

**PLANNED UNIT DEVELOPMENT &
SUBDIVISION STAFF REPORT****Date: September 15, 2016****NAME**

Rangeline Crossing Subdivision

SUBDIVISION NAME

Rangeline Crossing Subdivision

LOCATION5289 Halls Mill Road
(North side of Rangeline Service Road, 280'± East of Halls
Mill Road, extending to the West side of Demetropolis
Road)**CITY COUNCIL
DISTRICT**

District 4

PRESENT ZONING

B-3, Community Business District

AREA OF PROPERTY

2 Lot / 82.8± Acres

CONTEMPLATED USESubdivision Approval to create two legal lots of record, and
Planned Unit Development Approval to allow shared
access between two lots.**TIME SCHEDULE**

None provided

**ENGINEERING
COMMENTS****Subdivision:** FINAL PLAT COMMENTS (should be
addressed prior to submitting the FINAL PLAT for acceptance and signature by the City
Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Add a note describing the proposed use of the Common Area (i.e. landscaping, open area, detention, playground)
- C. Revise the Subdivision Name to something that includes Resubdivision of Lot 2, Rangeline Crossing.
- D. Show and label each and every existing easement. GIS indicates a drainage easement recorded along the rear of LOT B, extending from Halls Mill Rd.
- E. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- F. Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures.

G. After FINAL PLAT review by the Engineering Dept. provide the red-line markup, a copy of the revised original Final Plat, and the original when submitting for City Engineer signature.

TRAFFIC ENGINEERING

COMMENTS

Rangeline Road Service Road is an ALDOT maintained roadway. Lot A is limited to two curb cuts per street frontage, and Lot B is limited to one curb cut to its street frontage, with size, location and design to be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).

MAWSS COMMENTS:

No comments

REMARKS

The applicant is requesting Subdivision Approval to create two legal lots of record, and Planned Unit Development Approval to allow shared access between two lots.

The purpose of the proposed 82.8± acre, 2-lot subdivision is to create two legal lots of record from a single legal lot of record.

The site fronts Halls Mill Road, Rangeline Service Road North, and Demetropolis Road. Halls Mill Road is a collector street with a required 70' right-of-way along a portion of the frontage. Halls Mill Road is shown as having a variable right-of-way, however, the preliminary plat indicated that there is 35' from the subject site to the centerline, making no dedications necessary. Rangeline Road is a component of the Major Street with a planned 300' right-of-way width. The plat indicates a current compliant 410' right-of-way along Rangeline Road; therefore, no dedication would be required. Demetropolis Road is a minor street without curb and gutter requiring a 60' right-of-way. The plat indicates that the right-of-way along Demetropolis Road varies, however, the preliminary plat indicated that there is 30' from the subject site to the centerline, making no dedications necessary.

As access management is a concern, a note should be placed on the Final Plat stating that Lot A is limited to two curb-cuts per street frontage and Lot B is limited to one curb cut to its street frontage, with size, location and design to be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards.

The entire site appears to be depicted as a “Suburban Neighborhood” Area, per the recently adopted Map for Mobile Plan. The intent of a Suburban Neighborhood Area is to allow for:

- Emphasize connectivity to surrounding neighborhoods and close services and retail
- Accommodation of pedestrian and bicycle traffic in addition to automobiles
- Appropriate scaled infill development to complement existing character of neighborhoods

It should be noted that the Map for Mobile Plan is meant to serve as a general guide, not a detailed lot and district plan or mandate for development. Moreover, the Plan allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, zoning classification.

The purpose of the Planned Unit Development is to allow shared access between the two proposed lots via an ingress/egress easement. It should be noted however, that that PUDs are site plan specific, and no improvements are illustrated for either lot. During meetings between the applicant and staff, it was discussed that the currently proposed Lot B is to be developed, with the proposed Lot A to be developed at a later time. With this in mind, the site plan should be revised to illustrate all proposed improvements for Lot B. Without specific improvements illustrated, it is difficult to determine the site’s compliance with the Map for Mobile. Furthermore, new applications will be required for the development of Lot A.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

Regarding the Subdivision, the proposed lot exceeds the minimum size requirements of Section V.D.2. of the Subdivision Regulations. The lots size is provided in square feet and acres, and if approved, this information should be provided on the Final Plat as well.

