

**SIDEWALK WAIVER REQUEST
STAFF REPORT****Date: April 21, 2011****NAME**

Charter South

LOCATION810 Dauphin Island Parkway
(Southwest corner of Dauphin Island Parkway and Halls Mill Road)**PRESENT ZONING**

B-3, Community Business District

ENGINEERING

Engineering recommends approval of the waiver request along Dauphin Island Parkway and denial of the waiver along Halls Mill Road as it does not appear the proposed grading is shown on the cross section adjacent to the building (23' contour shown on the site plan). It appears the sidewalk is constructible in conjunction with proposed site grading within acquired right of way.

Revised for the May 5th meeting:

Recommend approval. A sidewalk cannot be constructed within the ROW due to utility conflicts and lack of neutral ground. A sidewalk easement would place restrictions on the site rendering the site unusable as it has already been constructed.

**URBAN FORESTRY
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

REMARKS

The applicant is requesting a waiver for the construction of a sidewalk along both Dauphin Island Parkway and Halls Mill Road.

The sidewalk waiver site is located in a commercial area. There are sidewalks to the East of the site across Dauphin Island Parkway, and to the North of the site. There are closer residential areas to the site, but they are separated from the site by Bolton Branch Creek. There have been no previous Sidewalk Waiver requests to Planning Commission in the immediate vicinity.

City of Mobile Engineering has recommended approval of the sidewalk waiver for Dauphin Island Parkway and denial of the waiver along Halls Mill Road. Engineering states that construction of a city standard sidewalk along Halls Mill Road is possible as it does not appear the proposed grading is shown on the cross section adjacent to the building (23' contour shown on the site plan). It appears the sidewalk is constructible in conjunction with proposed site grading within acquired right of way.

RECOMMENDATION

Based upon the preceding, this application for waiver of the sidewalk along Dauphin Island Parkway is recommended for approval and the waiver along Halls Mill Road is recommended for denial.

Revised for the May 5, 2011 meeting

At the April 21, 2011, Planning Commission meeting, this application was Heldover. Additional information was received in Planning and Engineering, clarifying the issues along Halls Mill Road.

RECOMMENDATION

Based upon the preceding, this application for waiver of the sidewalk along both Dauphin Island Parkway and Halls Mill Road is recommended for approval.

LOCATOR MAP



APPLICATION NUMBER 2 DATE May 5, 2011

APPLICANT Charter South

REQUEST Sidewalk Waiver



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



There are single family residential units to the south of the site and commercial properties are to the north, east, and west.

APPLICATION NUMBER 2 DATE May 5, 2011

APPLICANT Charter South

REQUEST Sidewalk Waiver

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
-----	-----	-----	-----	-----	-----	-----	-----	------	-----	-----	-----	-----	-----	-----



