

GRADY PLACE SUBDIVISION

Engineering Comments: Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits

Fire-Rescue Department Comments: Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).

MAWSS Comments: MAWSS has no water or sewer services available.

The plat illustrates the proposed 30-lot, 12.5± acre subdivision, which is located on the East side of Jeff Hamilton Road, 0.3 mile± North of Jenfield Drive, within the Planning Jurisdiction. The applicant states that the subdivision is served by public water and sanitary sewer service.

The purpose of this application is to subdivide a portion of an existing metes-and bounds parcel into 30 legal lots of record. All proposed lots meet the minimum size requirements established by the Subdivision Regulations.

The site has frontage on Jeff Hamilton Road with a current right-of-way width of 80'. As this is a component of the Major Street Plan with a planned 100' right-of-way, dedication to provide 50' from the centerline of Jeff Hamilton Road would be required, and such is indicated on the preliminary plat. The plat indicates building setback lines on all lots, but no dimensions are given regarding the setbacks on the individual lots: a "typical" lot with a 25' front setback as well as side and rear setbacks is shown elsewhere on the plat. However, the plat should be revised to indicate a minimum building setback line of 25' along all street frontages, and all other building setback lines as shown on the "typical" lot diagram.

Access management is a concern along Jeff Hamilton Road; therefore, a note should be required on the Final Plat, if approved, stating that Lot 30 and the Common Area fronting Jeff Hamilton Road are denied access to Jeff Hamilton Road. Note # 4 on the preliminary plat erroneously limits the site to one curb cut to Snow Road. As the site does not front Snow Road, this portion of the note should be removed. The remainder of the note should be revised to limit each proposed lot and the Common Area fronting Jeff Hamilton Road to one curb cut each, with the size, location and design to be approved by Mobile County Engineering and conform to AASHTO standards. The interior Common Area does not have any street frontage or dedicated access. Therefore, the plat should be revised to indicate access for this Common Area.

The site has property lines at an intersection corner. Section V.D.6. of the Subdivision Regulations requires that "property lines at street intersection corners shall be arcs having radii of at least 10 feet or shall be chords of such arcs." The plat indicates compliance with such.

The plat labels all lots and Common Areas with their area sizes. However, only the Common Areas are labeled in both square feet and acres. Therefore, the plat should be revised to label

each lot and Common Area with its size in both square feet and acres, or a table should be furnished on the Final Plat providing the same information.

Note # 5 on the preliminary plat should be retained stating that the maintenance of the Common Areas is the responsibility of the property owners. A 15' drainage easement is indicated extending from the proposed Magnolia Landing Loop to the large Common Area to the North. Note #9 on the plat states that no permanent structure can be placed in any easements. This note should be revised and retained on the Final Plat to state that no structure may be constructed or placed in any easement.

Development of the site will require the construction of new streets. Therefore, the Final Plat should not be signed until a County Letter of Acceptance for the constructed streets is provided.

This site is located in Mobile County, thus a note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

While the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the Final Plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning and Zoning Department and County Engineering.

As submitted, the plat does not contain the entire Parcel R023402040000009.01. A portion in the Northeast corner of the parcel which extends to Jeff Hamilton Road is omitted on the plat. The plat should be revised to also include this portion of the parent parcel.

The Subdivision is proposed with 30 lots with only one point of access. Note # 14 on the plat references Appendix D of the 2009 International Fire Code (IFC) not requiring more than one access point for such. The plat also indicates the main street, Magnolia Landing Loop, to be approximately 1,273' long with a temporary turn-around at its East terminus. This indicates that future units of the Subdivision are proposed. Therefore, future proposed units should also be indicated as a composite so that an orderly traffic pattern and sufficient access points can be evaluated. Future phases should ensure that a second point of access is part of the next phase of development.

Due to the revisions needed to the plat to conduct a thorough review of the proposed Subdivision, this application is recommended for holdover to the meeting of January 19th to allow the applicant to make such revisions. Revisions should be submitted to Planning and Zoning no later than January 3rd.

