

**PLANNING APPROVAL,
PLANNED UNIT DEVELOPMENT, &
SUBDIVISION STAFF REPORT****Date: November 5, 2015**

<u>DEVELOPMENT NAME</u>	The Village Subdivision
<u>SUBDIVISION NAME</u>	The Village Subdivision
<u>LOCATION</u>	1204 Hillcrest (West side of Hillcrest Road at the West terminus of Omni Park Drive)
<u>CITY COUNCIL DISTRICT</u>	Council District 6
<u>AREA OF PROPERTY</u>	1 Lot / 4.8 ± Acres
<u>CONTEMPLATED USE</u>	Planned Unit Development Approval to allow multiple buildings on a single building and shared access, Planning Approval to allow the expansion of an existing church in an R-3, Multiple Family District, and Subdivision approval to create one legal lot of record.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	None given.
<u>ENGINEERING COMMENTS</u>	

Subdivision: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Review and revise the written legal description and/or written bearings. None of them match and there is no indication of “record” and “actual” bearings.
- C. Provide the location, width, and purpose of existing and proposed easements.
- D. Provide the Surveyor’s, Owner’s (notarized), Planning Commission, and Traffic Engineering signatures.
- E. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.

- F. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 24 - #79) the Lot will receive historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control). Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application.
- G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- I. Provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures.
- J. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Planned Unit Development: ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING
COMMENTS

Site is limited to no more than one curb-cut per street frontage. The existing Hillcrest Road curb-cut should be closed, as it is an uncontrolled driveway within a signalized intersection. The driveway to Hillcrest Crossing South should be improved to a City standard commercial driveway. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS COMMENTS

MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until a Capacity application is approved by Volkert Engineering, Inc.

REMARKS

The applicant is requesting Planned Unit Development Approval to allow multiple buildings on a single building and shared access, Planning Approval to allow the expansion of an existing church in an R-3, Multiple Family District, and Subdivision approval to create one legal lot of record. The site is located in Council District 6, and according to the applicant is served by public water and sanitary sewer.

The site is currently developed as a church with associated on-site parking. The applicant proposes to construct three major additions to the site which will be developed in three separate phases. The site has a metes-and-bounds legal description, thus a one-lot Subdivision is required to create a legal lot of record, planning approval is required for the expansion of the church in a R-3 district. The addition of buildings requires a Planned Unit Development (PUD) to allow multiple buildings on the single site; hence these applications.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The proposed lot, as depicted, meets the minimum size and frontage requirements as regulated by the Subdivision Regulations. The lot area size is depicted on the plat in square feet and acres. The lot size should be retained in square feet and acres on the Final Plat, if approved. The 25-foot minimum building setback line is depicted, and should be retained on the Final Plat, if approved.

The site fronts Hillcrest Road, a proposed major street, which should have a right-of-way of 100'. The preliminary plat submitted illustrates an existing right-of-way of 100' making no dedications necessary. The site also has access, via Hillcrest Crossing common area, to Hillcrest Crossing South, a minor street with curb and gutter with an adequate 50' right-of-way provided.

As a means of access management, the site should be limited to one curb-cut per street frontage with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. It is very important to note that the Planning Approval and PUD review are site plan specific; therefore any future changes to the overall site plan must be submitted for PUD review. Additionally, if the site plan is changed from what is approved by the Planning Commission, a new application for Planning Approval will be required.

During Phase One of the development, the applicant proposes to construct a 3,986 square foot, one story building that will serve as an addition to the church and will be located directly behind the existing sanctuary. Phase Two will consist of a 8,250 square foot two-story building that will be located along the west side of the rear of the existing church facility and a concrete walk way. Phase Three will consist of a two story, 5,720 square foot executive office addition that will be located in the front of the existing church. The narrative provided by the applicant does not mention any specific information regarding the use of the proposed two-story free standing building nor does it mention the use of the proposed one story addition in the back of the sanctuary. However, during a pre-development meeting with staff, the applicant stated that Phase Two, the two-story free standing building, will be utilized for storage and office space. Therefore, a condition should be placed on the site plan stating that the proposed two-story structure in Phase Two will not be utilized as a shelter or overnight facility or similar use.

