

MILLER CREEK ESTATES SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

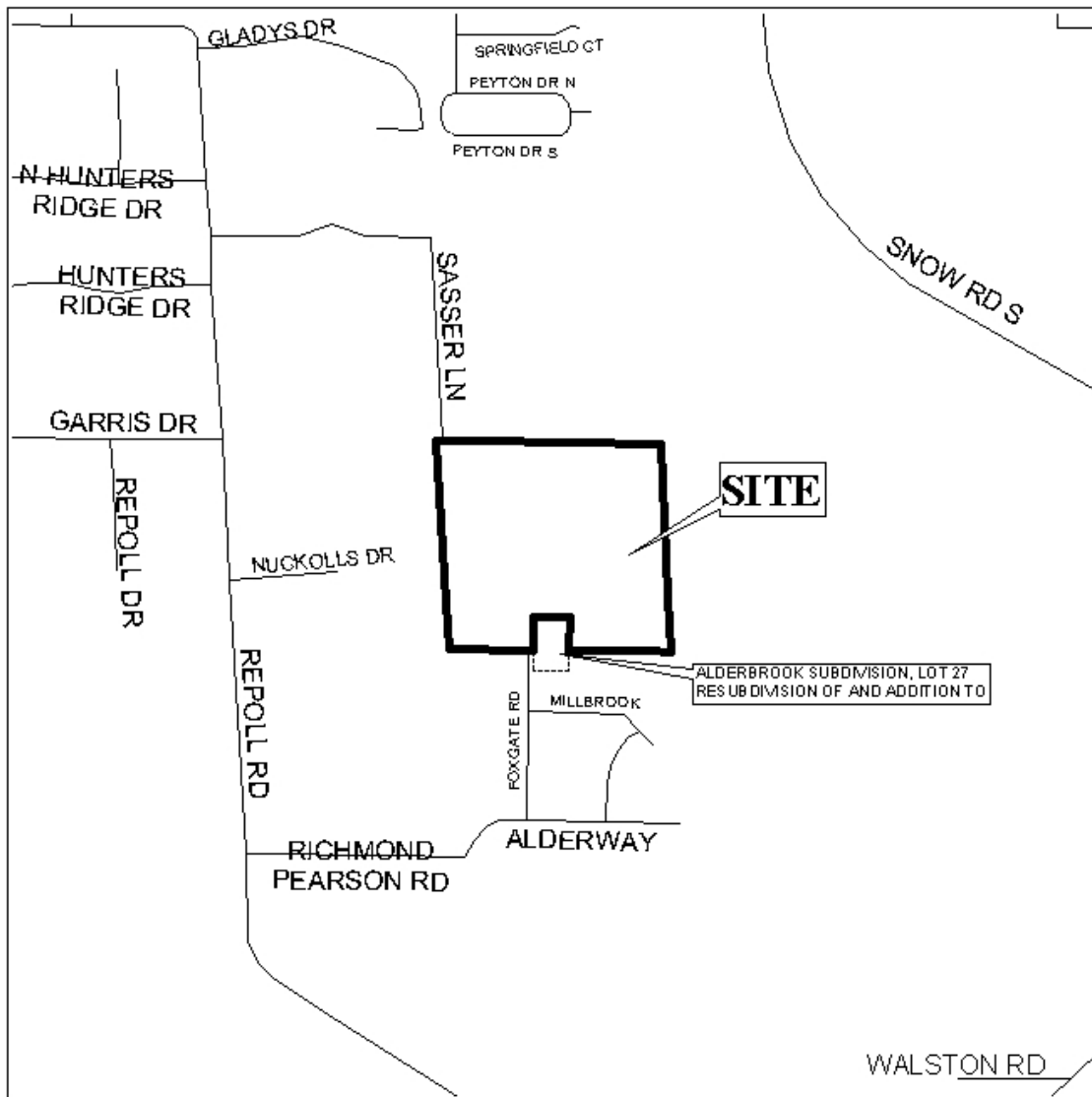
The plat illustrates the proposed 2 lot, 37.2± acres subdivision which is located at the North terminus of Foxgate Road, adjacent to the North side of Alderbrook Subdivision, extending to the South terminus of Sasser Lane. The site is served by public water and individual septic facilities.

The site contains a floodway and flood zones. Lot 2 has real property frontage to Foxgate Road; however, the Miller Creek floodway prohibits Foxgate Road from providing viable access to the developable portion(s) of Lot 2. Consequently, the actual access to Lot 2 is via a 30-foot easement to Sasser Lane.

