

**NEW COUNTRY CLUB ESTATES SUBDIVISION,**  
**FIFTH UNIT, RESUBDIVISION OF LOT 13**

Engineering Comments: Development of property must comply with all stormwater management and flood control ordinances. Any work performed in the right-of-way will require a right-of-way permit.

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Trees on city right of way require a permit from the Mobile Tree Commission prior to removal.

The plat illustrates the proposed 2-lot, 1.0  $\pm$  acre subdivision which is located on the South side of Jordan Lane, 260'  $\pm$  West of Byrnes Boulevard and is located in City Council District 5. The site is served by city water and sanitary facilities.

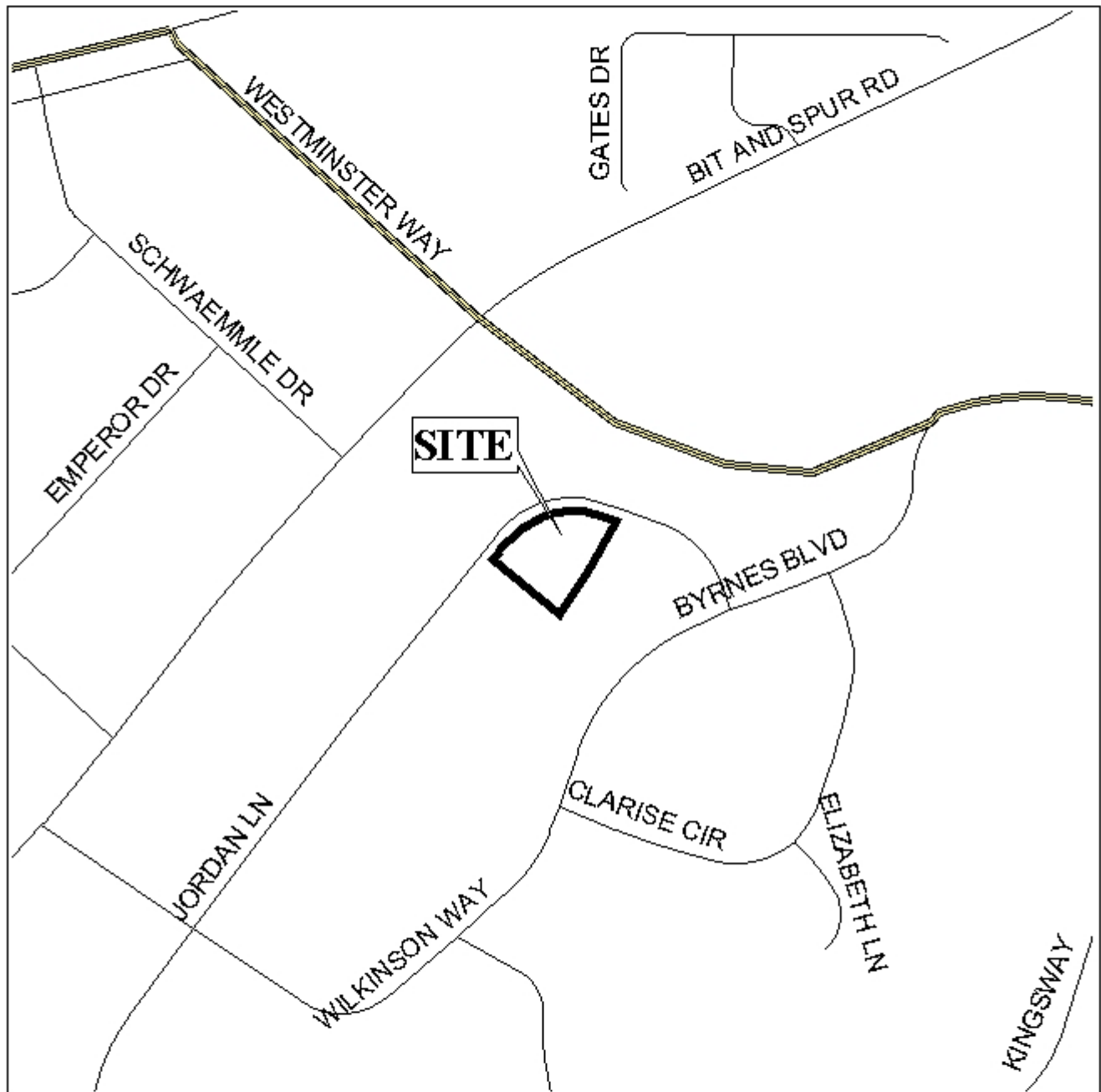
The purpose of this application is to subdivide one lot into two legal lots of record.

Since this application would create two lots, each lot should be limited to one curb cut with the size, location and design to be approved by Traffic Engineering.

As illustrated on the Vicinity map, there is an existing structure on the site, which will be bisected by the new lot line. Therefore, the existing structure should be removed prior to the recording of the final plat.

With modifications, the plat meets the minimum requirements of the subdivision Regulations and is recommended for Tentative Approval subject to the following conditions; 1) the placement on the final plat stating each lot is limited to one curb cut to Jordan Lane, with the size, location and design to be approved by Traffic Engineering; and 2) the issuance of a demolition permit for the existing residential dwelling prior to the recording of the final plat.

## LOCATOR MAP



APPLICATION NUMBER 2 DATE May 18, 2006

APPLICANT New Country Club Estates Sub, Fifth Unit, Resub of Lot 13

REQUEST Subdivision



# **NEW COUNTRY CLUB ESTATES SUBDIVISION, FIFTH UNIT, RESUBDIVISION OF LOT 13**



APPLICATION NUMBER 2 DATE May 18, 2006

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

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