

KRONER'S MOBILE WEST COMMERCIAL BUSINESS PARK SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: No Comments

The plat illustrates the proposed 15-lot, 75.8± acre subdivision which is located on the Southwest corner of Three Notch Road and McDonald Road and is located within the planning jurisdiction. The applicant states that the subdivision is served by public water and sanitary sewer.

The purpose of this application is to create fourteen legal lots of record and a future development area from one metes-and-bounds parcel. It should be noted that the application states 15 lots, however the plat also labels Lot 15 as "Future Development". Due to the proposed labeled "Future Development" area is greater than 20 acres, it is not necessary to record it as "Lot 15" as well. Therefore, either "Lot 15" or "Future Development" should be removed from the Final Plat, if approved.

The site fronts on Three Notch Road and McDonald Road, both major streets, as illustrated on the Major Street Plan, with planned 100-foot right-of-way. The plat depicts both roads as having 80-foot rights-of-way, and illustrates an additional 10-foot to be dedicated to the county along both frontages. If approved, the Final Plat should show these dedications to comply with the 100-foot right-of way required along both streets.

A 50-foot minimum building setback is shown and labeled on the preliminary plat, and should be retained, if approved; however, a minimum setback of 25-feet is allowed. It should be noted that the minimum building setback on Lots 1, 7, 8, 13, and 14 should be corrected so that they match the radius and shape of the lot lines.

It should also be noted that the preliminary plat depicts two street stubs which are to be extended into the proposed Future Development area at such a time that it is developed.

The preliminary plat shows ingress/egress easements to provide shared access for two lots each with the exception of Lots 7, 8, 13 and 14. As proposed, Lots 1 & 2, Lots 3 & 4, Lots 5 & 6,

Lots 9 & 10, and Lots 11 & 12 will each share a curb cut. If approved, a note should be on the Final Plat limiting Lots 7, 8, 13, and 14 to one curb cut each to the proposed street stubs.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note on preliminary plat reflects this requirement, and should also appear on the Final Plat.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. The note regarding this requirement should also appear on the Final Plat, if approved.

The site will have to comply with the City of Mobile storm water and flood control ordinances. A note stating *“Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.”* should be placed on the Final Plat.

The lot sizes are labeled on the preliminary plat with the sizes in acres. The lot sizes should be labeled in square feet as well as acres, or placement of a table on the plat with the same information and should be labeled on the Final Plat, if approved.

