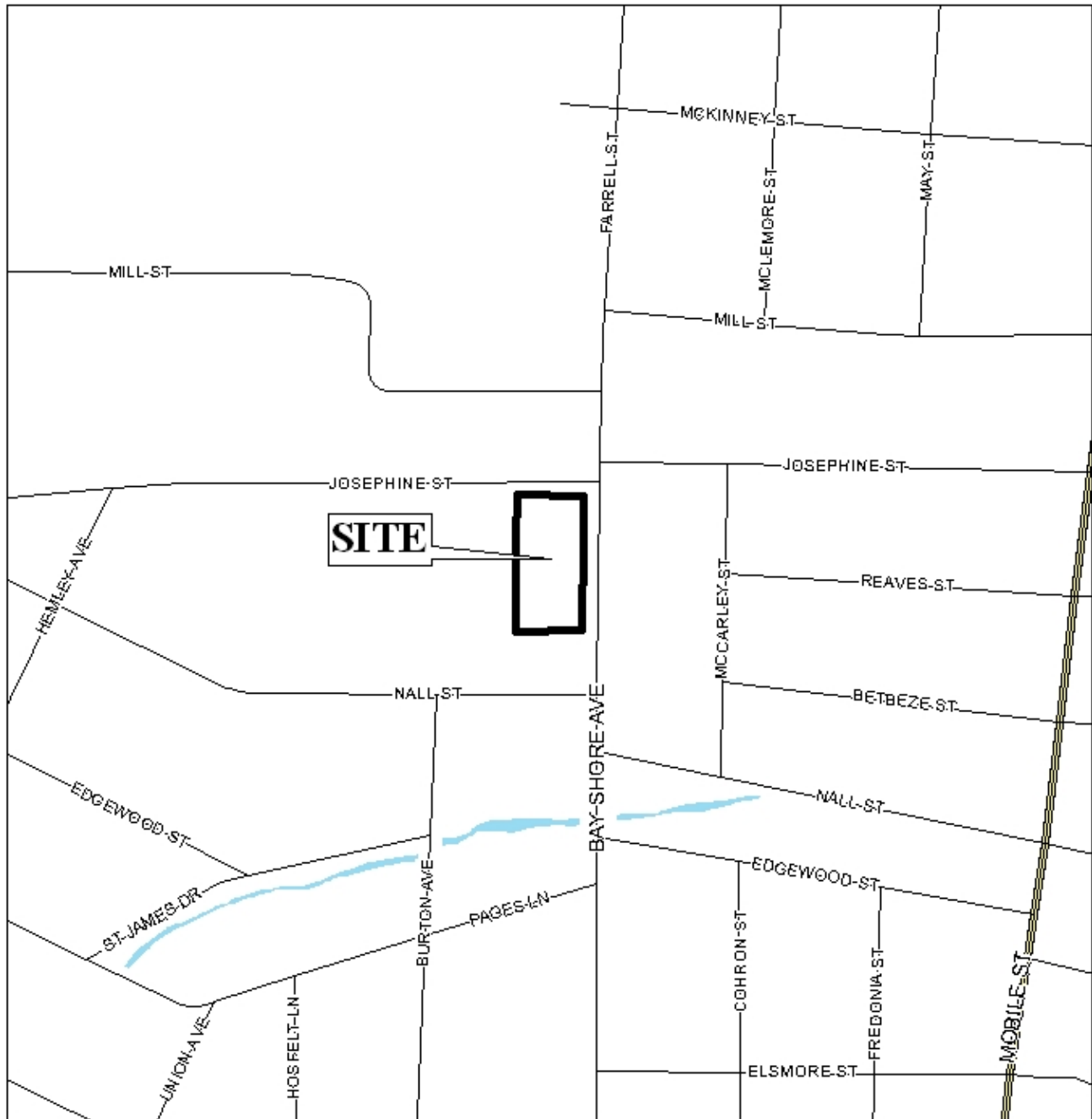
Planned Unit Development: *Based upon the preceding, this application is recommended for approval subject to the following conditions:*

- 1) depiction of sidewalks along all street frontages, or obtain a Sidewalk Waiver;*
- 2) removal of the existing freestanding sign from the right-of-way and relocations of the sign (with permits) to the suitable location on the site;*
- 3) full compliance with Engineering comments: "The parking lot on the south side of the creek shall not extend beyond the existing top of bank without approval from the City Engineer. All proposed drainage structures private and public are to be reviewed and approved during the land disturbance phase. A note shall be added to the plat stating that any pavement or other structure located within the drainage easement is subject to removal without compensation for the purposes of maintenance of the creek and any cost associated with the replacement of such shall be the sole responsibility of the property owner. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Any existing damaged sidewalk panels and/or driveway aprons shall be replaced";*
- 4) completion of the Subdivision process;*
- 5) provision of two copies of the final revised PUD to the Planning Section of the Urban Development Department prior to any permits being issued; and*
- 6) full compliance with municipal codes and ordinances.*