The total amount of proposed tree plantings and landscaping calculations are illustrated on the site plan. However, it appears that the total perimeter tree credit calculations provided cannot be verified or reproduced by staff. Although it appears that full tree and landscaping compliance is possible, staff cannot accurately determine the total number of tree credits based on the plan submitted. The site plan should be in full compliance with Section 64-4.E of the Zoning Ordinance.

It should be pointed out that the applicant did recently appear before the Tree Commission, requesting the removal of trees in the right-of-way in front of this site along Hillcrest Road. The application was denied. Fortunately, if the site plans depict the trees located in the right-of-way along Hillcrest Road in front of this site, the total required number of frontage trees may possibly be reduced.

The site plan depicts 121 parking spaces therefore providing a compliant amount of parking spaces on site. However, the site lists 114 parking spaces under the “Tree” column referencing required trees (parking lot). The site plan should be revised to utilize the actual number of spaces provided.

The site plan depicts a wooden fence along the sides and rear of the site but does not indicate the height of the fence. Due to the fact the site abuts residential zoned property a 6’ high wooden privacy fence as well as a 10’ minimum residential buffer will be required where the site abuts residential property, at the time of the first phase of development. The site plan should be revised to depict both the 6’ high wooden privacy fence as well as a 10’ minimum residential buffer.

A sidewalk is depicted on the site plan and should be retained on the site plan and Final Plat.

There is no dumpster illustrated on the site plan, nor is there a note stating that curbside pickup will be utilized. If approved, the site plan should be revised to either illustrate all existing and proposed dumpsters with new dumpsters to be in compliance with Section 64-4.D.9. of the Zoning Ordinance, or place a note stating that curbside service or some other service will be utilized.

RECOMMENDATION

Subdivision: Based upon the preceding, this application is recommended for Holdover until the December 3, 2015 meeting, with revisions due by Tuesday November 17, 2015 to address the following:

- 1) submission of revised PUD and Planning Approval site plans to reflect Traffic Engineering comments.

Planned Unit Development: Based upon the preceding, this application is recommended for Holdover until the December 3, 2015 meeting, with revisions due by Tuesday November 17, 2015 to address the following:

- 1) revision of the site plan to reflect Traffic Engineering comments: “*Site is limited to no more than one curb-cut per street frontage. The existing Hillcrest Road curb-cut should be closed, as it is an uncontrolled driveway within a signalized intersection. The driveway to Hillcrest Crossing South should be improved to a City standard commercial driveway. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City’s Zoning Ordinance.*”;
- 2) revision of a 10’ minimum building setback line where the site abuts residential zoned property;
- 3) revision of site plan to depict perimeter tree credit calculation’s in compliance with Section 64-4.E of the Zoning Ordinance;
- 4) revision of site plan to depict a 6’ wooden privacy fence where the site abuts residential property, at the time of the first phase of development;
- 5) revision of the site plan to depict the same number of required trees under both the “trees” and “landscaping” columns;

- 6) revision of the site plan to depict all existing and proposed dumpsters with new dumpsters to be in compliance with Section 64-4.D.9. of the Zoning Ordinance, or place a note stating that curbside service or some other service will be utilized.

Planning Approval: Based upon the preceding, this application is recommended for Holdover until the December 3, 2015 meeting, with revisions due by Tuesday November 17, 2015 to address the following:

- 1) revision of the site plan to reflect Traffic Engineering comments: *“Site is limited to no more than one curb-cut per street frontage. The existing Hillcrest Road curb-cut should be closed, as it is an uncontrolled driveway within a signalized intersection. The driveway to Hillcrest Crossing South should be improved to a City standard commercial driveway. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City’s Zoning Ordinance.”*;
- 2) revision of a 10’ minimum building setback line where the site abuts residential zoned property;
- 3) revision of site plan to depict perimeter tree credit calculation’s in compliance with Section 64-4.E of the Zoning Ordinance;
- 4) revision of site plan to depict a 6’ wooden privacy fence where the site abuts residential property, at the time of the first phase of development;
- 5) revision of the site plan to depict the same number of required trees under both the “trees” and “landscaping” columns;
- 6) revision of the site plan to depict all existing and proposed dumpsters with new dumpsters to be in compliance with Section 64-4.D.9. of the Zoning Ordinance, or place a note stating that curbside service or some other service will be utilized.