This application is recommended for holdover to the meeting of January 19, 2017, with revisions due to Planning and Zoning by January 3, 2017, to allow the applicant to make the following revisions to the plat:

- 1) revision of the plat to identify a minimum building setback line of 25' along all street frontages;
- 2) placement of a note on the plat stating that Lot 30 and the Common Area fronting Jeff Hamilton Road are denied access to Jeff Hamilton Road;
- 3) revision of Note # 4 on the plat to remove the reference to Snow Road;
- 4) revision of the remainder of Note # 4 to limit each proposed lot and the Common Area fronting Jeff Hamilton Road to one curb cut each, with the size, location and design to be approved by Mobile County Engineering and conform to AASHTO standards;
- 5) revision of the plat to indicate access to the interior Common Area;
- 6) revision of the plat to label each lot and Common Area with its size in both square feet and acres, or the furnishing of a table providing the same information;
- 7) revision of note # 9 to state that no structure may be constructed or placed in any easement;
- 8) revision of the plat to include the entire Parcel R023402040000009.01; and
- 9) revision of the plat as a composite for all proposed units and phases so that an orderly traffic pattern and sufficient access points can be evaluated.

Revised for the January 19, 2017 meeting:

This application was heldover from the December 15, 2016 meeting to allow the applicant to make the above-listed revisions to the plat. All listed items were tended to and the proposed subdivision indicated to be constructed in two phases.

The revised plat now indicates 78 proposed lots (30 in Phase One and 48 in Phase Two) and three Common Areas. A second access point to Jeff Hamilton Road is proposed with Phase Two which would satisfy the Appendix D of the 2009 International Fire Code (IFC) for two access points for subdivisions over 30 lots. Another access point is proposed to the vacant Lot 32, Saddlebrook Subdivision, Unit 5, adjacent to the South of the site. If that property is developed as a subdivision, it would have access to the Laurendine Road-Half Mile Road-New Connection-March Road Extension of the Major Street Plan affording a third access point to a public road and greater traffic flow for its development and Grady Place Subdivision. As Phase Two would have more than 30 lots and one access point if developed first, Phase One should be recorded prior to the signing of Phase Two.

Since more lots and Common Areas are proposed, access management is a concern. Some notes on the plat should be revised to reflect such. Note 4 should be revised to simply state that each lot is limited to one curb cut, with the size, location and design to be approved by Mobile County Engineering and conform to AASHTO standards. Note 5 should be revised to state that Lot 30 and Common Area 1 in Phase One and Lots 31 through 35 in Phase Two are denied direct access to Jeff Hamilton Road. A note should be required on the Final Plat stating that Common Area 2 is limited to two curb cuts, with the size, location and design to be approved by Mobile County Engineering and conform to AASHTO standards. A note should also be required on the

Final Plat stating that Common Area 3 is limited to one curb cut, with the size, location and design to be approved by Mobile County Engineering and conform to AASHTO standards.

The note stating that the maintenance of the Common Areas is the responsibility of the property owners should also be retained on the Final Plat.

There is a note on the plat stating that there is a 10' utility easement dedicated along all lot lines adjacent to rights-of-way; however, this is not graphically indicated on the plat. Therefore, the plat should be revised to illustrate all utility easements for the subdivision. The note stating that no structure may be constructed or place within any easement should be retained on the Final Plat.

Development of the site will require the construction of new streets. Therefore, the Final Plat for each unit should not be signed until a County Letter of Acceptance for the constructed streets is provided.

As the subdivision would have three Common Areas, a note should be placed on the Final Plat stating that Common Areas One and Three are limited to one curb cut, and Common Area Two is limited to two curb cuts, with the size, location and design to be approved by Mobile County Engineering and conform to AASHTO standards;

Street frontage/curve dimensions are not furnished on all lots. Therefore, the plat should be revised to provide such data, either along the road frontages or on a table on the plat providing the same information.

The plat contains a diagram of typical lot setbacks. As the setbacks indicated would apply to interior lots only, the diagram should have a note stating such and that all corner lots are to have 25' setbacks along all street frontages.

The site is located in Mobile County, thus a note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

The site will have to comply with the City of Mobile storm water and flood control ordinances. A note regarding this requirement should appear on the Final Plat.

The submitted preliminary plat for Phase One labels the remainder of the parent parcel R023402040000009.01 as Future Development. The submitted preliminary Master Plan plat showing Phase Two does not identify the remainder of Parcel R023402040000009.01 as Future Development. Therefore, the Master Plan plat should either be revised to label that remainder as Future Development or the remainder should be made a legal lot of record via a one-lot subdivision prior to signing the Final Plat for Phase Two.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval, subject to the following conditions:

- 1) retention of the dedication to provide 50' from the centerline of Jeff Hamilton Road;*

