

## **RIVER FOREST SUBDIVISION,** **RESUBDIVISION OF LOT 35**

Engineering Comments: Show minimum finished floor elevation for any buildings or structures and/or slabs, on which, mechanical and electrical equipment will be installed. The storm water ordinance does not allow water to be concentrated onto an adjacent property without a hold harmless agreement. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: No comments.

The plat illustrates the proposed 1.7 acre  $\pm$ , 2 lot subdivision which is located on the South side of River Forest Road, 8/10 mile+ East of Alba Club Road, and is in Council District 4. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create two lots from one lot. The site is undeveloped.

The proposed lots will exceed the depth to width ratio recommended by Section V.D.3. of the Subdivision Regulations. It should also be pointed out that lots exceeding the recommended depth to width ratio are common along Dog River, thus a waiver of Section V.D.3. may be appropriate.

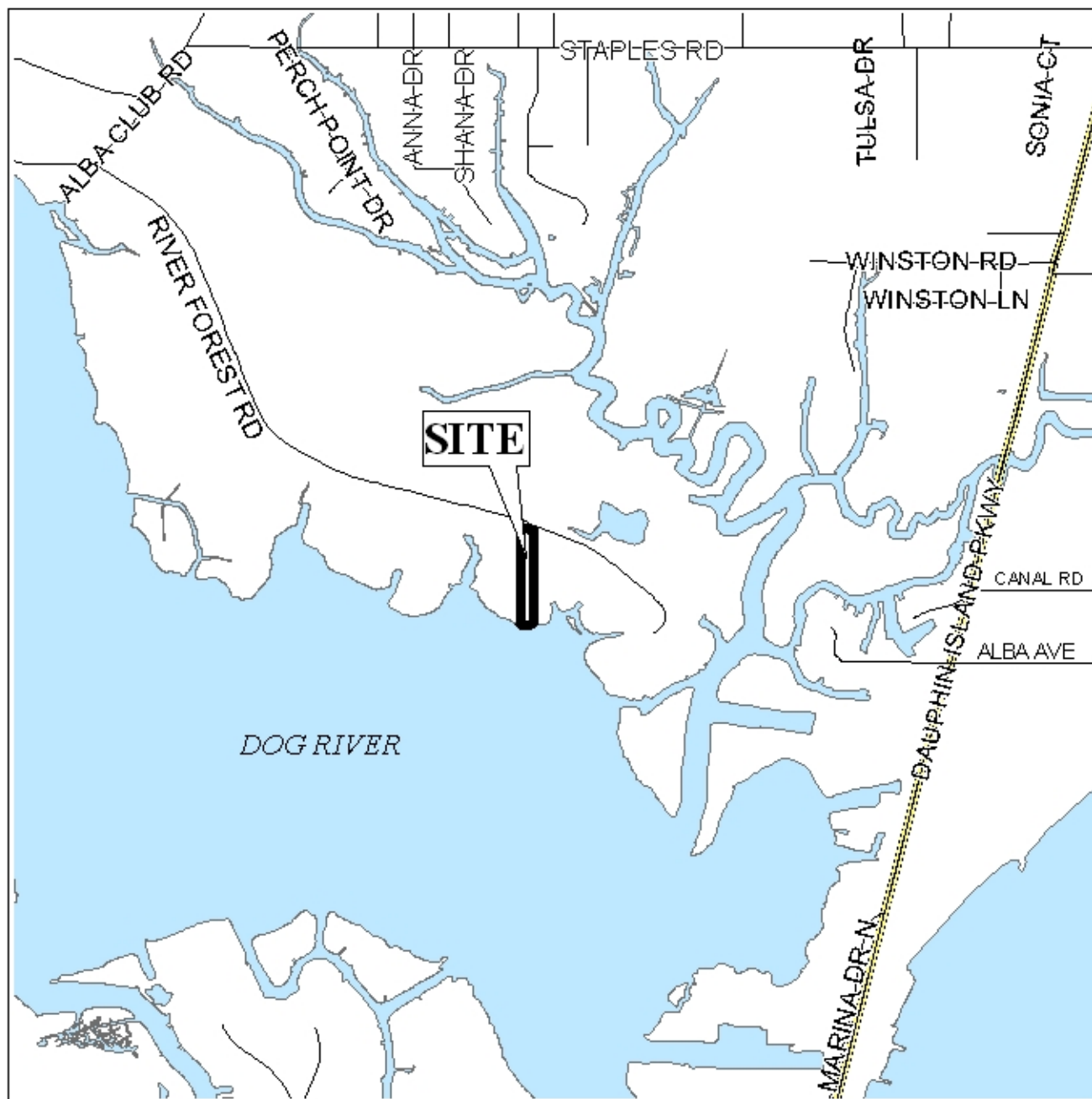
The site fronts onto River Forest Road, a minor street with adequate right-of-way. While River Forest Road is a minor street, access management is a concern. Each lot should be limited to one curb-cut onto River Forest Road, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards.

