

MCDONALD'S SUBDIVISION

Engineering Comments: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- C. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- D. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- E. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- F. Provide the original (with all other signatures) and a copy (signatures not required) of the FINAL SUBDIVISION PLAT to the Engineering Department.

Traffic Engineering Comments: Lot is limited to one curb cut per street frontage with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. New on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).

MAWSS Comments: No comments.

The plat illustrates the proposed 1-lot, 1.2± acre subdivision which is located at the Southwest corner of Hillcrest Road and Grelot Road, in Council District 6. The applicant states that the subdivision is served by public water and individual septic tank sewer.

The purpose of this application is to subdivide two existing legal lots of record into one legal lot of record. The site is currently developed as a fast-food restaurant.

The site is located at the intersection of Hillcrest Road and Grelot Road. Hillcrest Road is indicated as a Suburban Corridor on the Development Framework Map - Corridors and Centers of the Map for Mobile. The Map for Mobile states that the development framework map and development area descriptions serve as a guide for future land use and design decisions and also for decisions regarding public improvements and projects. While the site is not specifically designated as a center, but rather within a Suburban Neighborhood, development should follow the guidelines and intent of a Suburban Neighborhood.

SUBURBAN CORRIDOR

Intent

- Accommodation of all users: automobiles, bicycle, pedestrian and transit
- Greater connectivity to surrounding neighborhoods
- Developments concentrated in centers rather than in strips along the corridor
- Eventual increase in density with residential above retail and services
- Increased streetscaping
- Improve traffic flow

SUBURBAN NEIGHBORHOOD

Intent

- Emphasize connectivity to surrounding neighborhoods and close services and retail
- Accommodation of pedestrian and bicycle traffic in addition to automobiles
- Appropriate scaled infill development to complement existing character of neighborhoods

A consultant has been hired to review and rewrite the Zoning Ordinance and Subdivision Regulations, as well as develop a new Major Street Plan Map and General Land Use Plan Map. This will be a 24-30 month process. Until that project is completed and the new documents are adopted, we continue to operate under the existing Zoning Ordinance and Subdivision Regulations. It should be noted that the Map for Mobile Plan is meant to serve as a general guide, not a detailed lot and district plan or mandate for development. Thus, as this request is solely related to the subdivision of property, not the use of the property, application of the Map for Mobile principles may not be appropriate.

The site fronts onto Hillcrest Road and Grelot Road, both components of the Major Road Plan with planned 100' rights-of-way. As the current right-of-way widths of both streets are 100' along the property frontages, no dedication would be required. A compliant 25' corner radius is also indicated at the intersection of the two streets. As a means of access management, the lot should be limited to one curb cut per street frontage, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

The lot meets the minimum area requirements of the Subdivision Regulations. The lot is labeled on the plat with its size in acres and a table is furnished on the plat providing the lot size in both

square feet and acres. These should be retained on the Final Plat. As on the preliminary plat, the 25' minimum building setback line should also be illustrated on the Final Plat along both street frontages.

The plat indicates various drainage, utility and slope easements on the proposed lot. These should also be shown on the Final Plat. A note should also be required on the Final Plat stating that no structure may be constructed or placed within any easements.

The plat has references to the current property zoning and side and rear setbacks. The zoning classification is subject to change and side and rear setback requirements are subject to change depending upon the zoning classification of adjacent properties. Therefore, the plat should be revised to remove the current zoning classification and references to side and rear setback requirements.

Finally, any additional site improvements of the proposed lot are subject to the acquisition of the appropriate permits, and should comply with all applicable codes and ordinances.

