

SUMMER WOODS SUBDIVISION, PHASE I,
RESUBDIVISION OF LOT 20

Engineering Comments: Development of property must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed one-lot, 0.2± acre subdivision located on the South side of Thresher Court, 70'+ East of its West terminus. The subdivision is served by public water and sanitary facilities.

The purpose of this application is to reduce the 25-foot minimum building setback line to 15-feet.

The site fronts Thresher Court, which is within the cul-de-sac and has a 50-foot right-of-way.

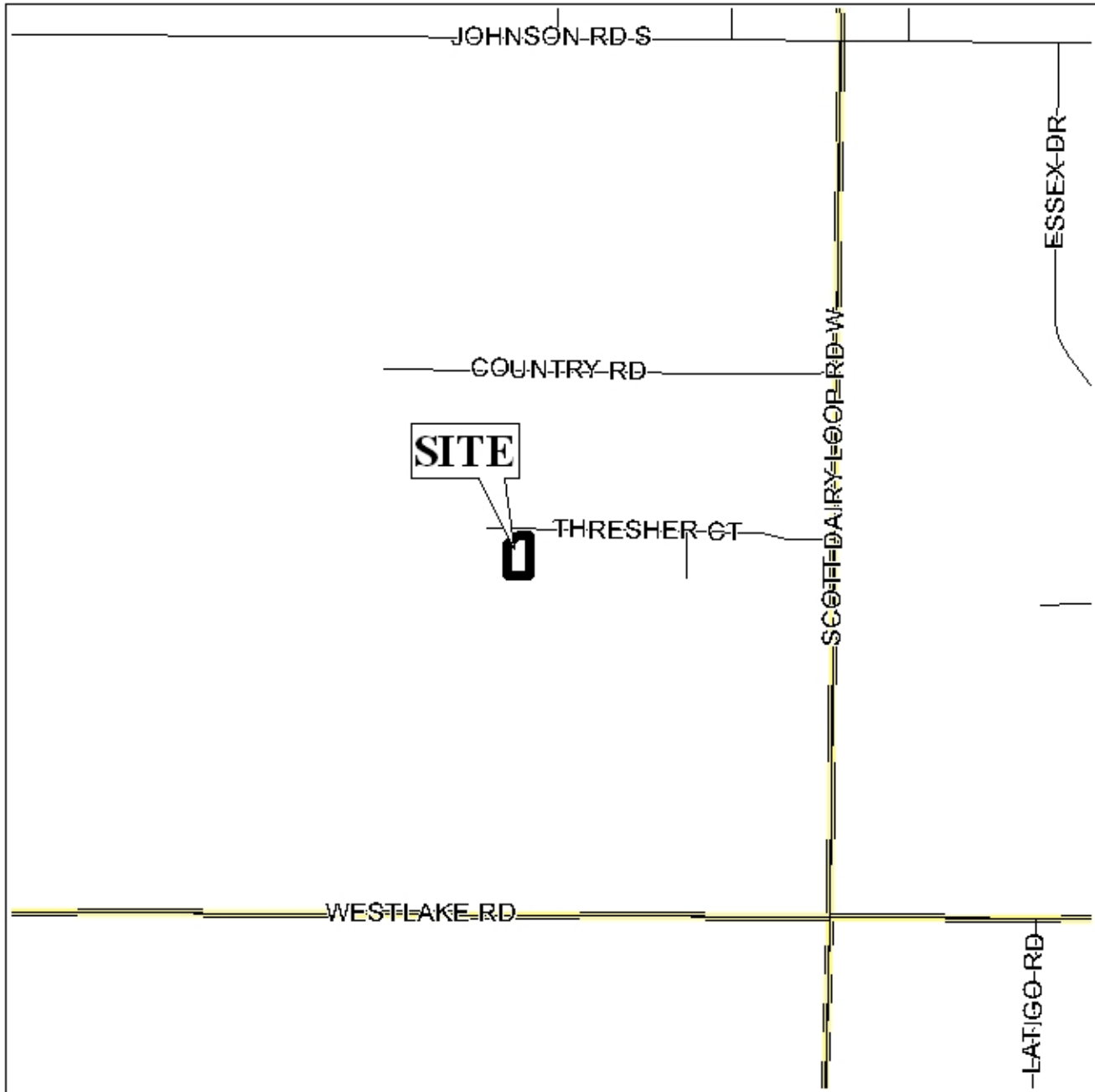
The preliminary plat illustrates a dwelling under construction within 8.2-feet of the 25-foot minimum building setback line.

