

BRISTOL SUBDIVISION, FIRST ADDITION AND ADDITION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

MAWSS Comments: MAWSS has NO water and sewer services available.

The plat illustrates the proposed 2.0± Acre, one lot subdivision which is located on the west side of Hardeman Road, 1,000 feet south of Broughton Drive – within the planning jurisdiction. The site is served by city water and a septic system.

The purpose of this application is to add a portion of a metes and bounds parcel to a legal lot of record.

Lot 1 of Bristol Subdivision, First Addition was recorded in October 2002, and was created from a 20 acre parcel. The remainder of the parcel was designated as future development. The proposed subdivision will reduce the remaining area of the metes and bounds parcel to approximately 18 acres. It is recommended that the remaining area of the metes and bounds parcel be included in the subdivision and labeled as Lot 2.

The site fronts Hardeman Road, a planned major street, and the existing right-of-way is shown as 50 feet. The major street plan requires a 100 feet of right-of-way; therefore, the provision of a minimum 50 foot setback line (in addition to the minimum 25 foot building setback) from the centerline of Hardeman Road shall be required.

Since the site is located outside of the city limits, a note should place on the final plat stating that any lots developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

Furthermore, compliance with the City of Mobile stormwater and flood control ordinances will be required. A letter from a licensed engineer certifying compliance with the City's stormwater and flood control ordinances should be submitted to the Mobile County Engineering Department and the Planning Section of Urban Development prior to the issuance of permits.

Based on the preceding, it is recommended that this application be held over to allow the applicant to submit:

- 1) Revision of the plat designating the remainder of the metes and bounds parcel as Lot 2;
- 2) Dedication of 50 feet from the centerline of Hardeman Road to allow 100 feet of right-of-way, in compliance with the major street plan; and
- 3) Additional lot and notification fees and information.

Revised for the November 15th meeting:

This application was held over at the October 18th meeting to allow the applicant to submit a revised plat designating the remainder of the parent parcel as Lot 2 or future development. As no revisions have been submitted, the application is recommended for denial because the plat does not depict the entire parcel that is being subdivided.

Revised for the December 20th meeting:

This application was held over at the November 15th meeting to allow the applicant to submit a revised plat designating the remainder of the parent parcel as Lot 2 OR future development. The applicant submitted a revised plat designating the remainder of the parent parcel as future development AND Lot 2. The plat should be revised to label the remainder of the parent parcel as future development only.

The approval of Bristol Subdivision First Addition, recorded in 2002, required the provision of a 50' setback (including the minimum 25' building setback) from the centerline of Hardeman Road. The applicant simply wishes to expand this recorded lot. The number of lots is not being increased. Therefore, the original setback condition would be appropriate. However, the original condition was confusing. Since Hardeman Road is a Planned Major Street, it requires 50' of right-of-way from its centerline. The minimum building setback line should be measured from this right-of-way. Therefore, it is recommended that the plat be revised to provide a 75' setback (including the required 25' building setback) from the centerline of Hardeman Road.