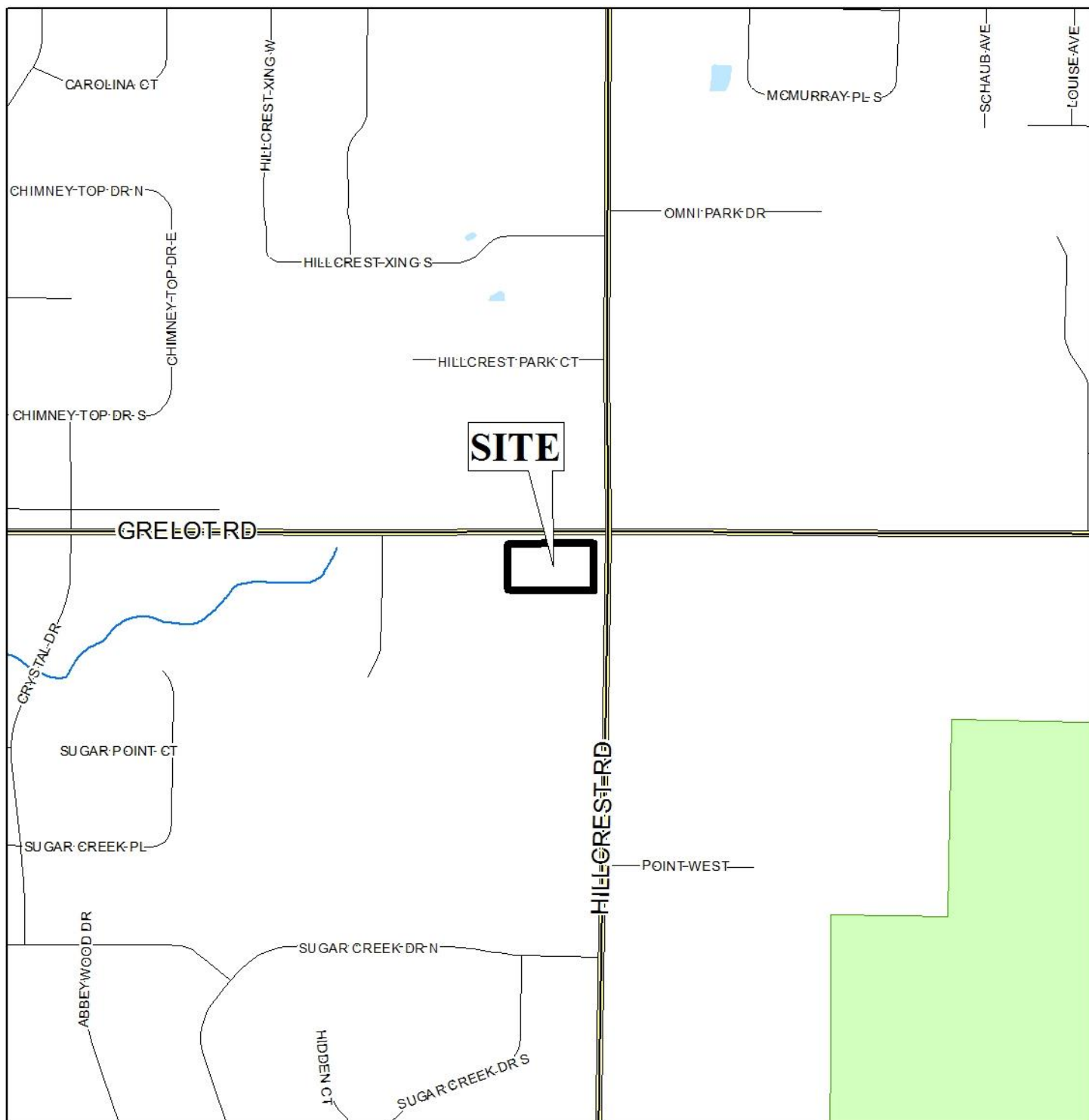
The plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval, subject to the following conditions:

- 1) placement of a note on the Final Plat stating that the lot is limited to one curb cut per street frontage, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) retention of the lot size label and the lot size table on the Final Plat providing the lot size in both square feet and acres;
- 3) retention of the 25' minimum building setback line along both street frontages on the Final Plat;
- 4) retention of the various drainage, utility and slope easements on the Final Plat;
- 5) placement of a note on the Final Plat stating that no structure may be constructed or placed within any easements;
- 6) revision of the plat to remove the current zoning classification and references to side and rear setback requirements;
- 7) placement of a note on the Final Plat stating that any additional site improvements of the proposed lot are subject to the acquisition of the appropriate permits, and should comply with all applicable codes and ordinances;
- 8) compliance with Engineering comments: *[FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. C. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile,*

Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. D. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. E. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. F. Provide the original (with all other signatures) and a copy (signatures not required) of the FINAL SUBDIVISION PLAT to the Engineering Department.];

