

PLANNING APPROVAL STAFF REPORT**Date: January 20, 2011****NAME**

Lily Baptist Church

LOCATION

Northwest corner of Basil Street and Harrison Street, extending to the East side of Kennedy Street, 90' ± South of Lyons Street

**CITY COUNCIL
DISTRICT**

District 2

PRESENT ZONING

R-2, Two-Family Residential District

AREA OF PROPERTY

1 Lot / .94 ± Acres

CONTEMPLATED USE

Planning Approval to allow expansion of an existing church in an R-2, Two-Family Residential District

**TIME SCHEDULE
FOR DEVELOPMENT**

No time frame provided.

**ENGINEERING
COMMENTS**

Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way will require a right of way permit. Drainage from any dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards.

**URBAN FORESTRY
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT
COMMENTS**

Subdivision layout and design must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile. Commercial buildings and sites within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

REMARKS

The applicant is requesting Planning Approval to allow an addition to an existing church within the 25-foot building setback in an R-2, Two-Family Residential District. If approved, the setback encroachment will require a variance from the Board of Zoning Adjustment.

Lily Baptist Church has not provided justification for the expansion, or the proposed use for the expansion.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

It is very important to note that the Planning Approval review is site plan specific; therefore any future changes to the site plan or to the scope of operations for the church, as approved, by current or future applicants must be submitted for Planning Approval.

RECOMMENDATION

Planning Approval: Based upon the preceding, this request is recommended for Holdover until the January 20th meeting, with revisions due by December 20th, so that the following items can be addressed:

- 1) provision of additional information regarding the use of the building;
- 2) provision of seating occupancy in the church;

Revised for the January 20th, 2011 meeting:

The application was heldover from the December 16th, 2010 meeting at the Commission's request. The Commission required information to be submitted by December 20th, 2010, so the following items could be addressed:

- 1) provision of additional information regarding the use of the building;*
- 2) provision of seating occupancy in the church;*

The applicant has since submitted documentation stating that the proposed addition will house new handicap accessible restrooms as well as two new office spaces. The proposed addition will not add to the site's parking requirements; however it should be noted that the site does not meet its current parking requirements. Section 64-6.A.6. of the Zoning Ordinance states that one parking space must be provided for every four seats available. With a seating capacity of approximately 300, the church is required to have 75 parking spaces, but provides only 40..

No floor plan of the existing church or the proposed addition was provided, thus staff cannot determine if the setback encroachment of the new addition is necessary, or if the addition could be redesigned to fully comply, or comply to a greater extent than proposed to the required 25-foot setback.

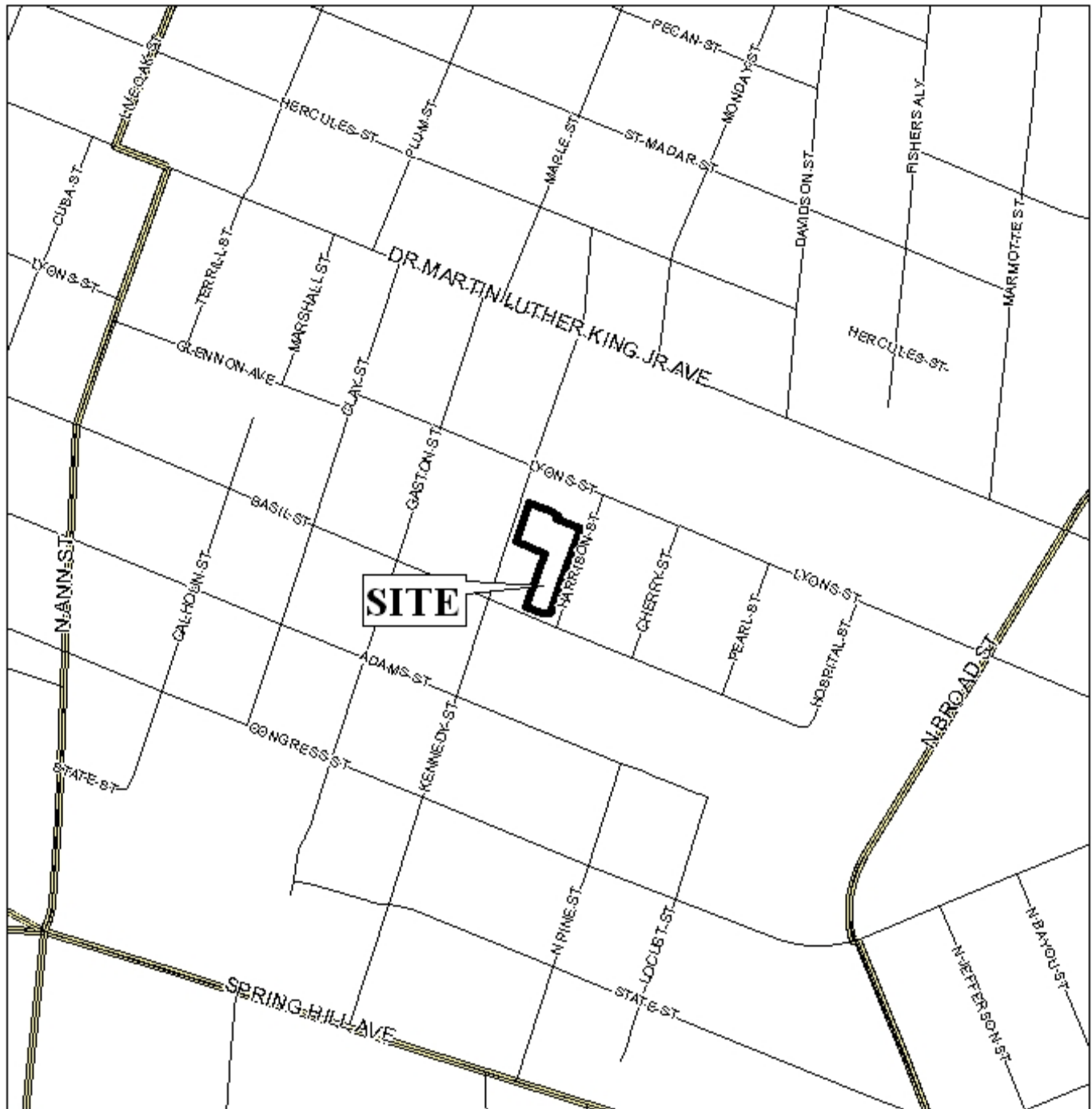
As variances for the 25-foot setback and parking ratio will be required for the request, it is recommended that the applicant apply to the Board of Zoning Adjustment and secure approvals for the variances prior to final consideration by the Planning Commission.