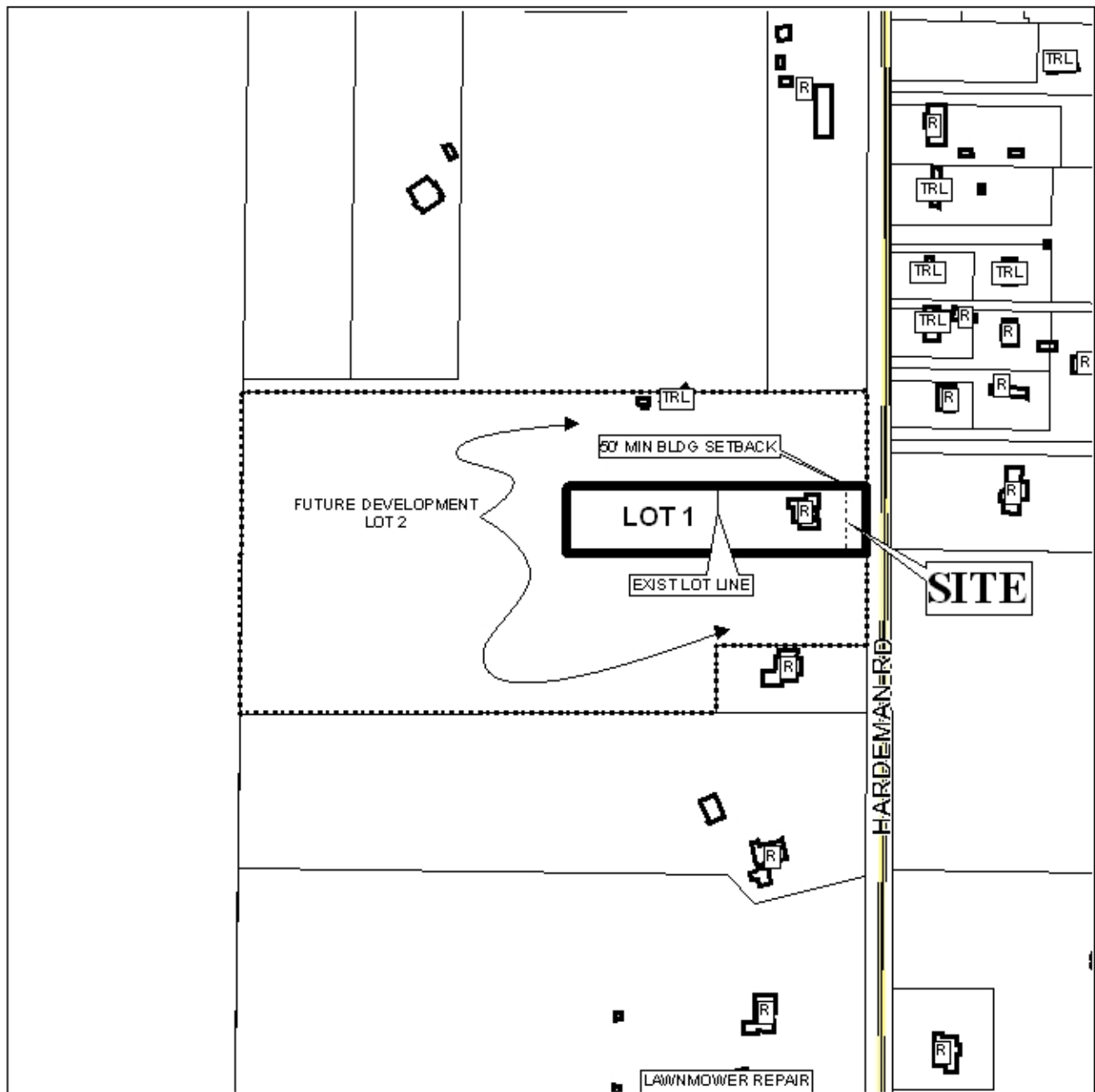
As proposed, Lot 1 exceeds the minimum width to depth ratio required by the Subdivision Regulations. However, there are several legal lots directly across Hardeman Road that exceed the minimum width to depth ratio. Therefore, a waiver of Section V.D.3. of the Subdivision Regulations would be appropriate.

The plat meets the minimum size requirement for developments with access to public water and septic systems. However, it is requested that the applicant revise the preliminary plat to label the lot with its size in square feet, or provide a table on the plat with the same information.

With a waiver of Section V.D.3. of the Subdivision Regulations, the revised plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

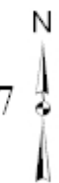
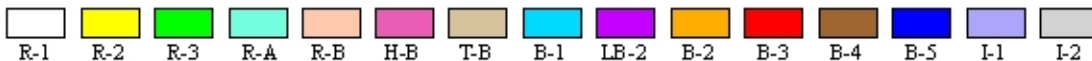
- 1) provision of a 75' setback (which includes the required minimum building setback of 25 feet) from the centerline of Hardeman Road;*
- 2) revision of the plat to label the remainder of the parent parcel as future development only, **NOT** Lot 2;*
- 3) labeling of the lot with its size in square feet, or the provision of a table on the plat with the same information;*
- 4) placement of a note on the final plat stating any lots developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations; and*
- 5) submission of a letter from a licensed engineer certifying compliance with the City's stormwater and flood control ordinances should be submitted to the Mobile County Engineering Department and the Planning Section of Urban Development prior to the issuance of permits.*

BRISTOL SUBDIVISION, FIRST ADDITION AND ADDITION



APPLICATION NUMBER 2 DATE December 20, 2007

LEGEND



NTS