Section V.D.9. Minimum Front Yard Setback of the Subdivision Regulations requires a minimum front yard setback of 25-feet from the front property line shall be provided on every lot.

This site is located in Mobile County, thus a note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

The plat is recommended for Denial for the following reason: 1) the subdivision would create a lot with a substandard minimum building setback.

LOCATOR MAP



APPLICATION NUMBER 2 DATE November 2, 2006

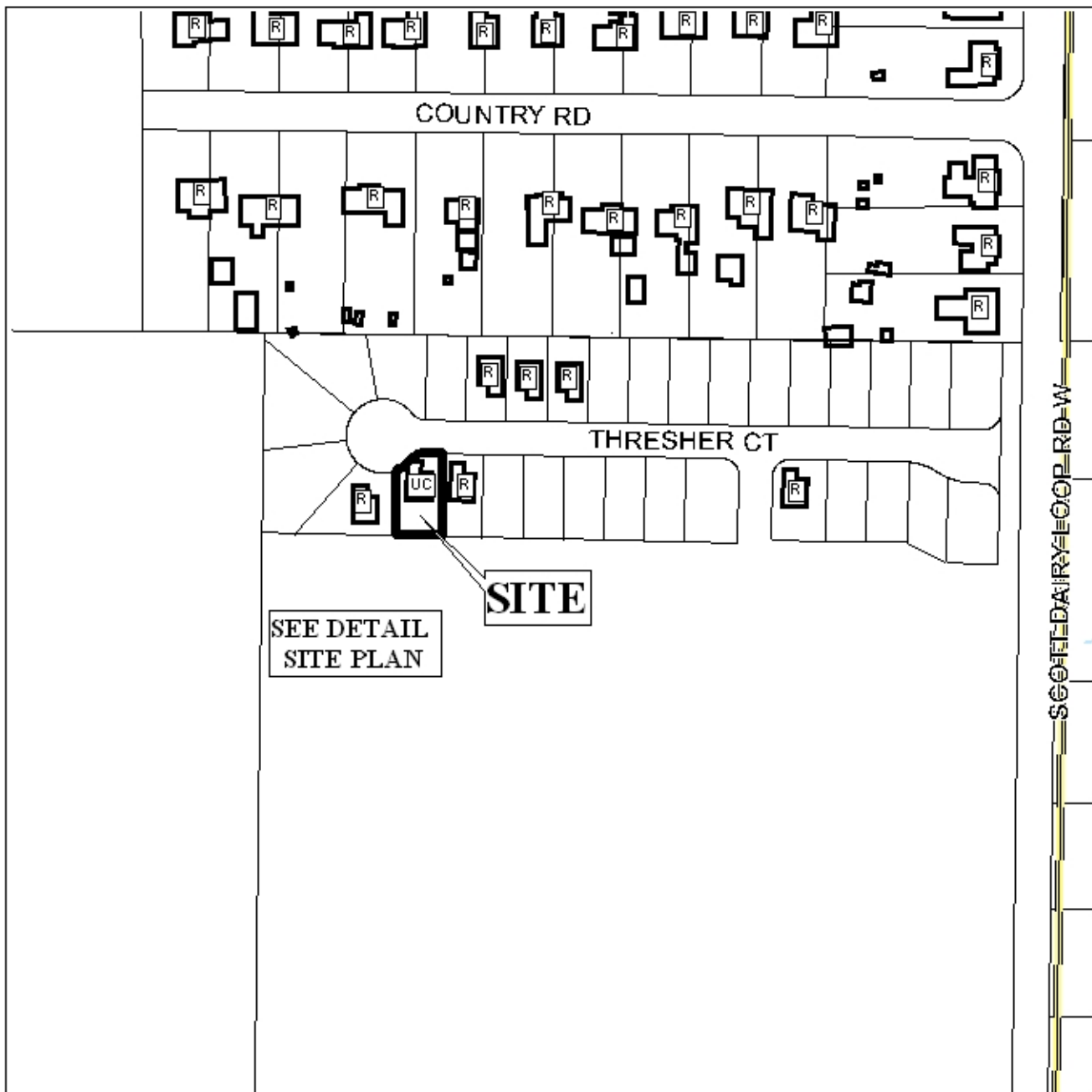
APPLICANT Summer Woods Subdivision, Phase I, Resubdivision of Lot 20