- 2) *retention of the 25' minimum building setback line along all street frontages;*
- 3) *placement of a note on the typical lot setback diagram stating that all corner lots have a 25' minimum building setback line along all street frontages;*
- 4) *revision of the plat to illustrate the 10' utility easement along all lot lines adjacent to rights-of-way as mentioned in the note on the preliminary plat, and any other easements proposed;*
- 5) *retention of the note on the Final Plat stating that no structure may be constructed or placed within any easement;*
- 6) *revision of the plat to furnish street frontage/curve and lot line dimensions on all lots, or the provision of a table on the Final Plat providing the same information;*
- 7) *placement of a note on the Final Plat stating that each lot is limited to one curb cut, with the size, location and design to be approved by Mobile County Engineering and conform to AASHTO standards;*
- 8) *placement of a note on the Final Plat stating that Lot 30 and Common Area 1 in Phase One and Lots 31 through 35 in Phase Two are denied direct access to Jeff Hamilton Road;*
- 9) *placement of a note on the Final Plat stating that Common Area 1 and Common Area 3 are limited to one curb cut each, and Common Area 2 is limited to two curb cuts, with the size, location and design to be approved by Mobile County Engineering and conform to AASHTO standards;*
- 10) *placement of a note on the Final Plat stating that the maintenance of the Common Areas is the responsibility of the property owners;*
- 11) *retention of the lot and Common Area size labels in both square feet and acres, or the furnishing of a table on the Final Plat providing the same information;*
- 12) *furnishing of a County Letter of Acceptance for the constructed streets prior to signing the Final Plat for each phase;*
- 13) *recording of the Final Plat for Phase One (30 lots) prior to signing the Final Plat for Phase Two (48 lots);*
- 14) *submittal of a revised Master Plan plat to account for the remainder of Parcel R023402040000009.01 as Future Development or the approval of that portion as a one-lot subdivision prior to the signing of the Final Plat for Phase Two;*
- 15) *placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;*
- 16) *placement of a note on the Final Plat stating that the site must comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning and Zoning Department and County Engineering; and*
- 17) *compliance with the Fire-Rescue Department comments: [Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC)].*

LOCATOR MAP

10)