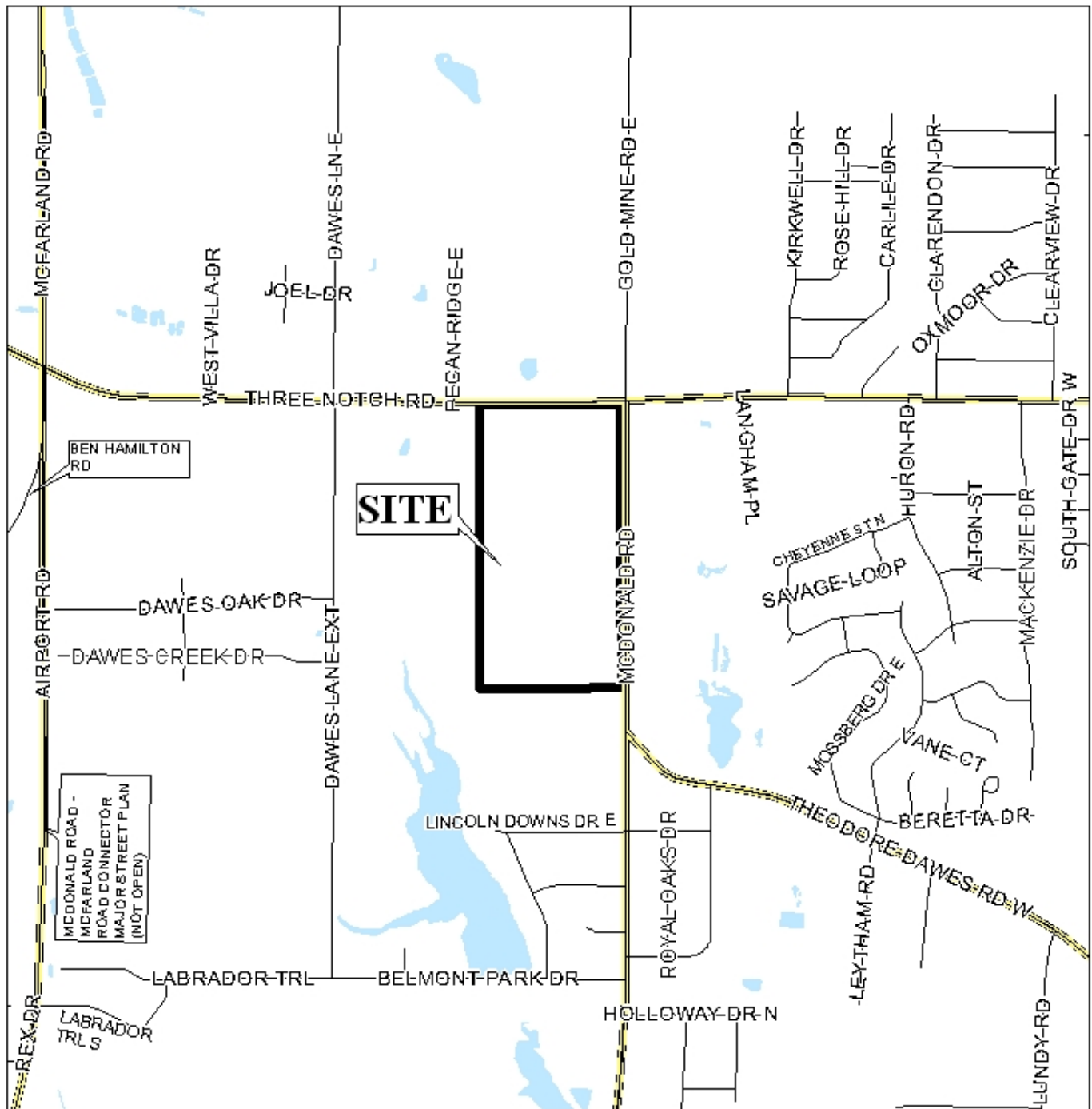
Based upon the preceding, the application is recommended for tentative approval, subject to the following conditions:

- 1) depiction of dedications along McDonald Road and Three Notch Road to provide 50-foot right-of-way from the centerline;
- 2) correction of the minimum building setback line to match the radius and shape of the lot lines;
- 3) depiction of the 50-foot minimum building setback line from all public right-of-ways;
- 4) the labeling of each lot with its size in square feet, or placement of a table on the plat with the same information;
- 5) either removal of the “Lot 15” or “Future Development” label;
- 6) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 7) placement of a note on the Final Plat to comply with the City of Mobile storm water and flood control ordinances (*Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility*

requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.)

- 8) approval of all applicable federal, state and local agencies prior to the issuance of any permits or land disturbance activities;
- 9) placement of a note on the Final Plat limiting Lots 1 & 2, Lots 3 & 4, Lots 5 & 6, Lot 9 & 10, Lots 11 & 12 to one shared curb cut each to McDonald Road as depicted on the preliminary plat, with the size, design, and location of all curb cuts to be approved by Mobile County Engineering and conform to AASHTO standards;
- 10) placement of a note limiting Lots 7, 8, 13, and 14 to one curb cut each to the proposed street stubs, with the size, design, and location of all curb cuts to be approved by Mobile County Engineering and conform to AASHTO standards; and
- 11) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.