REQUEST Subdivision



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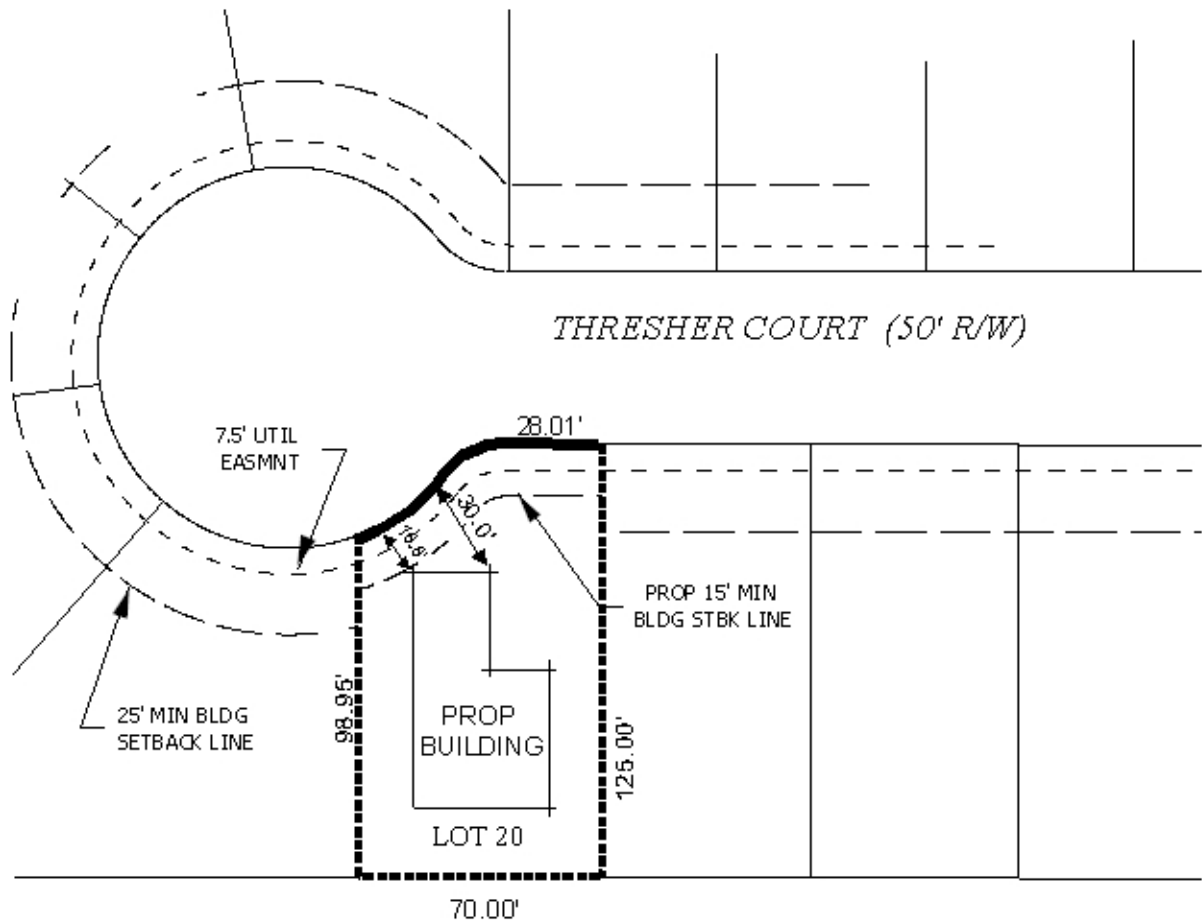
LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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DETAIL SITE PLAN



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