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

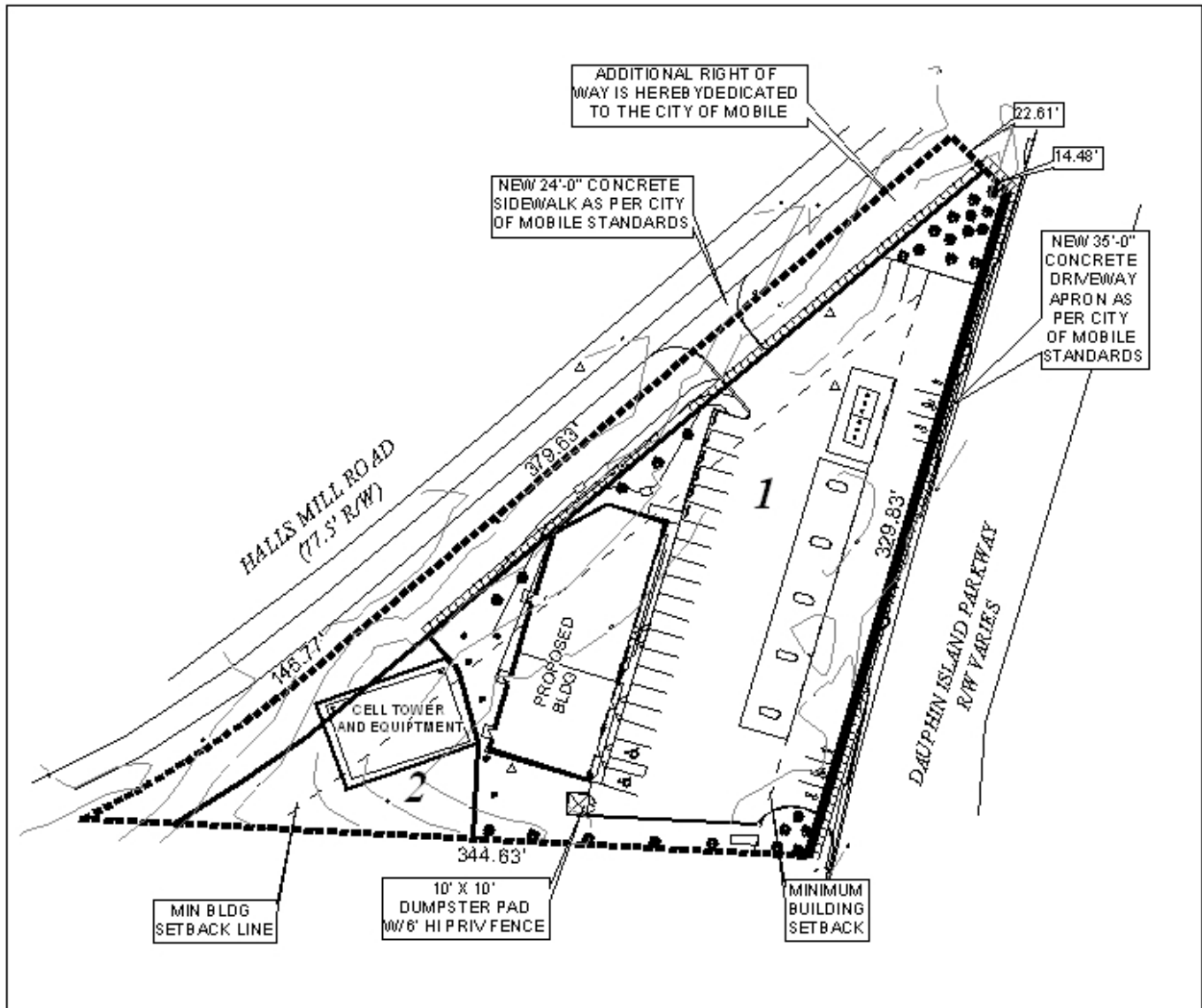


There are single family residential units to the south of the site and commercial properties are to the north, east, and west.

APPLICATION NUMBER 2 DATE May 5, 2011
APPLICANT Charter South
REQUEST Sidewalk Waiver



SITE PLAN



The proposed building, parking, and landscaping are illustrated in the site plan.