APPLICATION NUMBER 2 DATE January 19, 2017

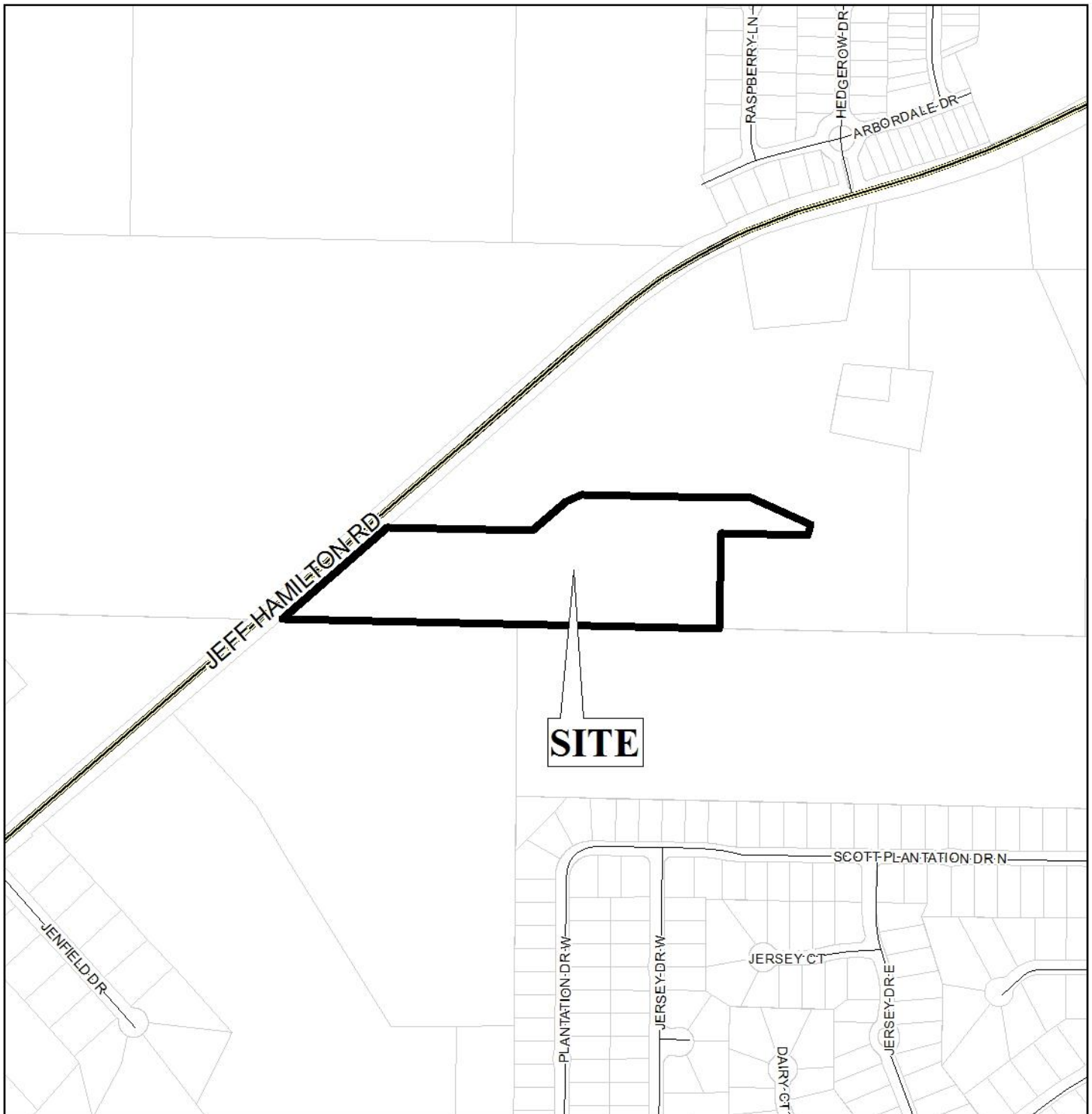
APPLICANT Grady Place Subdivision

REQUEST Subdivision



LOCATOR ZONING MAP

11)