Sasser Lane is a public right-of-way; however, it is not maintained by the County. Additionally, to the North of the site, Sasser Lane is essentially a driveway for the existing dwellings. Section V.D.4. requires lots to abut a dedicated and maintained public street; Sasser Lane is not maintained by the County, nor is it constructed to the site.

Based upon the preceding, this application is recommended for denial for the following reason: 1) the application would not comply with Section V.D.4. of the Subdivision Regulations, which require all lots to abut a dedicated and maintained public street.

LOCATOR MAP



APPLICATION NUMBER 2 DATE May 20, 2004

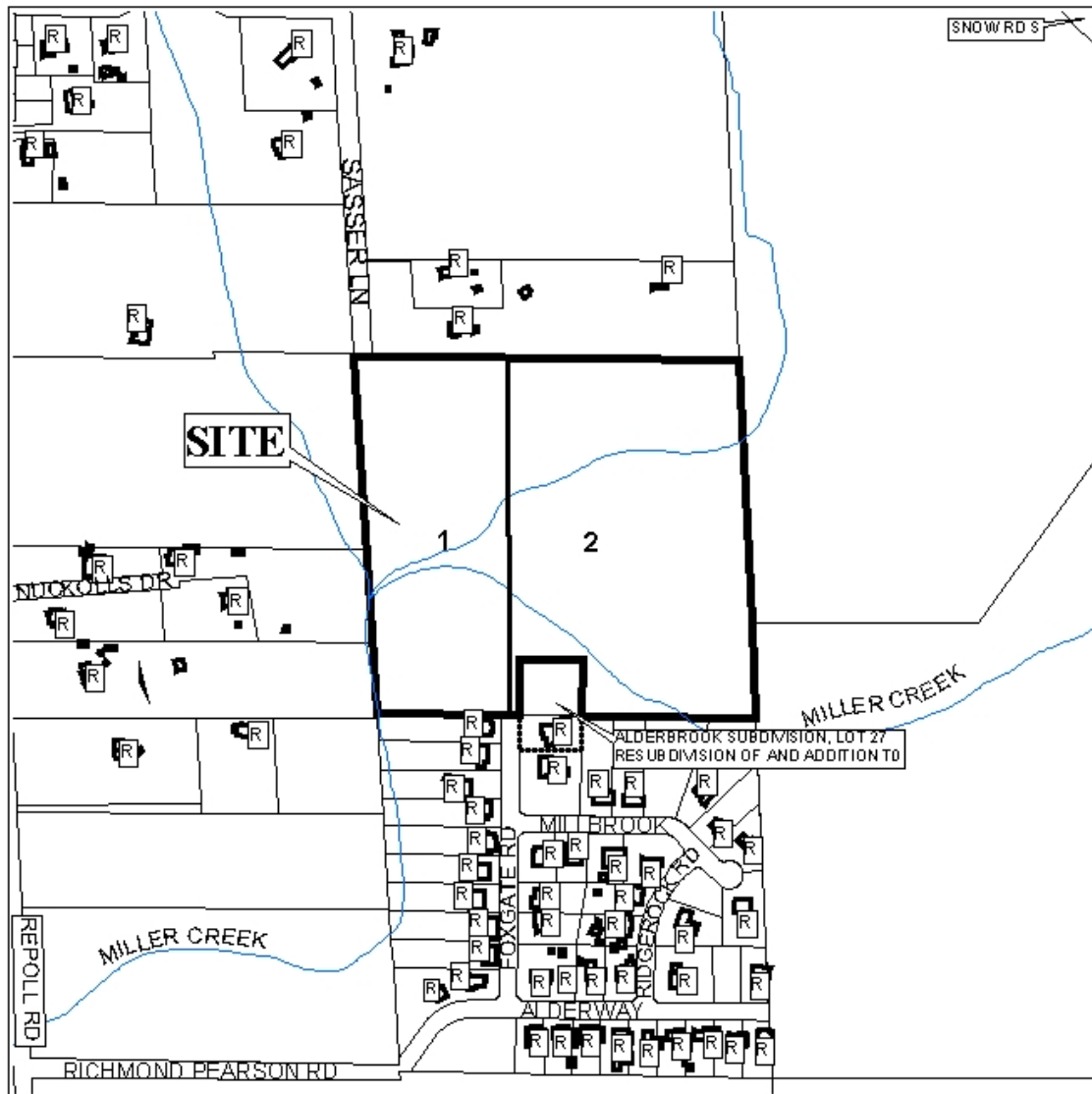
APPLICANT Miller Creek Estates Subdivision

