

WINSTON'S DEES ROAD SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: Subdivision layout and design must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile. Commercial buildings and sites within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWSS Comments: No comments submitted.

The plat illustrates the proposed 1 lot, 1.0 \pm acre subdivision, which is located on the West side of Dees Road (private road), 175' \pm South of D.K. Road, now within the Planning Jurisdiction due to the recent annexation in the Theodore area. The applicant states that the site is served by public water and individual septic systems.

The purpose of this application is to create a legal lot of record from a portion of an existing metes-and-bounds parcel. The lot would meet the minimum area requirements.

As mentioned above the site fronts on Dees Road, a private road maintained by the County and owned by the owner of the overall metes-and-bounds parcel from which the proposed lot is to be subdivided. The road appears to have a 60' right-of-way extending from Roush Road (public road), approximately 650' North of the location of the proposed lot. From the proposed lot Southward the road appears to have a varying substandard right-of-way width as it crosses numerous other private tracts of land until terminating at Boe Road (public road), approximately 4/10 mile to the South. Approximately 175' North of the proposed lot Dees Road intersects D.K. Road, a short public road which is totally land-locked. To the South of the proposed lot, Dees Road is flanked by numerous metes-and-bounds home-site parcels which appear to have been separated from the parent tract of this application. Several of the other land-locked metes-and-bounds parcels bordering the parent parcel were purchased from the current owner of the parent parcel associated with this application.

No documentation was submitted with this application to establish this as a Small Resubdivision as described in Section III.F.1., or as a Family Subdivision as described in Section VIII.D. of the Subdivision Regulations. Although dedication of a 60' wide by 25' long strip is proposed within Dees Road, no provision is made to dedicate any other part of Dees Road to an existing public road. Also, the proposed lot would be a "flag lot" and Section V.D.1. of the Subdivision

Regulations was amended in April 2008 to generally disallow such lots in areas where such are not common and consistent with other lots in the vicinity.

The entire proposed lot site is depicted as wetlands on the GIS data base but appears to have been completely cleared. Compliance with the storm water and flood control ordinances of the City of Mobile may be an issue.

Inasmuch as Dees Road may be county maintained, it is not constructed to County standards, does not meet the private road standards of Section VIII.E.1. of the Subdivision Regulations, and no provision is made for dedication to reach a public road. Section III.F.1. of the Subdivision Regulations makes allowances for small subdivisions of five lots or less containing an aggregate of not more than four acres and in which every lot will face an existing dedicated street. In this instance no dedicated street is proposed. Also, the approval of this application would create more land-locked lots being created from the parent parcel.

Based on the preceding, this application is recommended for denial for the following reasons:

- 1) the proposed lot would not front on a public street;
- 2) the proposed lot would be a “flag lot” and uncharacteristic of the area; and
- 3) the lot would add to the proliferation of land-locked properties created from the parent parcel.

Revised for the May 7th meeting:

This application was heldover from the April 2nd meeting at the applicant’s request. There have been no revisions to the plat or further information regarding the nature of the proposed subdivision submitted for review. Therefore, the original staff recommendation stands.

Based on the preceding, this application is recommended for denial for the following reasons:

- 1) the proposed lot would not front on a public street;*
- 2) the proposed lot would be a “flag lot” and uncharacteristic of the area; and*
- 3) the lot would add to the proliferation of land-locked properties created from the parent parcel.*