APPLICATION NUMBER 2 DATE January 19, 2017

APPLICANT Grady Place Subdivision

REQUEST Subdivision



GRADY PLACE SUBDIVISION



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



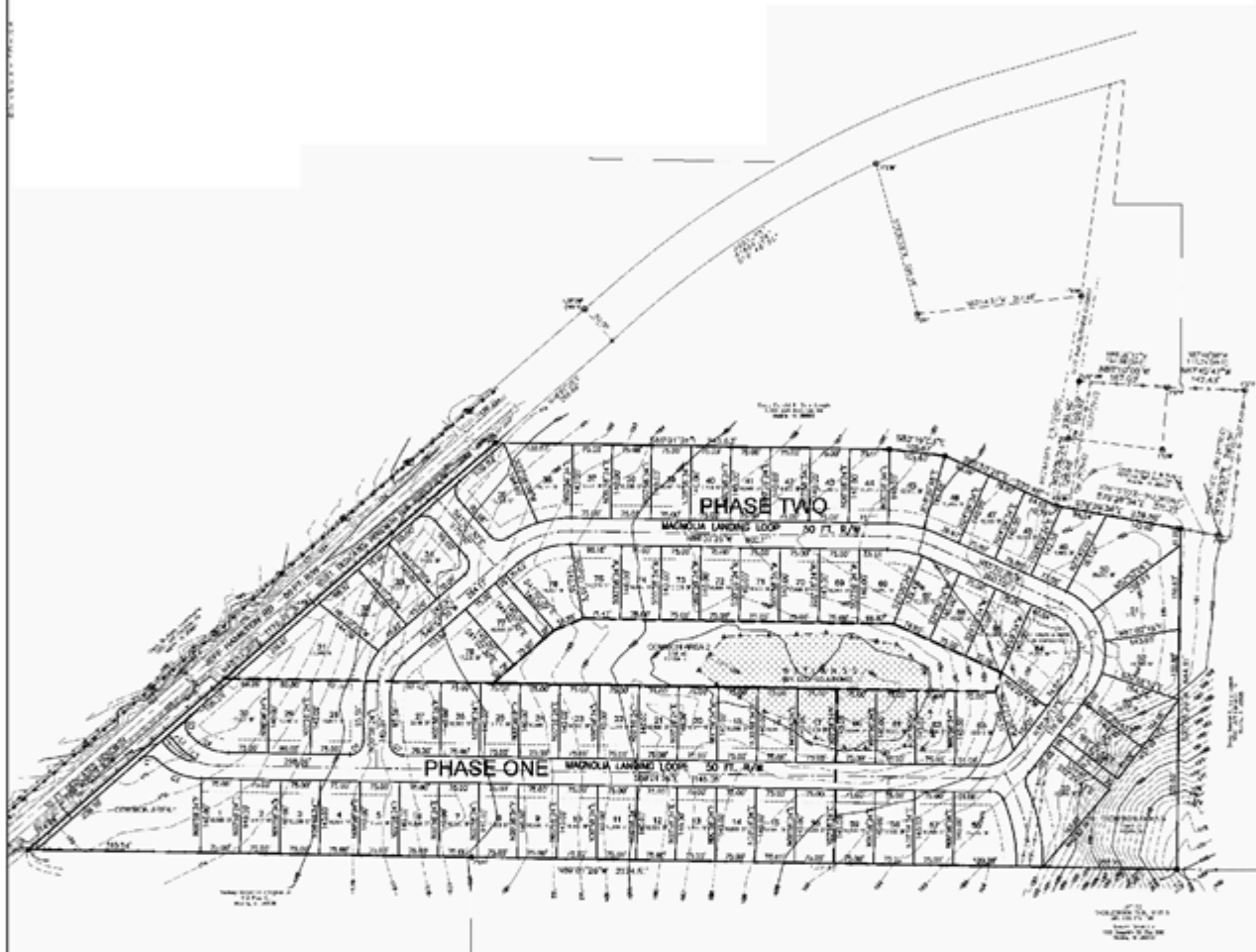
GRADY PLACE SUBDIVISION



APPLICATION NUMBER 2 DATE January 19, 2017



DETAIL SITE PLAN



APPLICATION NUMBER 2 DATE January 19, 2017

APPLICANT Grady Place Subdivision