Subdivision: Based upon the preceding, this application recommended for tentative approval subject to the following conditions:

- 1) depiction of the lot area size, in square feet, on the Final Plat, or provision of a table on the Final Plat with the same information;
- 2) retention of the 25-foot minimum building setback line along all street frontages;
- 3) deletion of the 10-foot minimum building setback line as depicted on the southern 200 feet of the western property line;
- 4) depiction of the 50-foot easement, as depicted on the approved Planned Unit Development, on the Final Plat;
- 5) full compliance with Engineering comments: "The parking lot on the south side of the creek shall not extend beyond the existing top of bank without approval from the City Engineer. All proposed drainage structures private and public are to be reviewed and approved during the land disturbance phase. A note shall be added to the plat stating that any pavement or other structure located within the drainage easement is subject to removal without compensation for the purposes of maintenance of the creek and any cost associated with the replacement of such shall be the sole responsibility of the property owner. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Any existing damaged sidewalk panels and/or driveway aprons shall be replaced";
- 6) placement of a note on the Final Plat stating that the site is limited to two curb cuts to Bay Shore Avenue and two curb cuts to Josephine Street, with the size, design, and exact location of all curb cuts to be approved by Traffic Engineering and conform to AASHTO standards;
- 7) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for wetland issues, if any, prior to the issuance of any permits or land disturbance activities; and
- 8) placement of a note on the Final Plat stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

LOCATOR



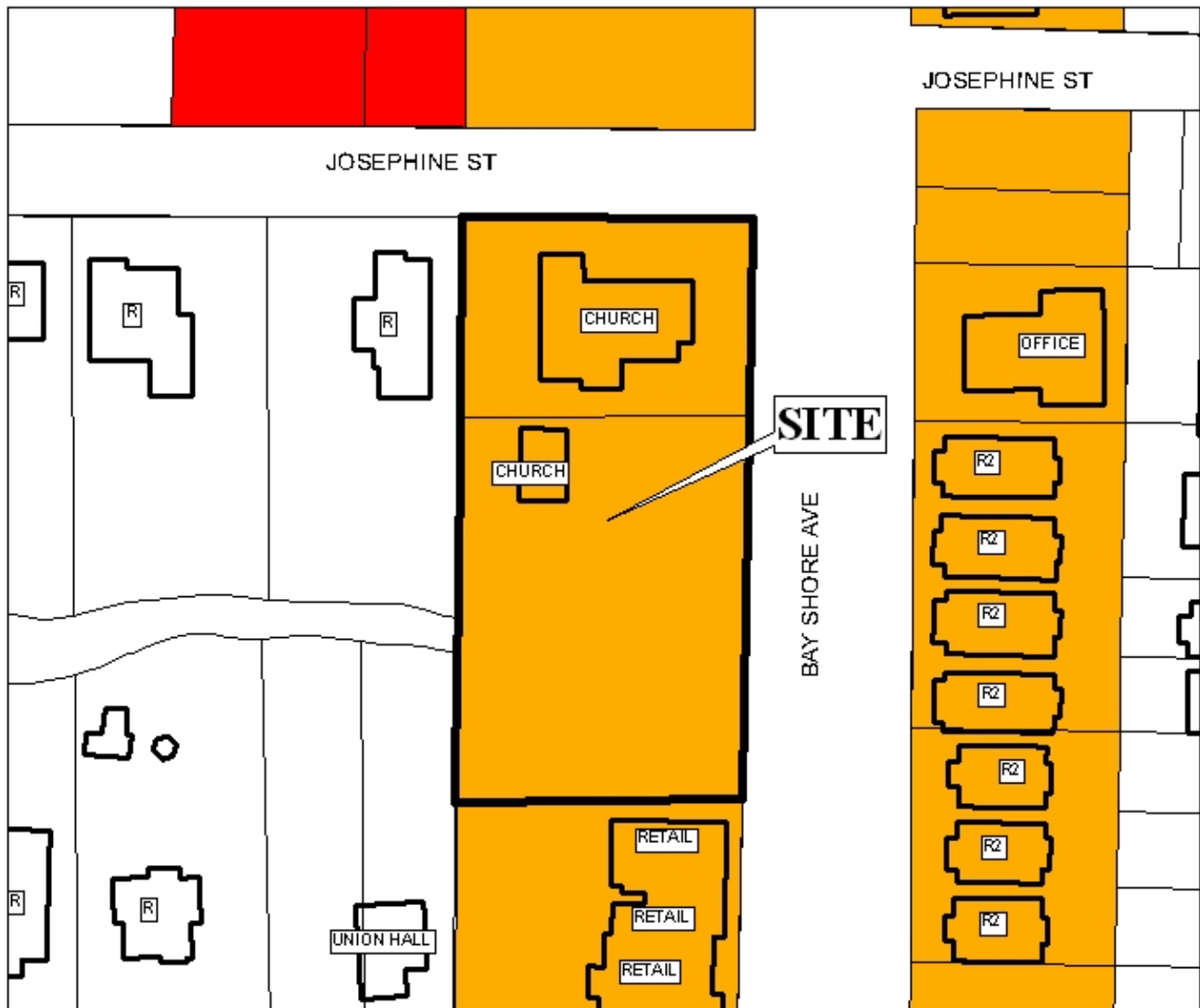
APPLICATION NUMBER 3 & 4 DATE April 1, 2010

APPLICANT Greater Vision of Faith Subdivision

REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



This site is surrounded by residential and business land use.