- 9) *compliance with the Traffic Engineering comments: (Lot is limited to one curb cut per street frontage with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. New on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 10) *compliance with the Urban Forestry comments: [Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).]; and*
- 11) *compliance with the Fire Department comments: [All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).]*

LOCATOR MAP



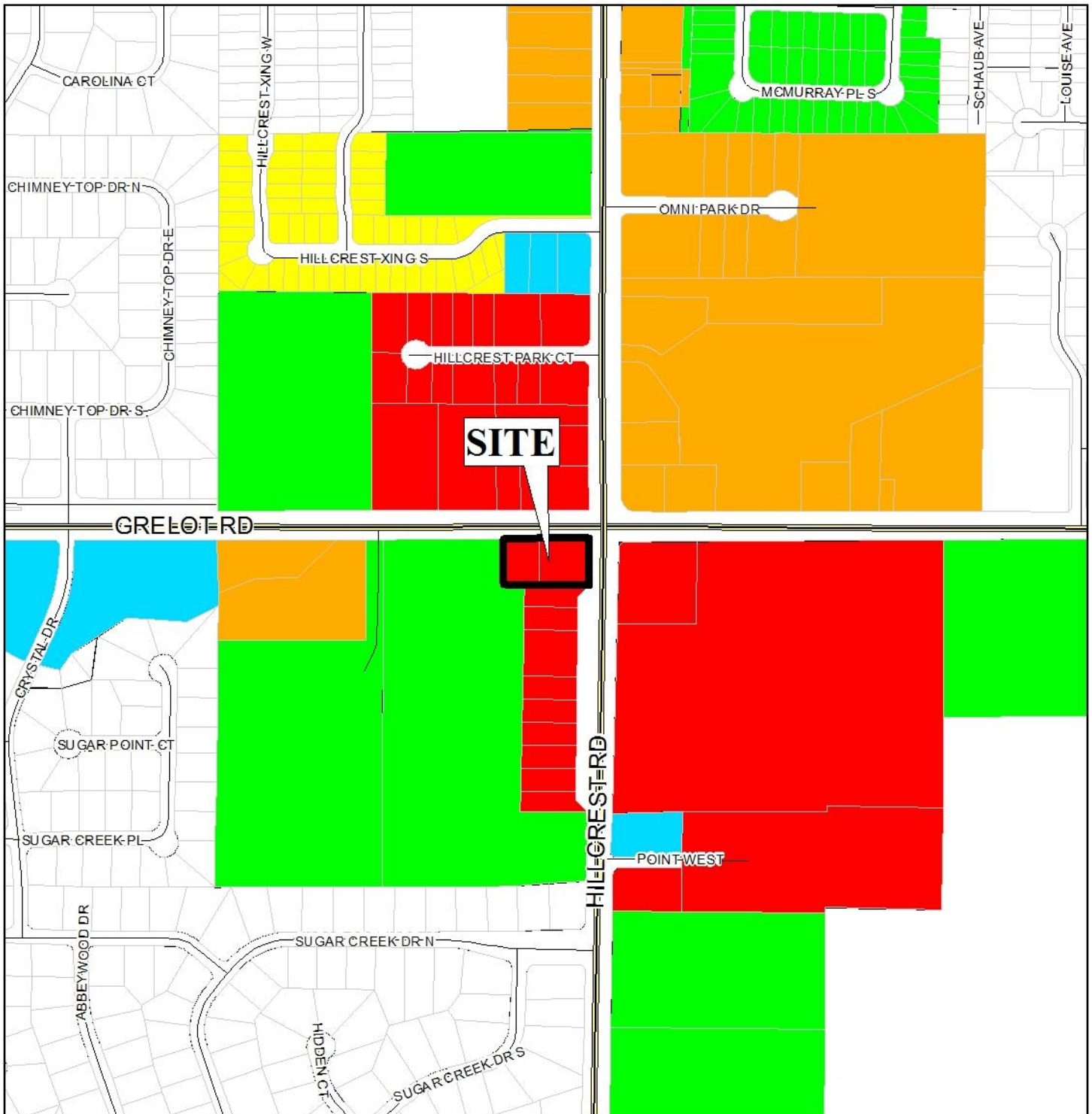
APPLICATION NUMBER 2 DATE March 9, 2017

APPLICANT McDonald's Subdivision

REQUEST Subdivision



LOCATOR ZONING MAP



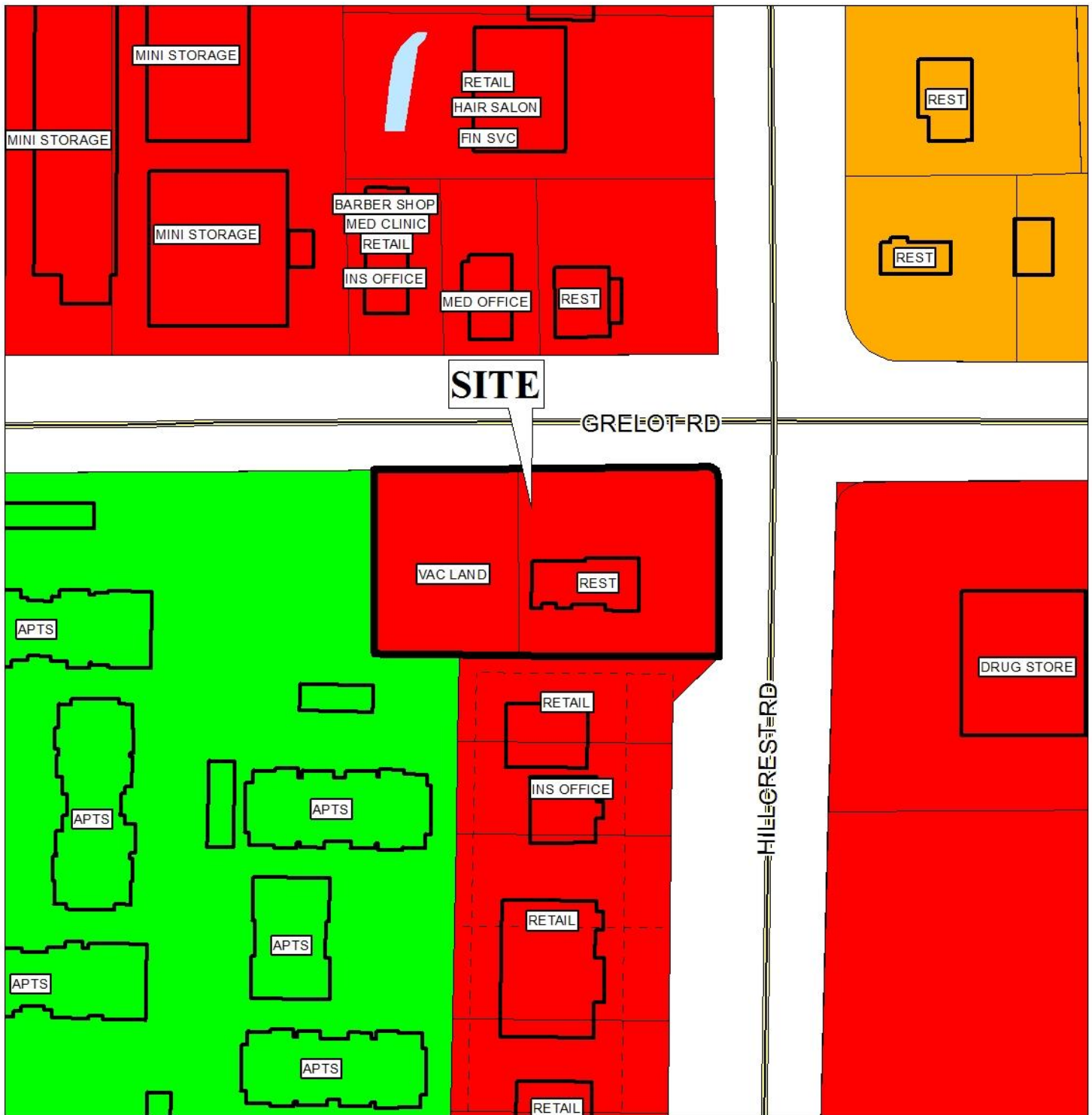
APPLICATION NUMBER 2 DATE March 9, 2017

APPLICANT McDonald's Subdivision

