

HOLLADAY SUBDIVISION

Engineering Comments: Must comply with all stormwater and flood control ordinances. Any work performed in the right-of-way will require a right-of-way permit.

Traffic Engineering Comments: Driveway numbers, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: None Submitted

The plat illustrates the proposed 0.78± Acre, one lot subdivision which is located at 3316 Scenic Place (North side of Scenic Place at its West terminus). The subdivision, which is located in City Council District 4, is served by public water and sanitary facilities.

The purpose of this application is to create a legal lot of record from a metes and bounds parcel. The exact creation date of the metes and bounds parcel is not readily available from the Tax Assessor's office; however, the earliest date found is in 1976, and the parcel has changed ownership several times since then.

As illustrated on the plat, the right-of-way for Scenic Place is 30'. The standard right-of-way for a minor residential street is 50'. Therefore, dedication of sufficient right-of-way to provide 25' from centerline is required. Additionally, the improvements for Scenic Place are substandard. While it has been the practice of the Commission to not approve subdivisions on a street with substandard improvements, Scenic Place is maintained by the City of Mobile. The parcel in question has existed in this configuration for over 30 years and was occupied by a residential structure.

The site is adjacent to The Dog River and canal off the river, and as such would be considered environmentally sensitive. Therefore a condition of approval should be the placement of a note on the final plat stating the approvals from all applicable federal, state and local agencies shall be obtained prior to the issuance of any permits.

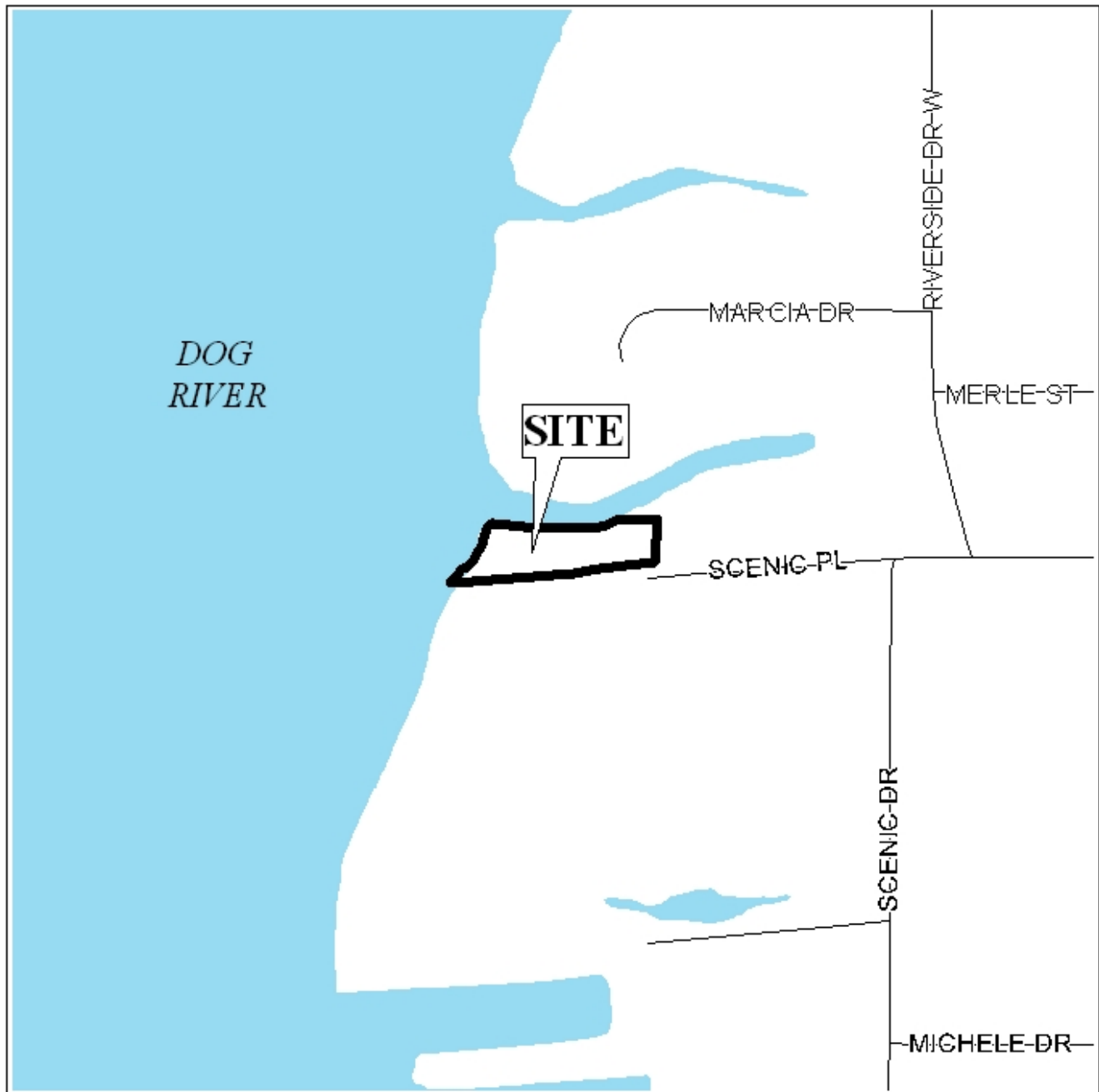
The site exceeds the width to depth ratio as recommended in Section V.D.3 of the Subdivision Regulations. However, given the configuration of the property, the fact that it has been in existence in this configuration for over 30 years, and this configuration is typical of other waterfront properties in the area; a waiver of Section V.D.3. would be appropriate.