APPLICATION NUMBER 3 & 4 DATE April 1, 2010

APPLICANT Greater Vision of Faith Subdivision

REQUEST Subdivision, Planned Unit Development

LEGEND

R-1	R-2	R-3	R-4	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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 NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

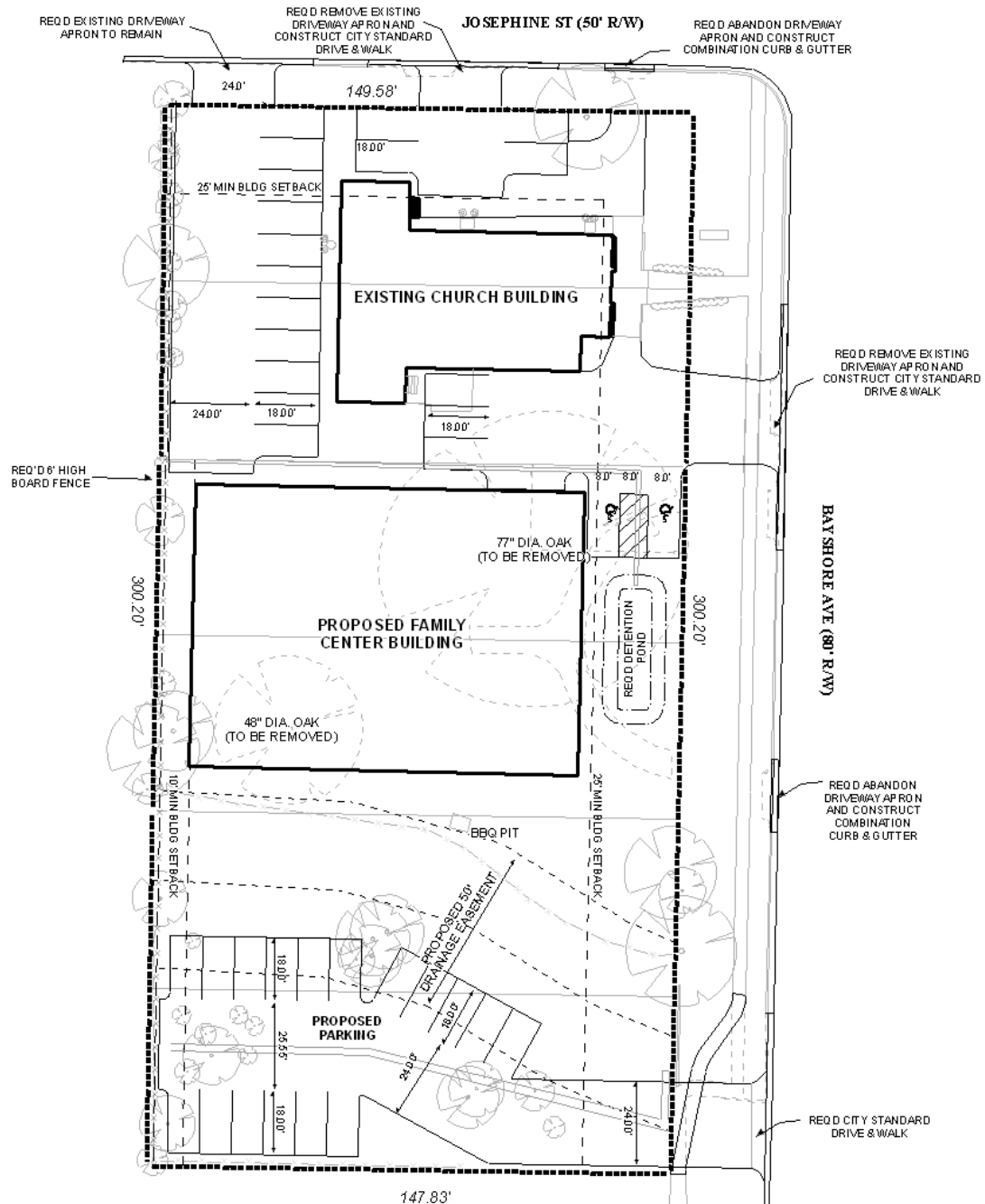


This site is surrounded by residential and business land use.

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SITE PLAN



This site plan illustrates the proposed building and parking.

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