LOCATOR MAP



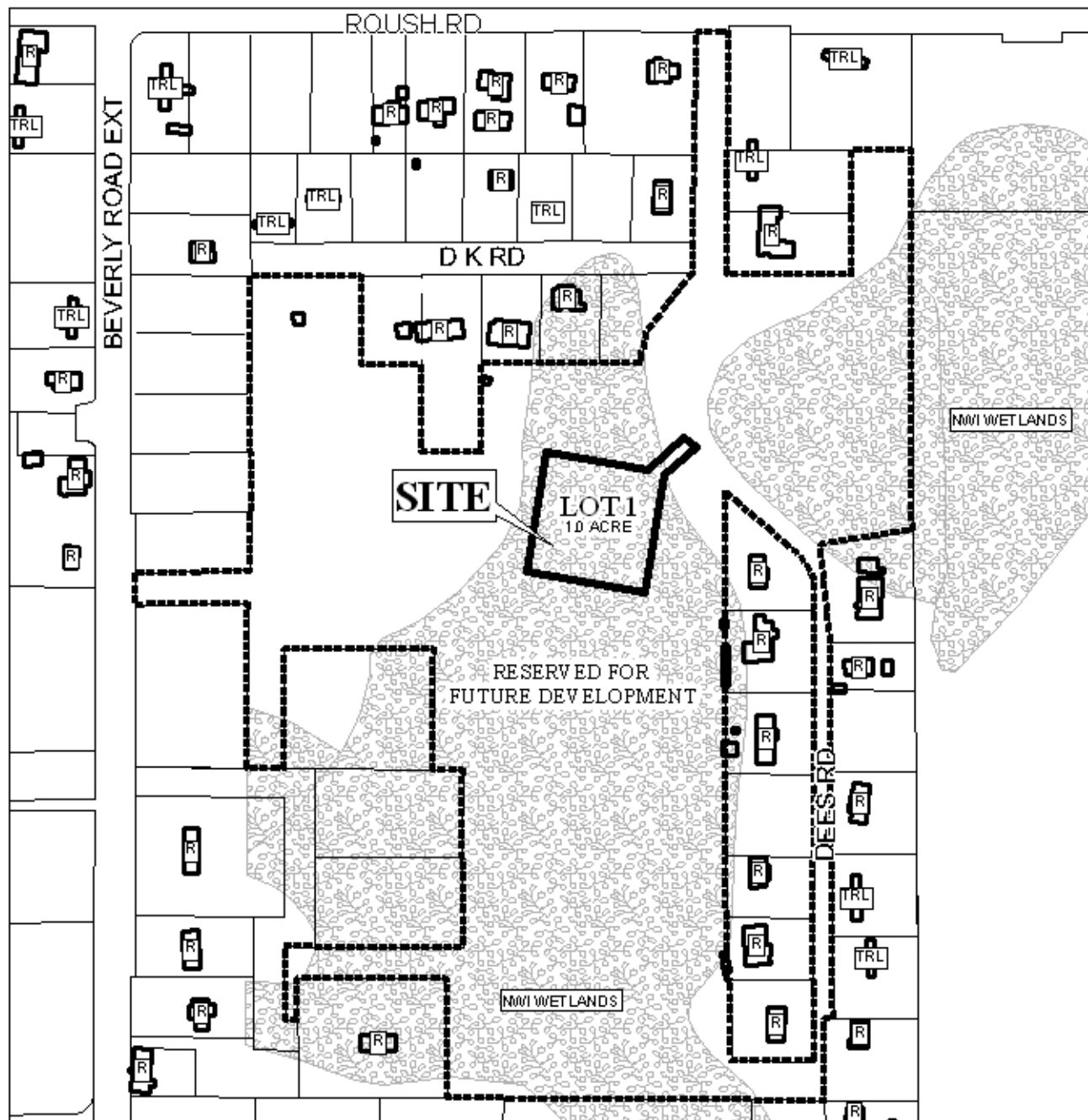
APPLICATION NUMBER 2 DATE May 7, 2009

APPLICANT Winston's Dees Road Subdivision

REQUEST Subdivision



WINSTON'S DEES ROAD SUBDIVISION



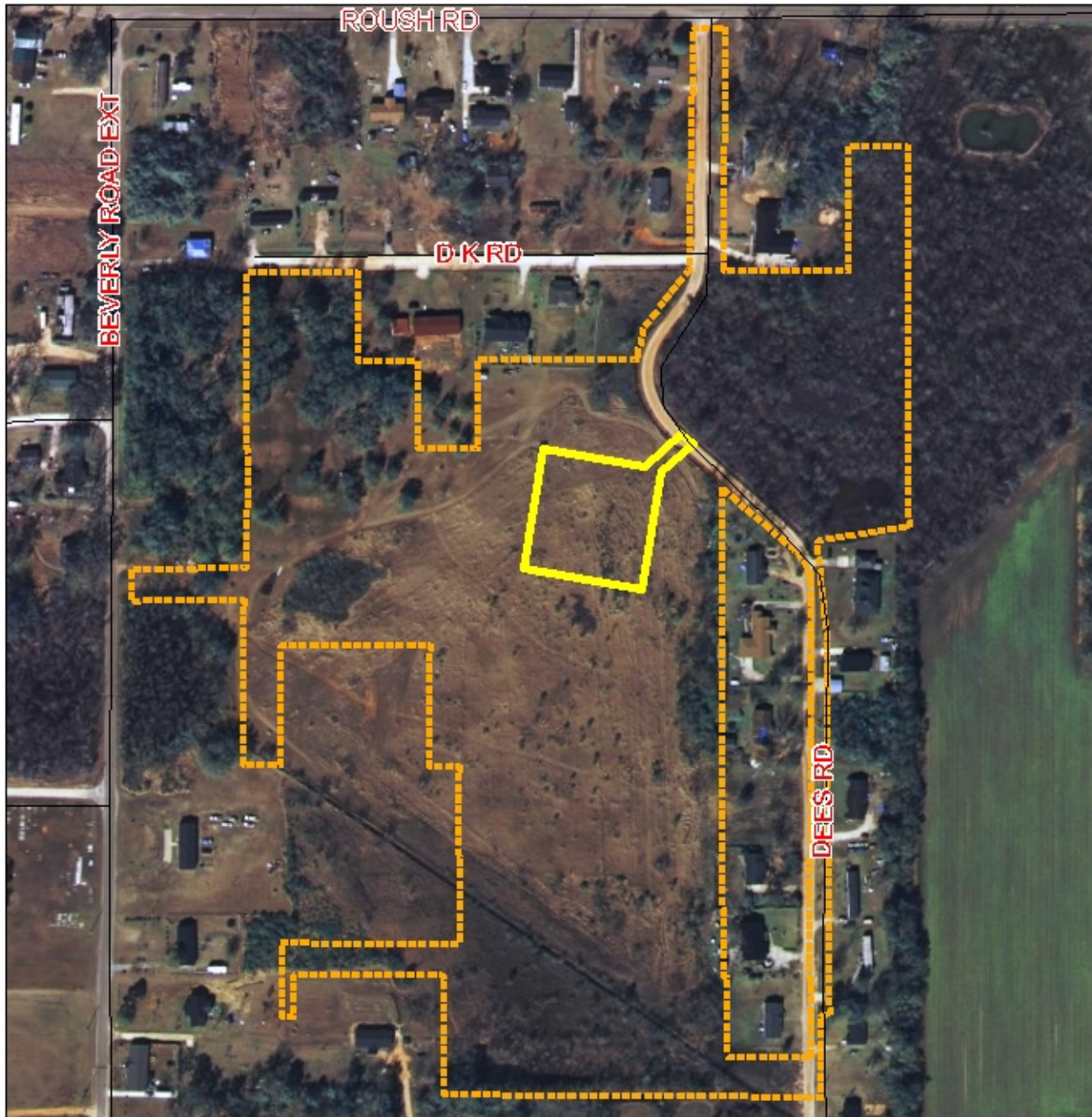
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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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APPLICATION NUMBER 2 DATE May 7, 2009