REQUEST Subdivision



MCDONALD'S SUBDIVISION



APPLICATION NUMBER 2 DATE March 9, 2017

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



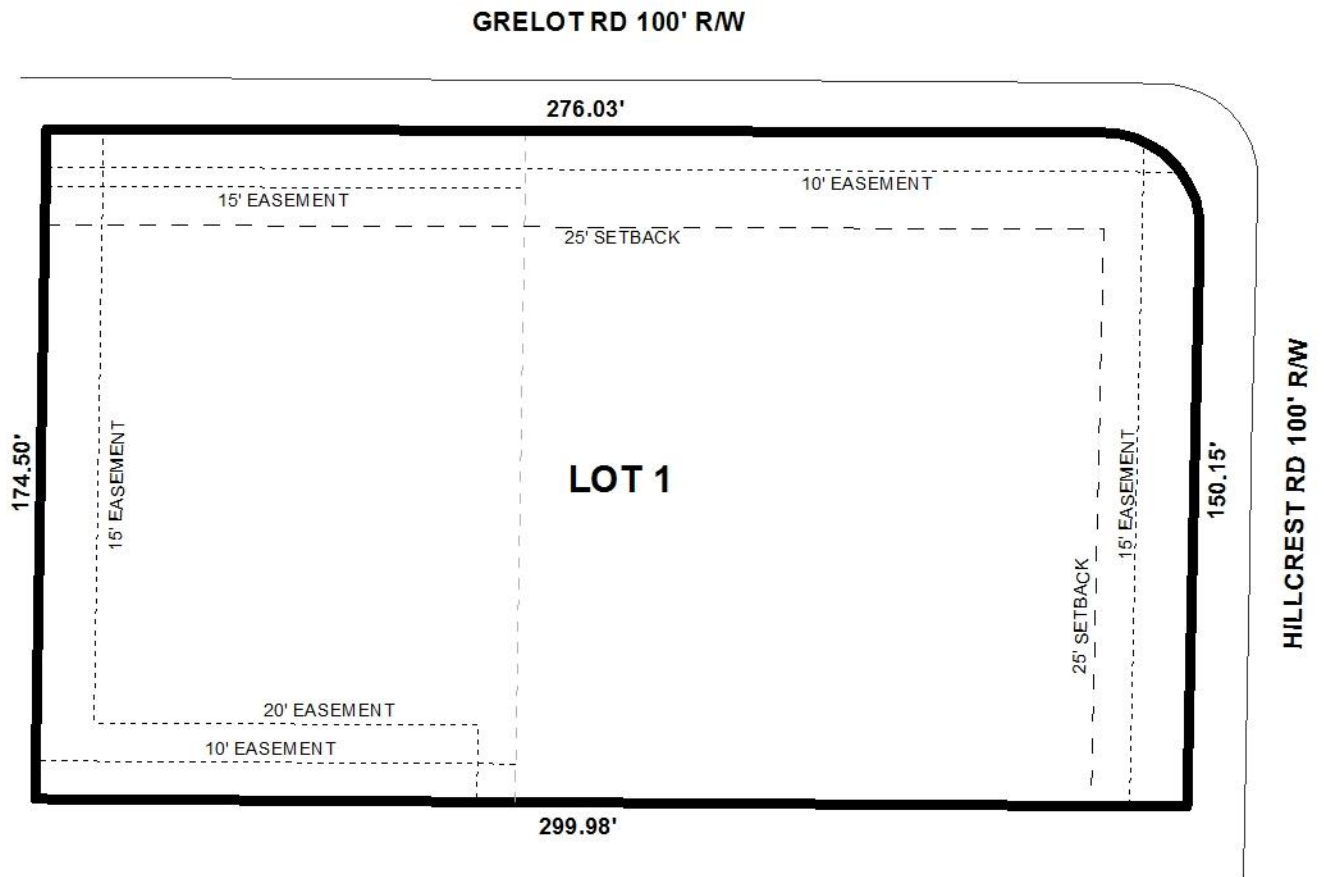
MCDONALD'S SUBDIVISION



APPLICATION NUMBER 2 DATE March 9, 2017



DETAIL SITE PLAN



APPLICATION NUMBER 2 DATE March 9, 2017

APPLICANT McDonald's Subdivision

REQUEST Subdivision



NTS