It should be noted that the 25’ setback is shown along Halls Mill Road and Rangeline Service Road, however there is a 35’ and 40’ setback illustrated along Demetropolis Road. If approved, the setback should be retained along all frontages.

It should also be noted that there are water and sewer easements in addition to the ingress/egress easement on the site. If approved, a note should be placed on the Final Plat stating that no structures are allowed in any easements.

There is a common area depicted on the preliminary plat. If approved, a note should be placed on the Final Plat stating that maintenance of the common area is the responsibility of the property owners and not the City of Mobile.

RECOMMENDATION

Subdivision: The Subdivision request is recommended for Holdover to the October 20th meeting, with revisions due by September 30th to address the following:

- 1) retention of the 25' minimum building setback line;
- 2) retention of the lot size in square feet and acres;
- 3) placement of a note on the plat stating that Lot A is limited to two curb-cuts per street frontage and Lot B is limited to one curb cut to its street frontage, with size, location and design to be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards;
- 4) comply with Traffic Engineering comments (*Rangeline Road Service Road is an ALDOT maintained roadway. Lot A is limited to two curb cuts per street frontage, and Lot B is limited to one curb cut to its street frontage, with size, location and design to be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.*); and
- 5) full compliance with Engineering comments *FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Add a note describing the proposed use of the Common Area (i.e. landscaping, open area, detention, playground) C. Revise the Subdivision Name to something that includes Resubdivision of Lot 2, Rangeline Crossing. D. Show and label each and every existing easement. GIS indicates a drainage easement recorded along the rear of LOT B, extending from Halls Mill Rd. E. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. F. Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures. G. After FINAL PLAT review by the Engineering Dept. provide the red-line markup, a copy of the revised original Final Plat, and the original when submitting for City Engineer signature.)*;
- 6) compliance with Fire Department comments (*All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)*); and
- 7) compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).*).

Planned Unit Development: The PUD request is recommended for Holdover to the October 20th meeting, with revisions due by September 30th to address the following:

- 1) revision of the site plan to illustrate all improvements for proposed Lot B;
- 2) placement of a note on the site plan that improvements to Lot A will require new Planned Unit Development approvals;
- 3) comply with Traffic Engineering comments (*Rangeline Road Service Road is an ALDOT maintained roadway. Lot A is limited to two curb cuts per street frontage, and Lot B is*

limited to one curb cut to its street frontage, with size, location and design to be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.); and

- 4) comply with Urban Forestry comments (Full compliance with landscaping and tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry.).*

Revised for the October 20th meeting:

The applications were heldover at the September 15th Planning Commission meeting to allow the applicant time to submit a site plan. The applicant has submitted a proposed site plan as requested.

The site plan depicts a 2,800 square foot restaurant with a drive-thru, 57 parking spaces, and a dumpster. While the site plan does not have landscape area or tree planting data, there is a note stating that full compliance with both will be provided.

The location of the dumpster meets all required setbacks. While the site plan states the dumpster will have an enclosure, it does not state that it will also be connected to sanitary sewer. If approved, the site plan should be revised to reflect compliance with the requirement.

As Planned Unit Developments are site plan specific, it should be pointed out that the site plan submitted does not clearly indicate that accessible parking spaces will be provided. While the site will most likely lose a parking space, it should be noted that the site plan indicates more than the minimum amount of required parking, and the loss of a parking space to provide accessible parking and an associated access aisle will have minimal effects. It should be noted that due to the number of parking spaces to be provided that a photometric site plan will be required at the time of permitting.