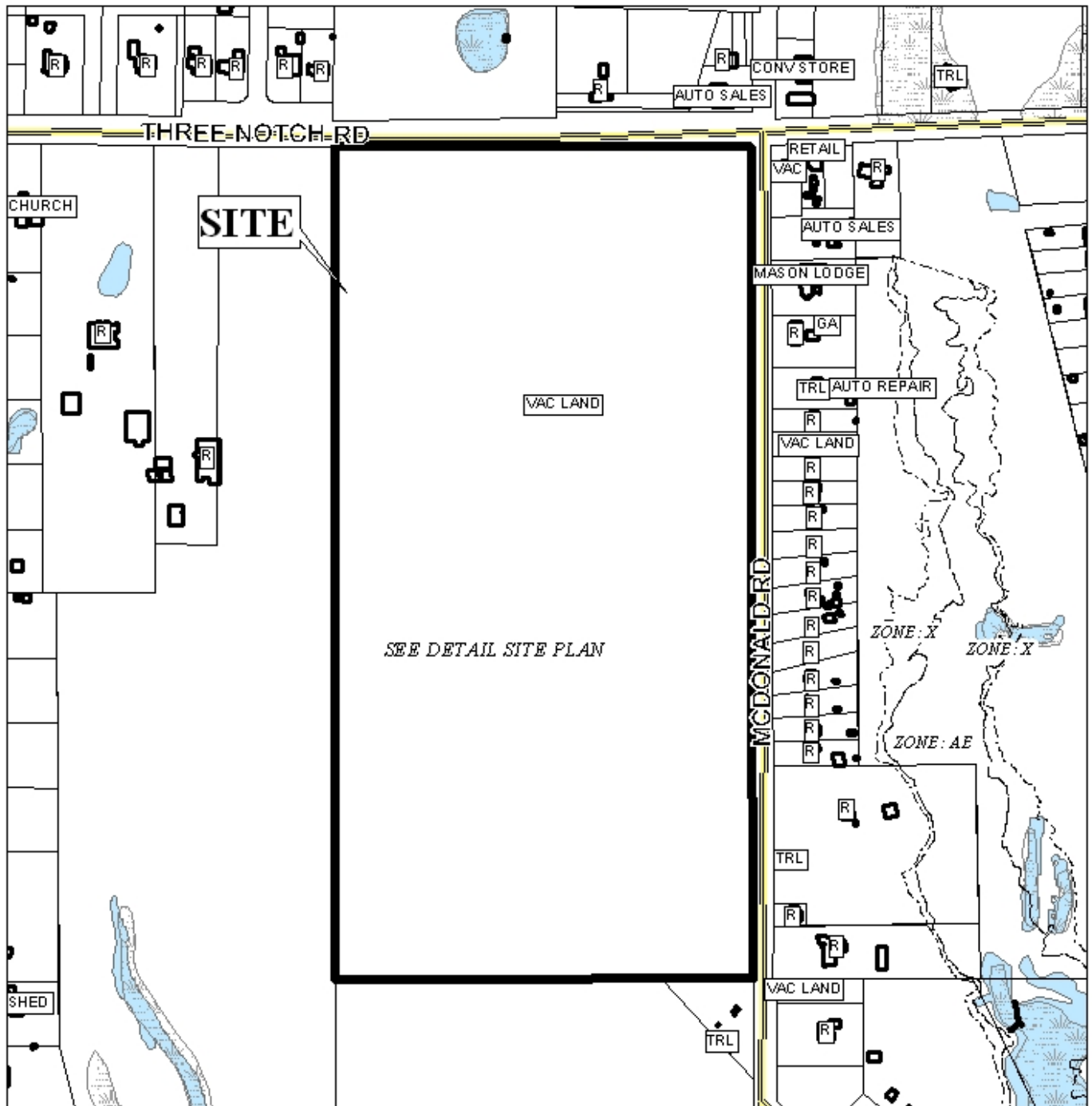
LOCATOR MAP



APPLICATION NUMBER 2 DATE July 7, 2011
 APPLICANT Kroner's Mobile West Commercial Business Park Subdivision
 REQUEST Subdivision