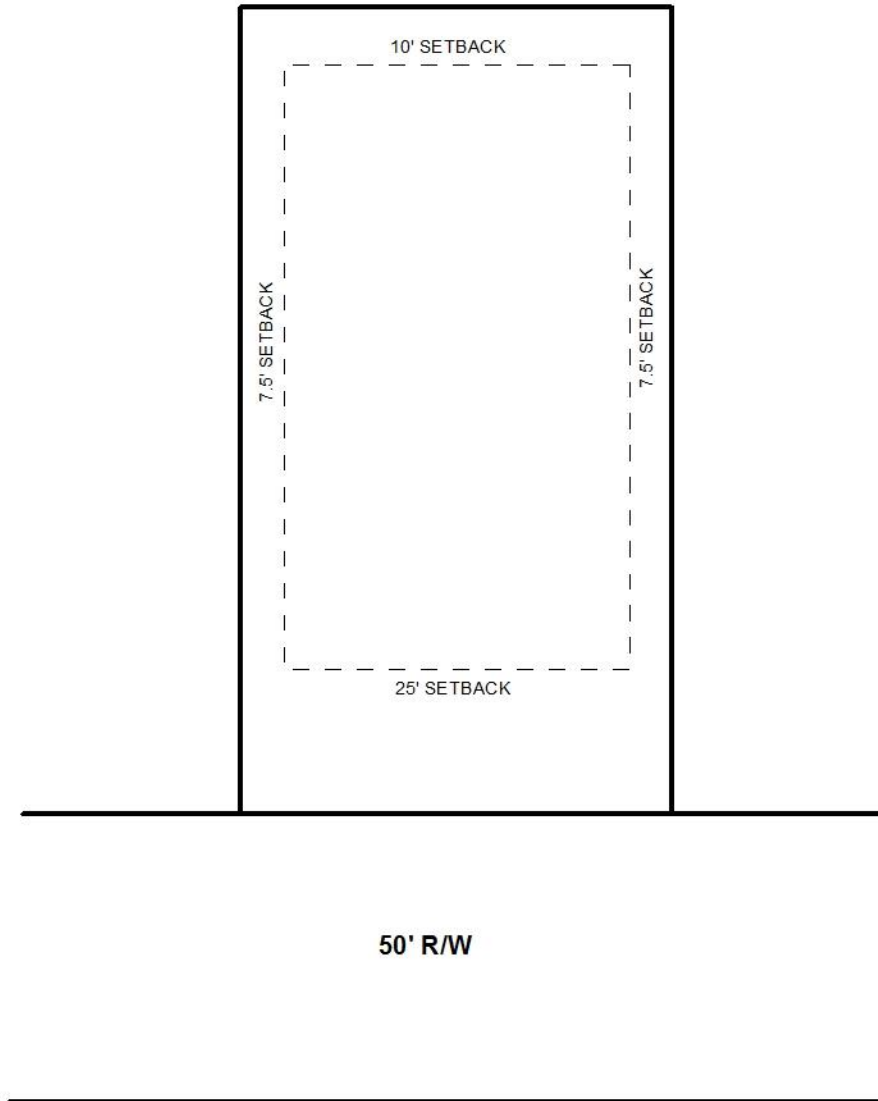
REQUEST Subdivision



NTS

DETAIL SITE PLAN

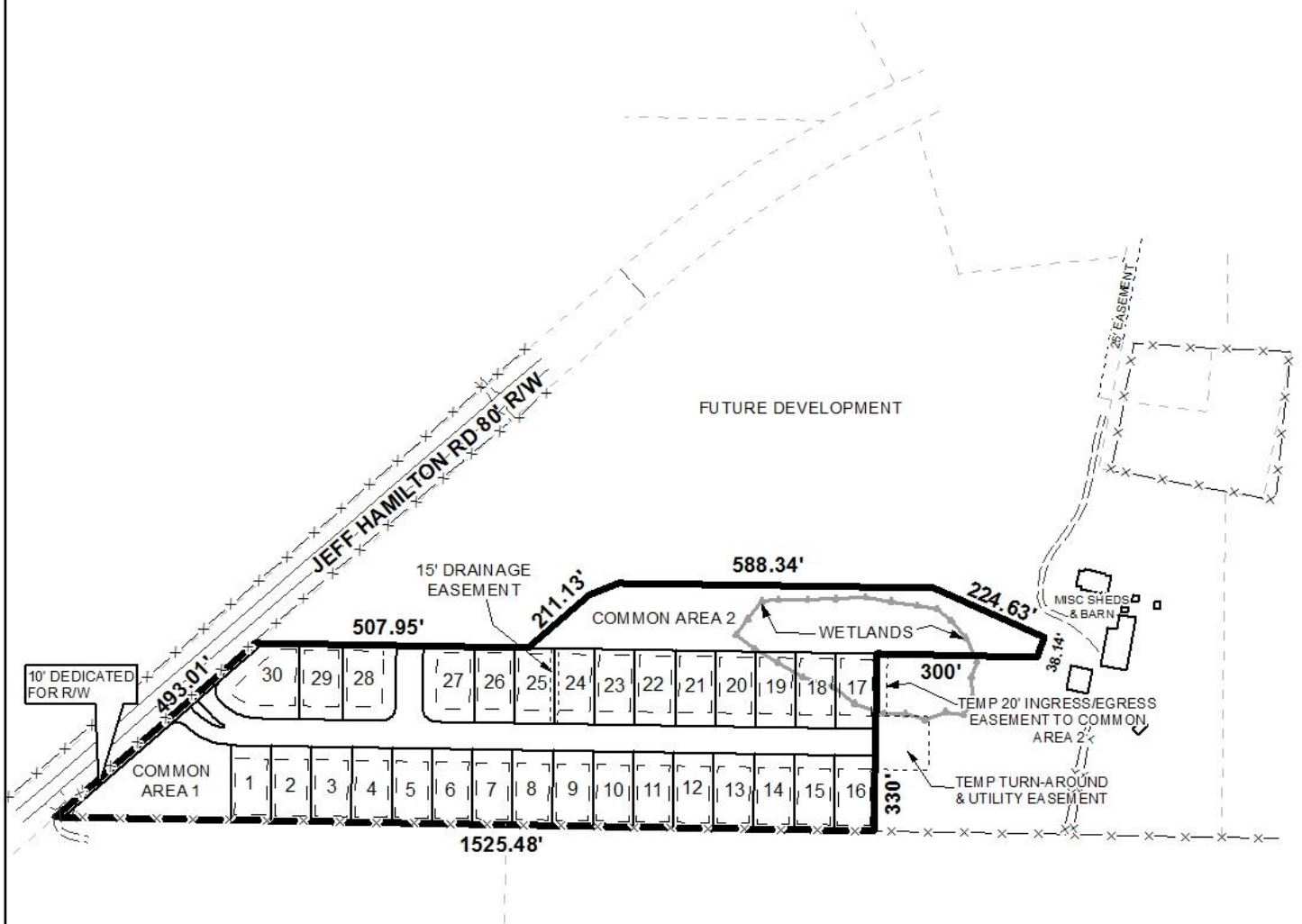
TYPICAL LOT SETBACKS



APPLICATION NUMBER 2 DATE January 19, 2017
APPLICANT Grady Place Subdivision
REQUEST Subdivision



DETAIL SITE PLAN



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 APPLICANT Grady Place Subdivision
 REQUEST Subdivision