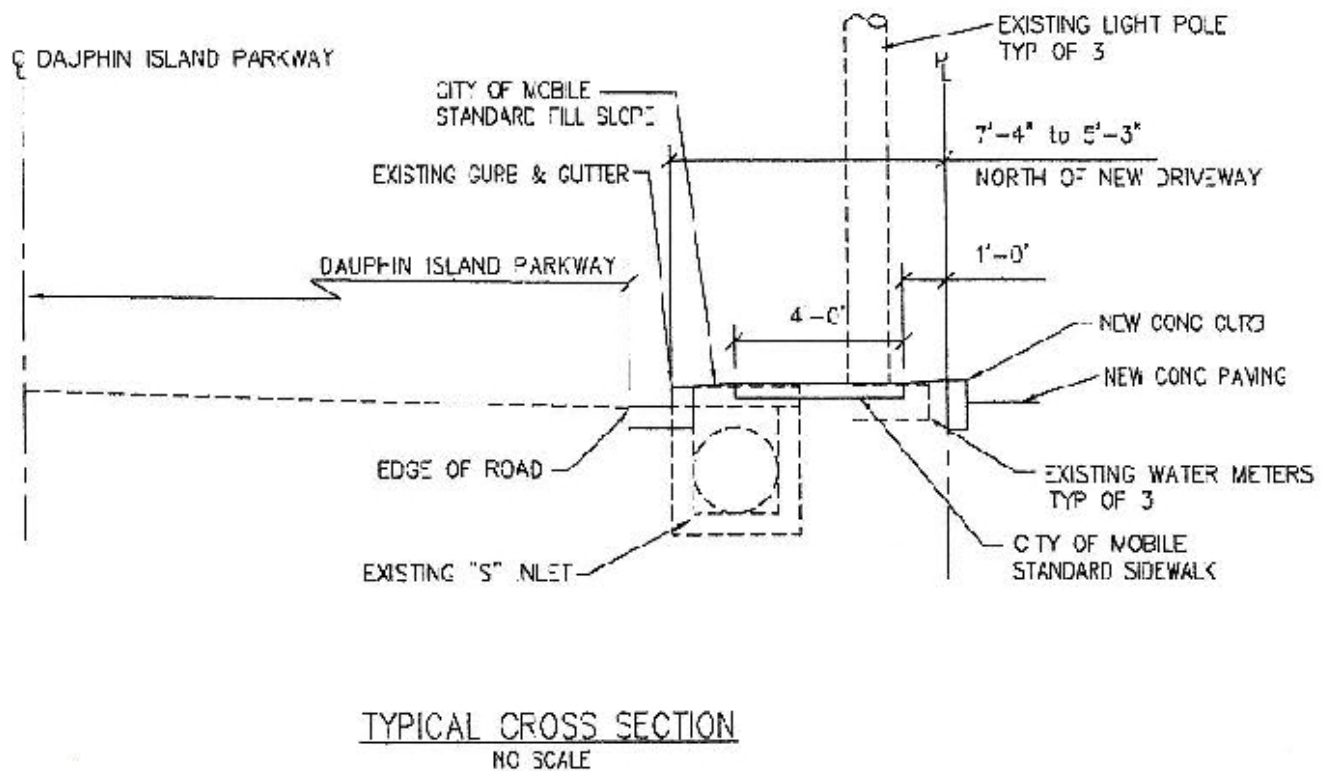
APPLICATION NUMBER 2 DATE May 5, 2011

APPLICANT Charter South

REQUEST Sidewalk Waiver



SIDEWALK CROSS-SECTION DETAIL 1



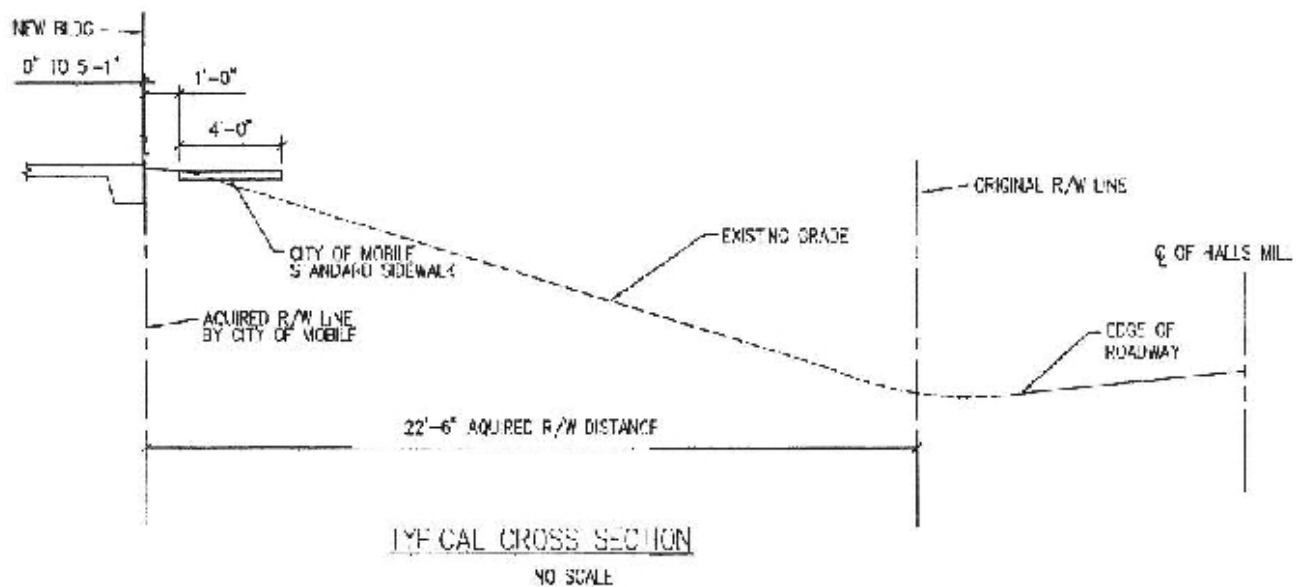
APPLICATION NUMBER 2 DATE May 5, 2011

APPLICANT Charter South

REQUEST Sidewalk Waiver

N
 ↑
 2
 ↑
 NTS

SIDEWALK CROSS-SECTION DETAIL 2



APPLICATION NUMBER 2 DATE May 5, 2011

APPLICANT Charter South

REQUEST Sidewalk Waiver