KRONERS MOBILE WEST COMMERCIAL BUSINESS PARK SUBDIVISION



APPLICATION NUMBER 2 DATE July 7, 2011

LEGEND															
	R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



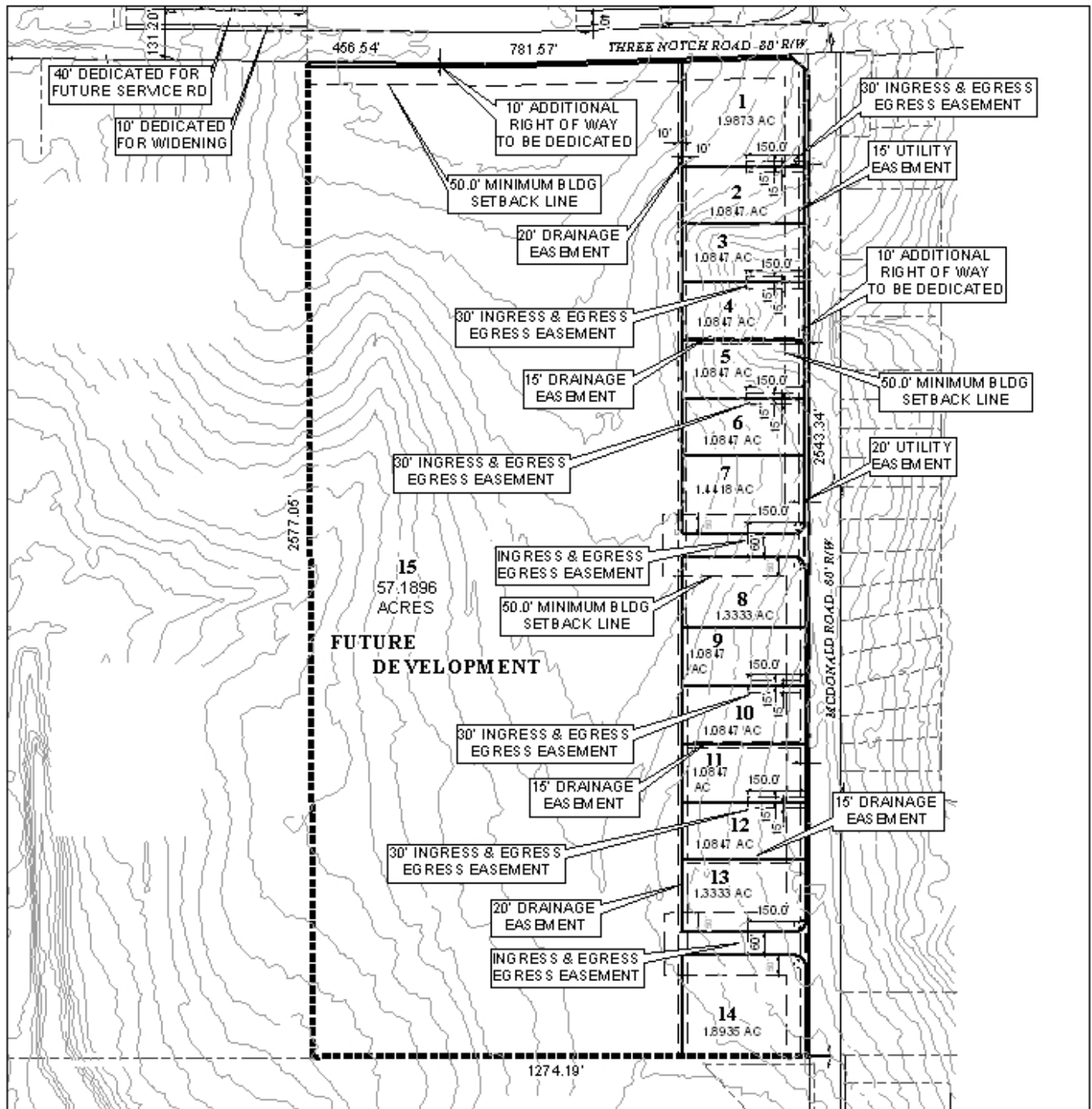
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APPLICATION NUMBER 2 DATE July 7, 2011



DETAIL SITE PLAN



APPLICATION NUMBER 2 DATE July 7, 2011

APPLICANT Kroner's Mobile West Commercial Business Park Subdivision

REQUEST Subdivision

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