Per the Map for Mobile, a site in a "Suburban Neighborhood" should emphasize connectivity and accommodate pedestrian and bicycle traffic. The site plan does not illustrate a sidewalk, however there is a note stating that sidewalks will be installed, thus promoting better connectivity and accommodating pedestrian and bicycle traffic. Furthermore, the Map for Mobile advocates for infill development to complement the existing character of the area. The proposed use as a restaurant with a drive-thru is in character with the area as several restaurants with drive-thrus are located in the area. It should be noted however, that it appears that parking will be placed up to the front property line, with little to no room for landscaping, trees, or a parking buffer.

The locations of the menu board and pick up window are not indicated, thus making it difficult to determine if sufficient queuing spaces will be provided. It should be noted that 3 queuing spaces (9' x 20') should be provided for both the menu board and pick up window.

Finally, the Subdivision process should be completed prior to any request for permits for land disturbance.

Subdivision: The Subdivision request is recommended tentative approval, subject to the following:

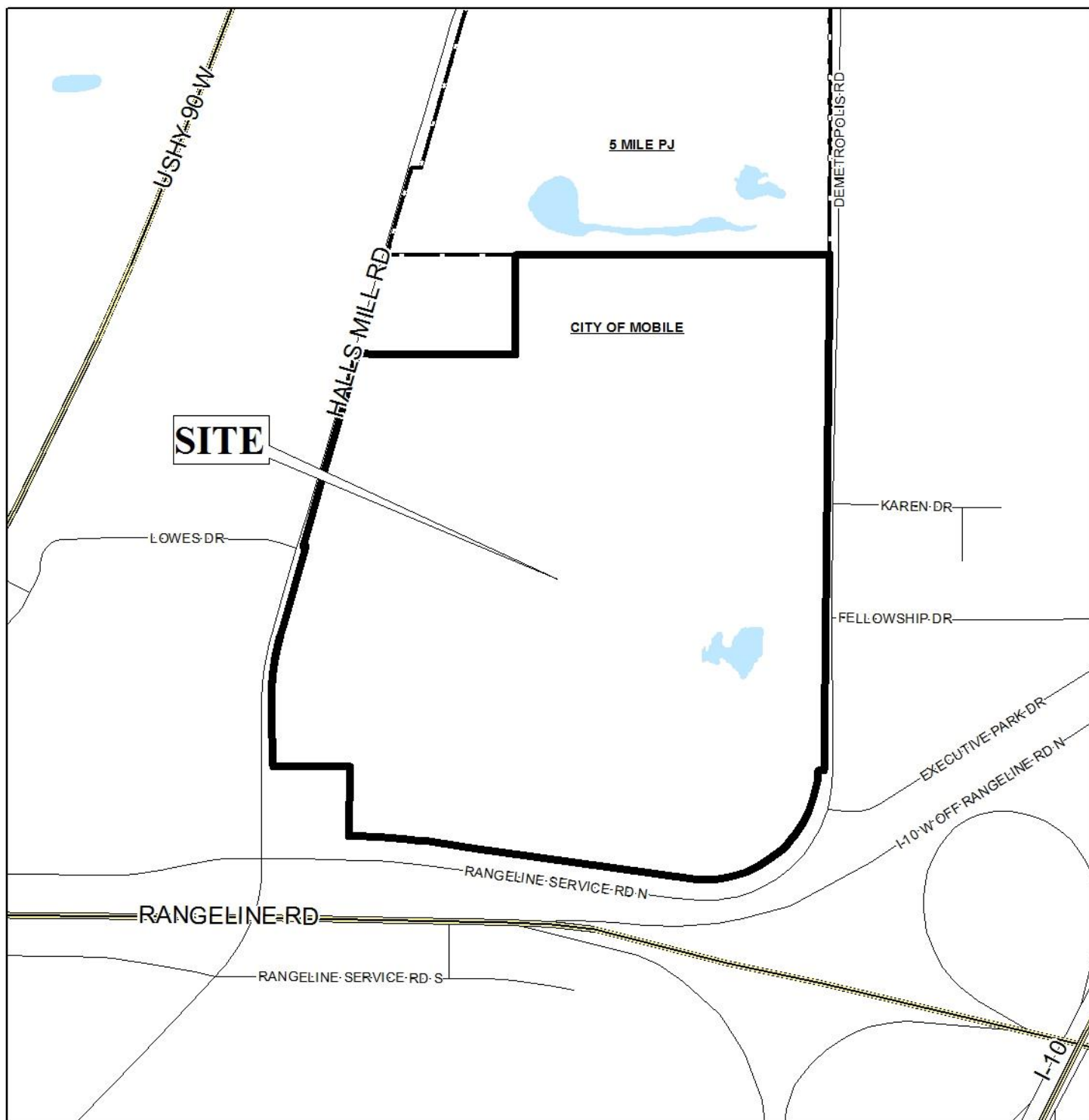
- 1) retention of the 25' minimum building setback line;
- 2) retention of the lot size in square feet and acres;
- 3) retention of the note on the plat stating that Lot A is limited to two curb-cuts per street frontage and Lot B is limited to one curb cut to its street frontage, with size, location and design to be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards;
- 4) comply with Traffic Engineering comments (*Rangeline Road Service Road is an ALDOT maintained roadway. Lot A is limited to two curb cuts per street frontage, and Lot B is limited to one curb cut to its street frontage, with size, location and design to be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.*); and
- 5) full compliance with Engineering comments *FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Add a note describing the proposed use of the Common Area (i.e. landscaping, open area, detention, playground) C. Revise the Subdivision Name to something that includes Resubdivision of Lot 2, Rangeline Crossing. D. Show and label each and every existing easement. GIS indicates a drainage easement recorded along the rear of LOT B, extending from Halls Mill Rd. E. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. F. Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures. G. After FINAL PLAT review by the Engineering Dept. provide the red-line markup, a copy of the revised original Final Plat, and the original when submitting for City Engineer signature.)*;
- 6) compliance with Fire Department comments (*All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)*);
- 7) compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).*);
- 8) submittal of two revised Planned Unit Development site plans to Planning and Zoning staff prior to the signing of the Final Plat; and
- 9) completion of the Subdivision process prior to request for land disturbance permits.