REQUEST Subdivision



NTS

MILLER CREEK ESTATES SUBDIVISION



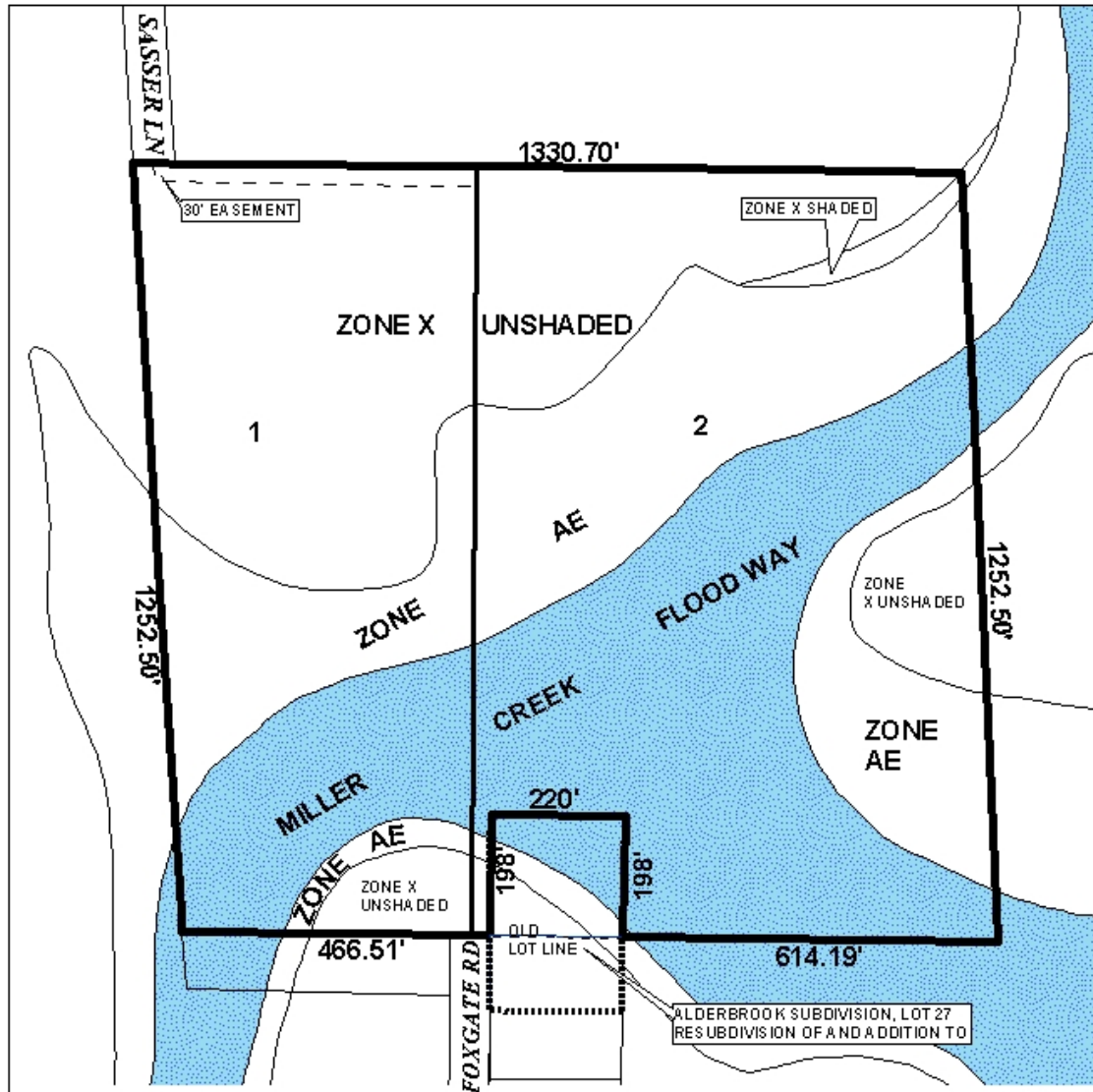
APPLICATION NUMBER 2 DATE May 20, 2004

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

N
NTS

DETAIL SITE PLAN



APPLICATION NUMBER 2 DATE May 20, 2004

APPLICANT Miller Creek Estates Subdivision

REQUEST Subdivision



NTS