Revised for the December 3rd meeting:

This application was heldover from the November 5th meeting to allow the applicant to provide a revised site plan to reflect Traffic Engineering comments regarding the placement and removal of curb-cuts as well as additional Planning and Zoning revisions.

No additional information has been provided by the applicant.

RECOMMENDATION

Subdivision: Based upon the preceding, this application is recommended for Denial for the following:

1. *failure to provide revised information for the Subdivision, Planned Unit Development, and Planning Approval applications.*

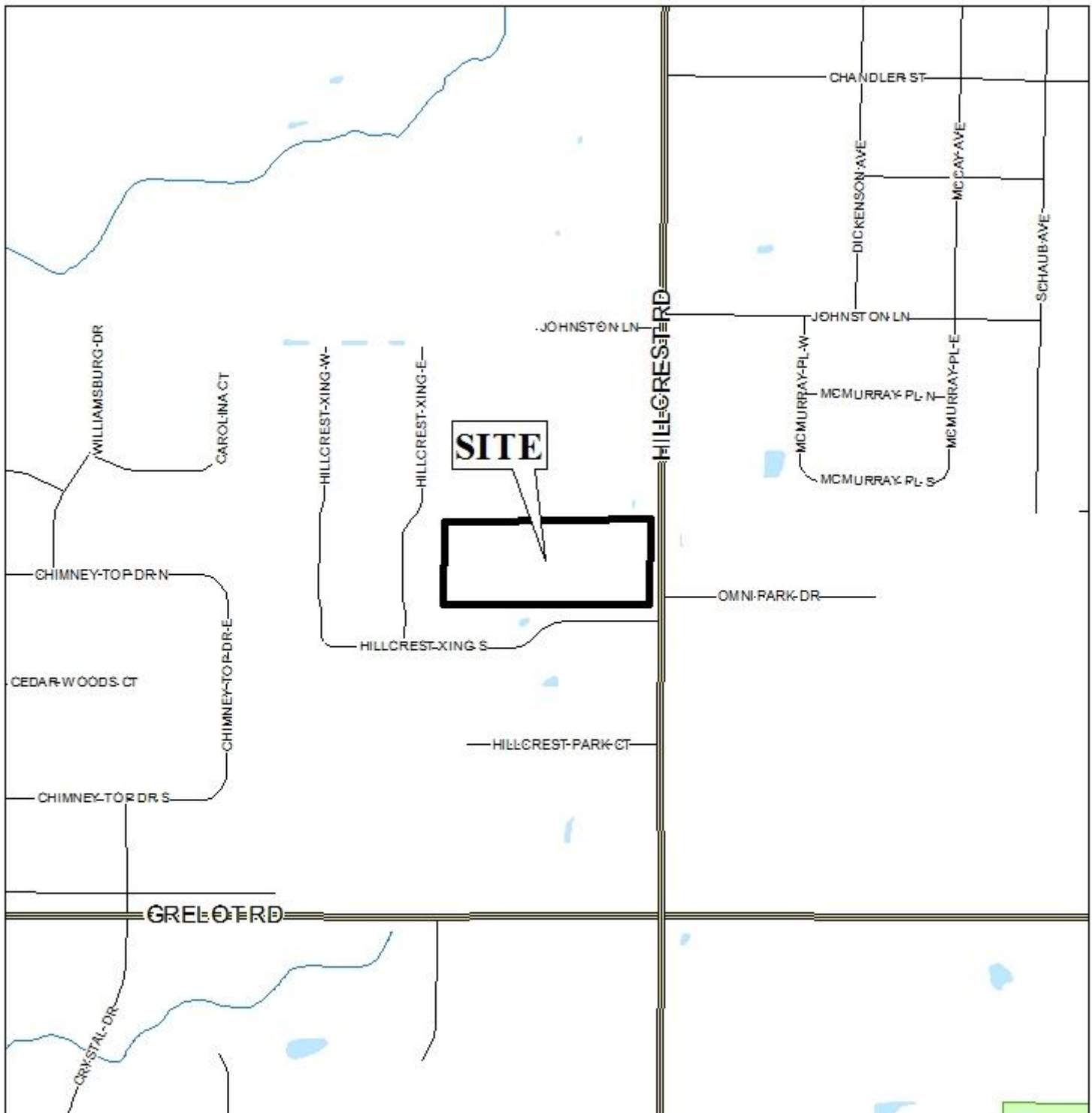
Planned Unit Development: Based upon the preceding, this application is recommended for Denial for the following:

1. *failure to provide revised information for the Subdivision, Planned Unit Development, and Planning Approval applications.*

Planning Approval: *Based upon the preceding, this application is recommended for Denial for the following:*

- 1. failure to provide revised information for the Subdivision, Planned Unit Development, and Planning Approval applications.*

LOCATOR MAP



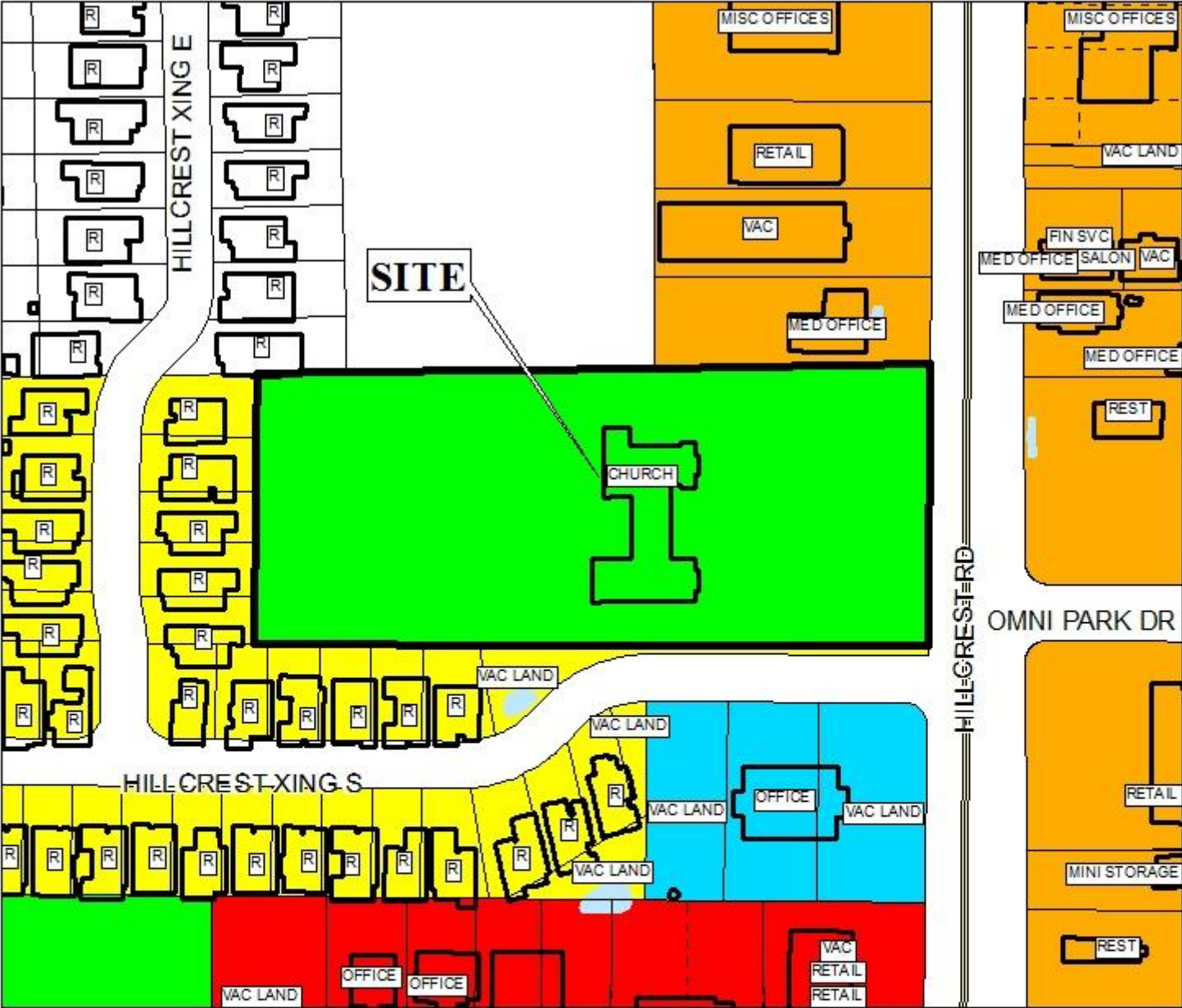
APPLICATION NUMBER 2 DATE December 3, 2015