RECOMMENDATION

Planning Approval: *The request for Planning Approval is recommended for Holdover to April 7, 2011 so that the applicant can submit:*

- 1) make application to Board of Zoning Adjustment by February 1, 2011 for March 14th meeting for setback and parking variances (application to include existing and proposed floor plans; and*
- 2) submit existing and proposed floor plan to Planning Section by March 21, 2011.*

LOCATOR MAP



APPLICATION NUMBER 2 DATE January 20, 2011
APPLICANT Lily Baptist Church
REQUEST Planning Approval



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential land use.

APPLICATION NUMBER 2 DATE January 20, 2011
 APPLICANT Lily Baptist Church
 REQUEST Planning Approval

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

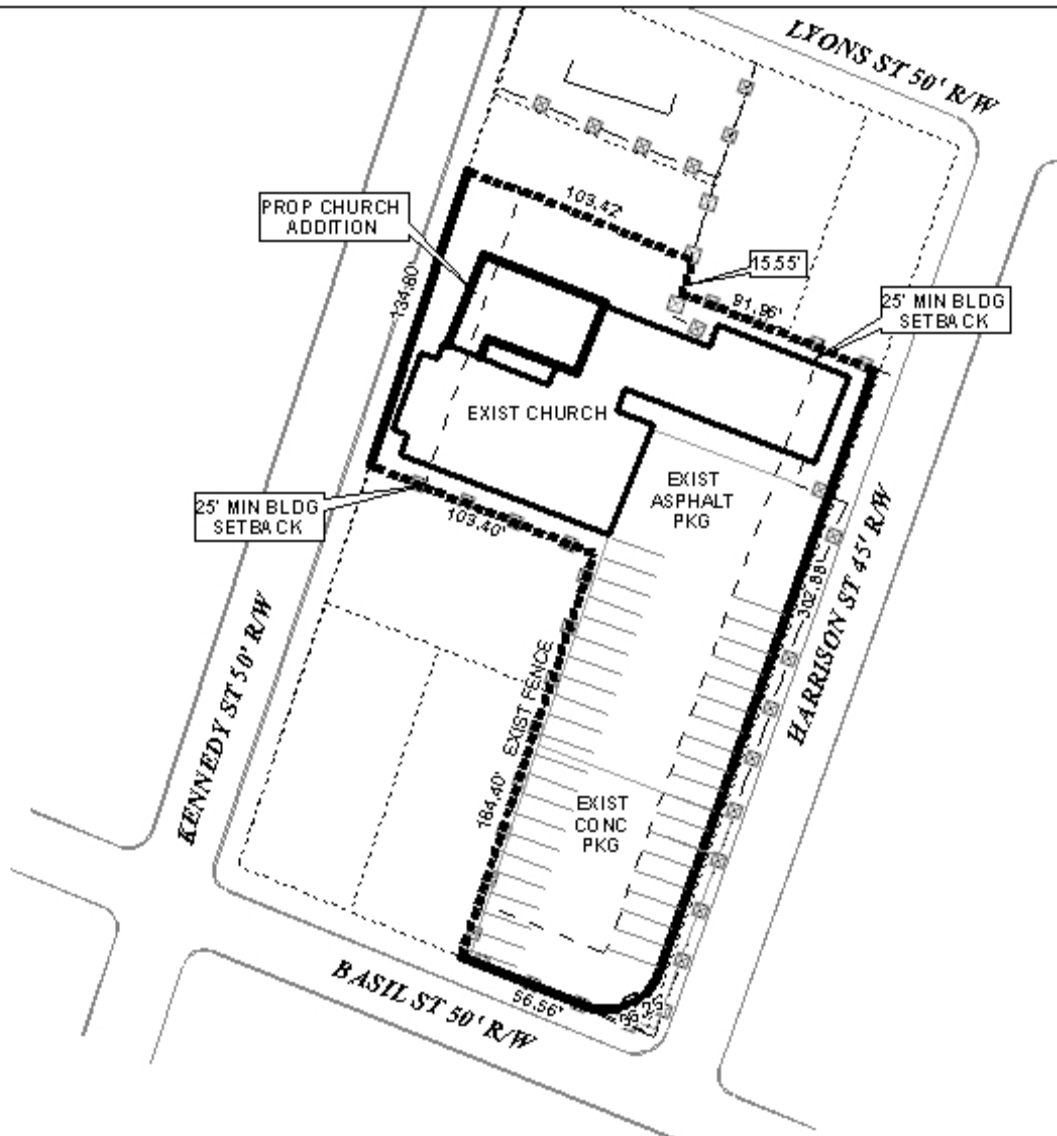


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SITE PLAN



The site plan illustrates the proposed church addition.

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 NTS