The 25' minimum building setback line not shown, but will be required on the final plat, if approved.

Based on the preceding, it is recommended that Section V.D.3 be waived and the plat granted Tentative Approval, subject to the following conditions:

- 1) dedication of sufficient right-of-way to provide a minimum of 25' from centerline of Scenic Place;
- 2) revision of the plat to depict the 25-foot minimum building setback from Scenic Place labeling of the lot with its size in square feet, or provision of a table on the plat with the same information;
- 3) placement of a note on the final plat stating that approvals from all applicable federal, state and local agencies shall be obtained prior to the issuance of permits.

LOCATOR MAP



APPLICATION NUMBER 2 DATE March 1, 2007

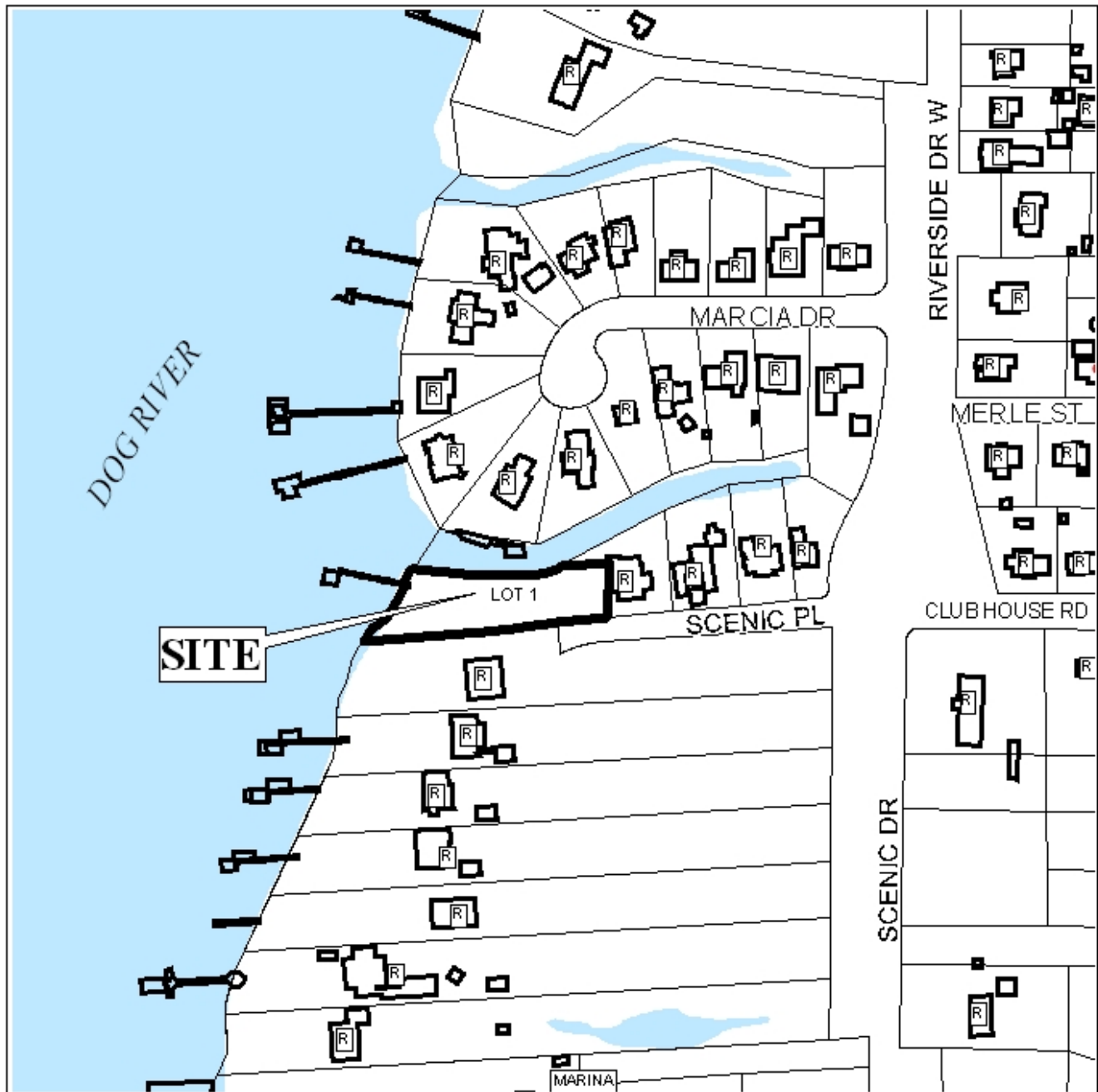
APPLICANT Holladay Subdivision

REQUEST Subdivision



NTS

HOLLADAY SUBDIVISION



APPLICATION NUMBER 2 DATE March 1, 2007

LEGEND

													
R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