The site is bounded to the South by Dog River, and wetlands and floodplains associated with the waterway may occur on a portion of the site. The presence of wetlands and floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

With a waiver of Section V.D.3., the plat is recommended for Tentative Approval, subject to the following conditions: 1) placement of a note on the plat stating that each lot is limited to one curb-cut each onto River Forest Road, with the size, design and location to be approved by Traffic Engineering, and comply with AASHTO standards; 2) labeling of each lot with its size in square feet, or provision of a table on the plat with the same information; 3) placement of a note on the plat stating that approval of all applicable federal, state and local agencies is required prior to the issuance of any permits or land disturbance activities; 4) compliance with

Engineering comments (*Show minimum finished floor elevation for any buildings or structures and/or slabs, on which, mechanical and electrical equipment will be installed. The storm water ordinance does not allow water to be concentrated onto an adjacent property without a hold harmless agreement. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.*); and 5) full compliance with all other municipal codes and ordinances.

## LOCATOR MAP



APPLICATION NUMBER 2 DATE March 15, 2007

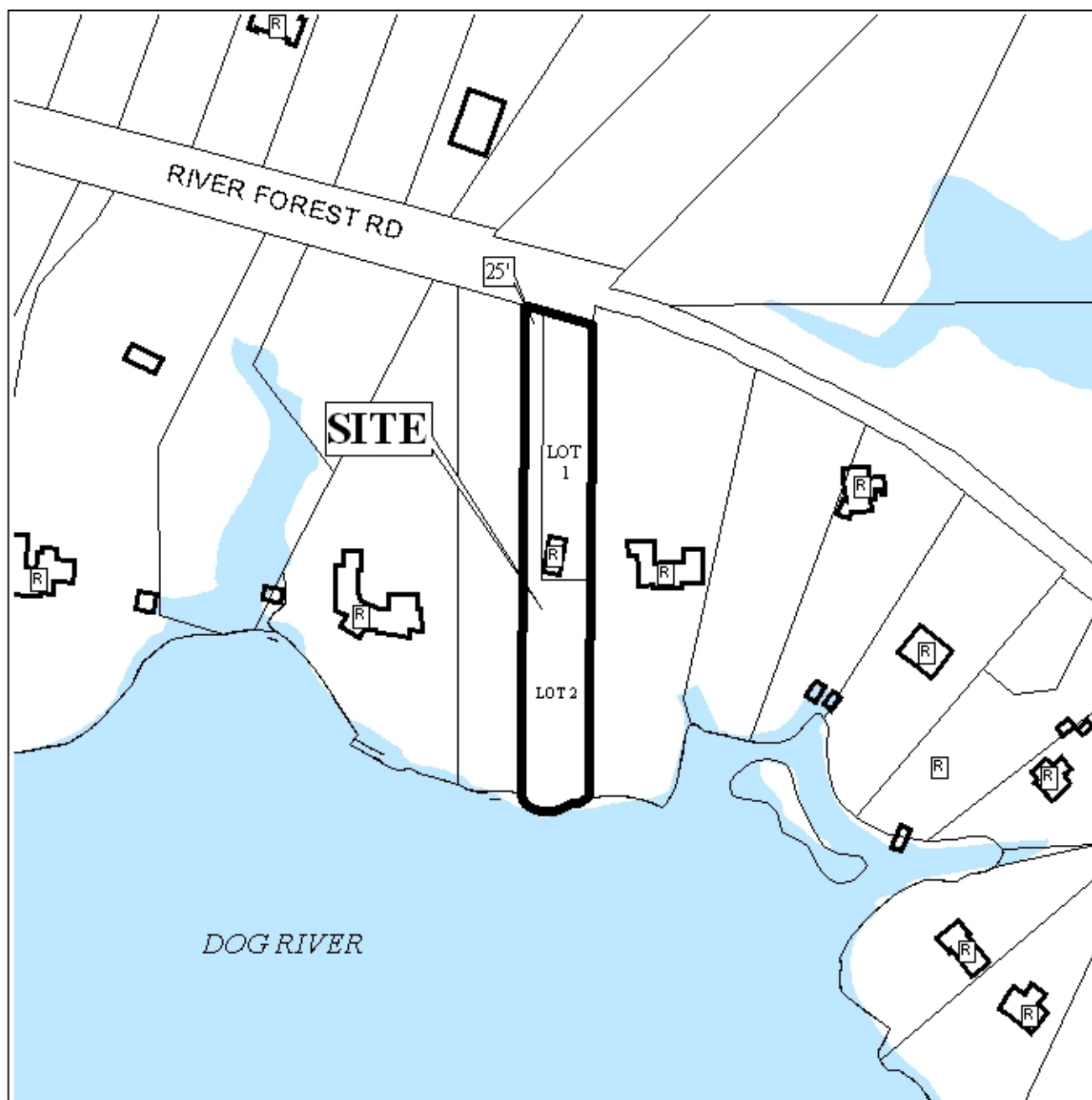
APPLICANT River Forest Subdivision, Resubdivision of Lot 35

REQUEST Subdivision











NTS

# RIVER FOREST SUBDIVISION, RESUBDIVISION OF LOT 35



APPLICATION NUMBER 2 DATE March 15, 2007

LEGEND

													
R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



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