APPLICANT The Village Subdivision

REQUEST Subdivision, PUD, Planning Approval



**PLANNING COMMISSION
VICINITY MAP - EXISTING ZONING**



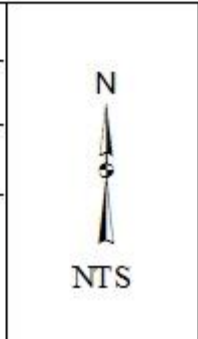
The site is surrounded by residential units to the west and commercial units to the east and south.

APPLICATION NUMBER 2 DATE December 3, 2015

APPLICANT The Village Subdivision

REQUEST Subdivision, PUD, Planning Approval

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units to the west and commercial units to the east and south.

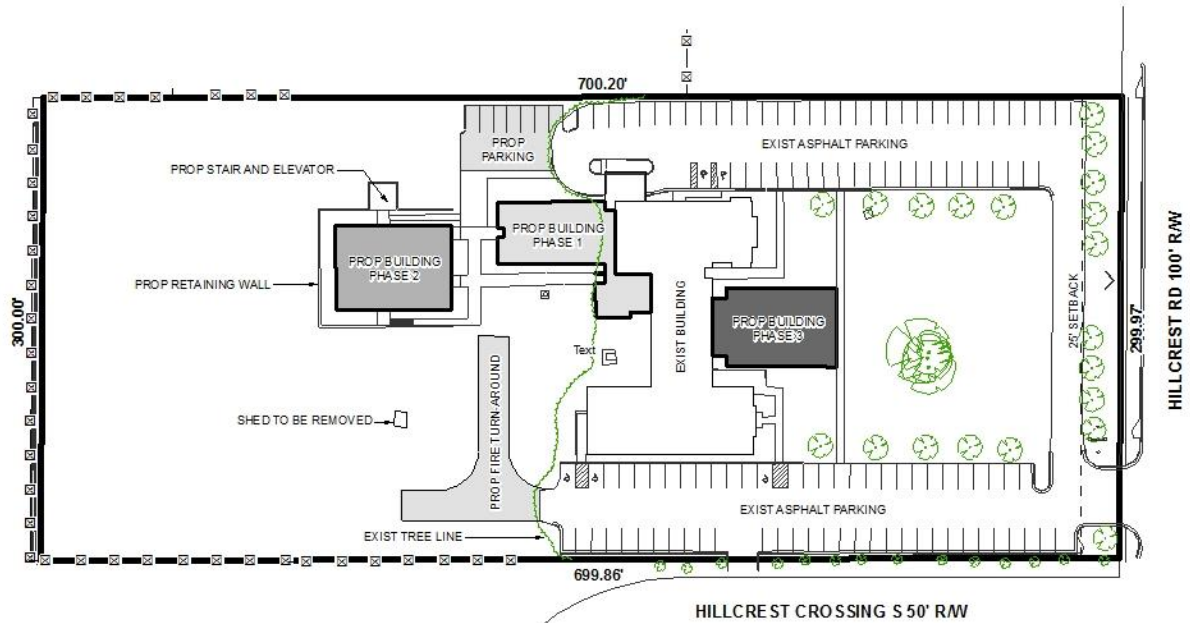
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APPLICANT The Village Subdivision

REQUEST Subdivision, PUD, Planning Approval



SITE PLAN



The site plan illustrates

APPLICATION NUMBER 2 DATE December 3, 2015

APPLICANT The Village Subdivision

REQUEST Subdivision, PUD, Planning Approval



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