Planned Unit Development: The PUD request is recommended for approval, subject to the following:

- 1) retention of the note on the site plan that improvements to Lot A will require new Planned Unit Development approvals;
- 2) revision of the site plan to state that the dumpster will have a compliant enclosure and be connected to sanitary sewer;

- 3) revision of the site plan to indicate the provision of compliant accessible parking;
- 4) revision of the site plan to indicate 3 queuing spaces each will be provided for the menu board and the pick up window;
- 5) revision of the site plan to show the sidewalk in the right-of-way;
- 6) comply with Traffic Engineering comments (*Rangeline Road Service Road is an ALDOT maintained roadway. Lot A is limited to two curb cuts per street frontage, and Lot B is limited to one curb cut to its street frontage, with size, location and design to be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.*);
- 7) comply with Urban Forestry comments (*Full compliance with landscaping and tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry.*);
- 8) submittal of a photometric plan at time of permitting;
- 9) submittal of two revised Planned Unit Development site plans to Planning and Zoning staff prior to the signing of the Final Plat.

LOCATOR MAP



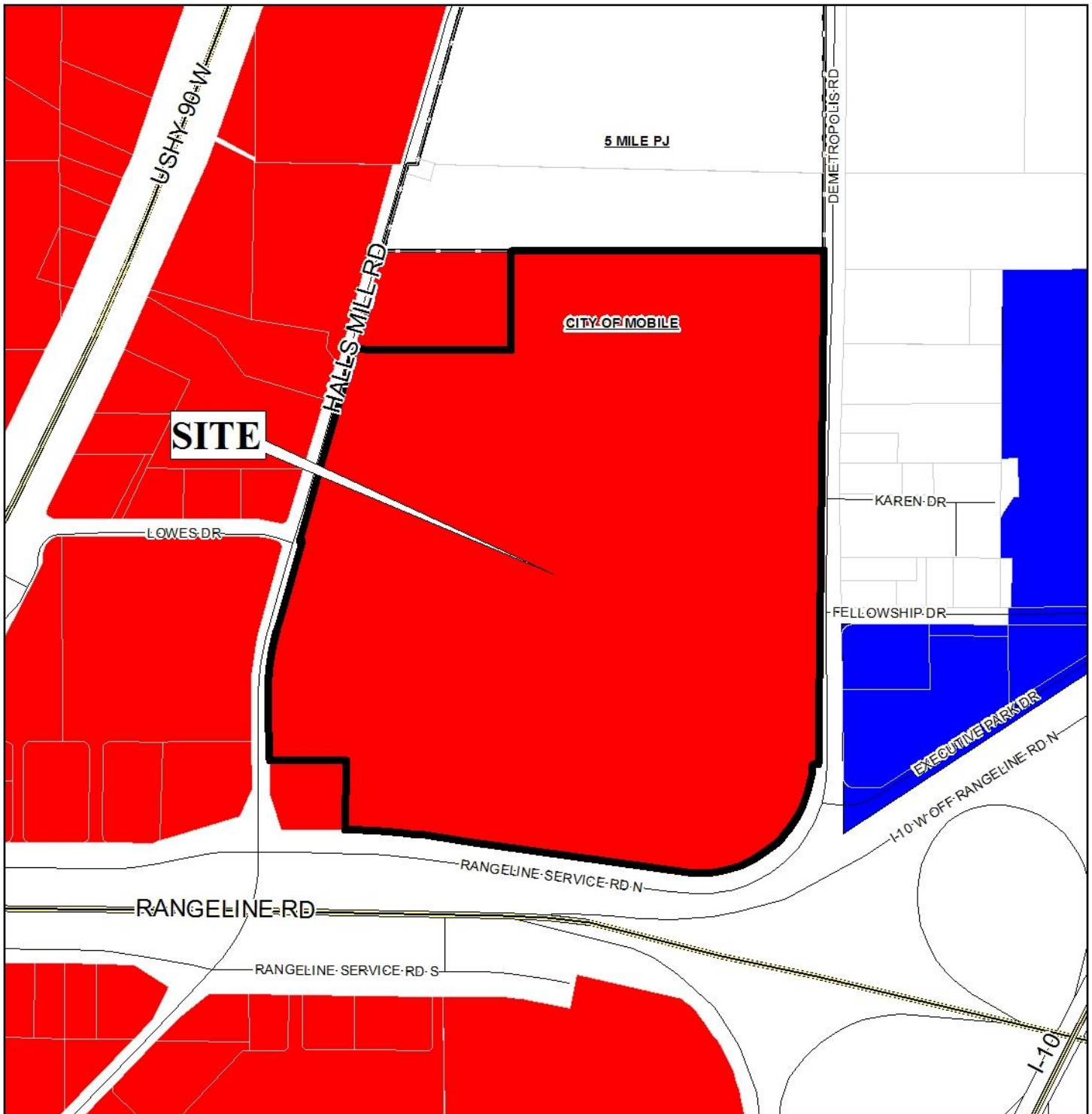
APPLICATION NUMBER 2 DATE October 20, 2016

APPLICANT Rangeline Crossing Subdivision

REQUEST Subdivision, Planned Unit Development



LOCATOR ZONING MAP



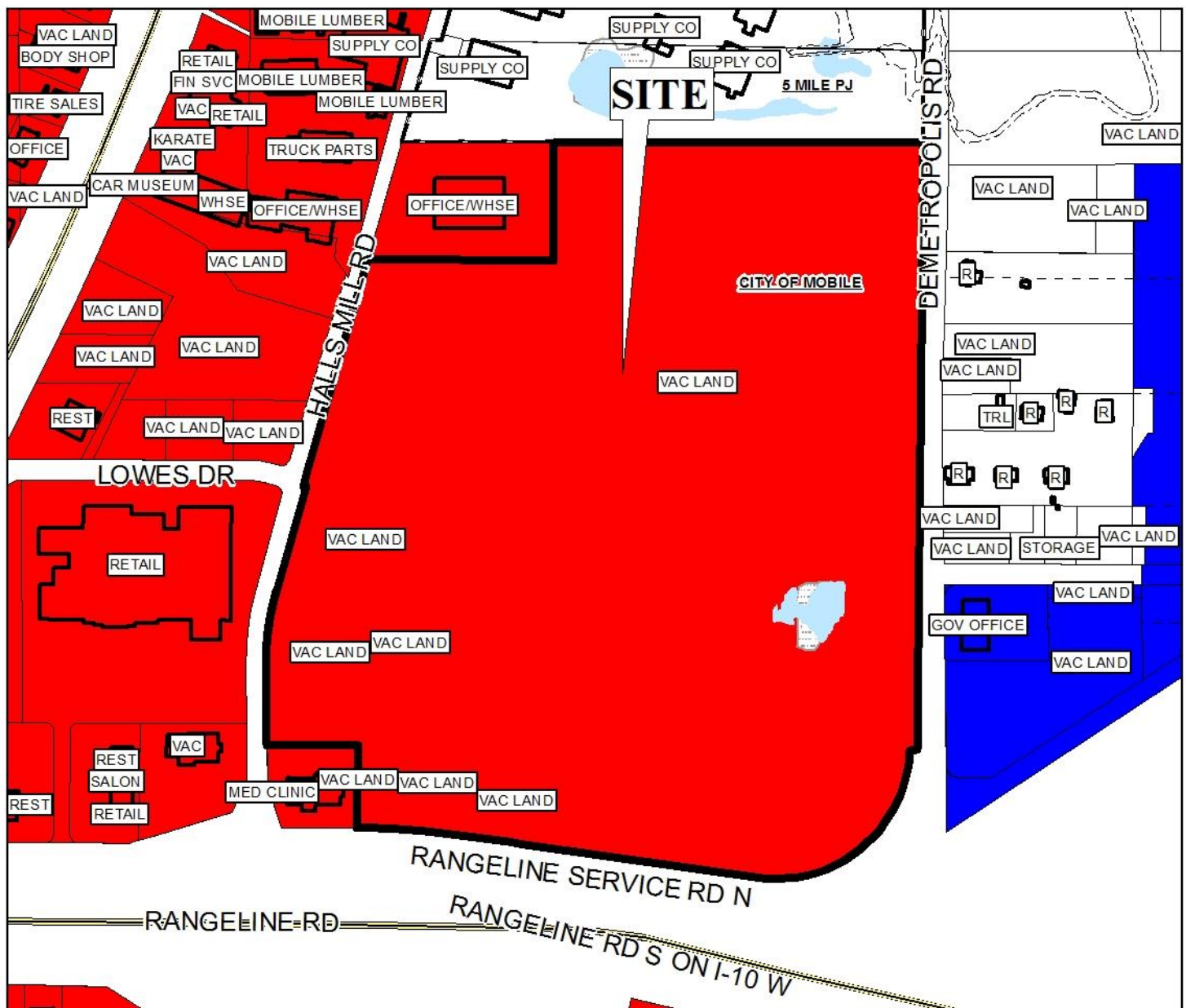
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APPLICANT Rangeline Crossing Subdivision

REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units to the east
and commercial units to the west and north.

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APPLICANT Rangeline Crossing Subdivision

REQUEST Subdivision, Planned Unit Development

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



The site is surrounded by residential units to the east and commercial units to the west and north.

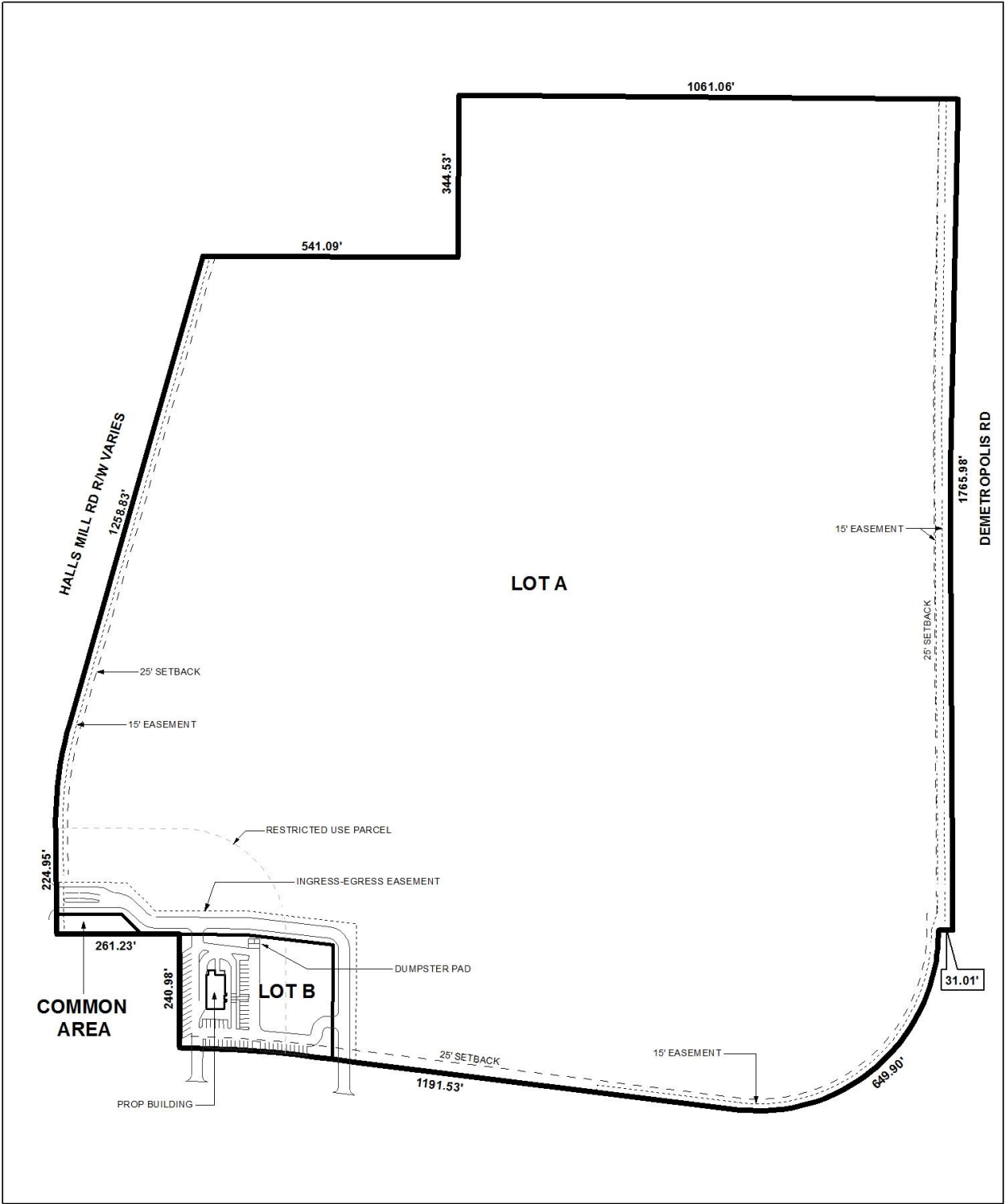
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APPLICANT Rangeline Crossing Subdivision

REQUEST Subdivision, Planned Unit Development



SITE PLAN



The site plan illustrates the proposed lots, easements, and setbacks.

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