

BCMF SUBDIVISION

Engineering Comments: Site is located in AE Flood Zone; development must meet all FEMA requirements. Fill is not allowed without providing compensation (net fill of zero) or completing a flood study. Label Minimum FFE on Lot 1 of plat. Plat needs to include a minimum 25' radius for the property line at the intersection of Conti St & St Emanuel St. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

The plat illustrates the proposed 1-lot, 0.1 acre \pm subdivision which is located at 57 St. Emanuel Street (Southeast corner of St. Emanuel Street and Conti Street), and is in Council District 2. The applicant states that the availability of public water and sanitary sewer is "not applicable" to the application.

The purpose of this application is to combine two parcels into one legal lot of record.

The site has frontage on Conti Street, a minor street with curb and gutter and a 44' of right-of-way per GIS data, and St. Emanuel Street, a minor street with curb and gutter and a 36' of right-of-way per the plat. Dedication has not apparently been required for other recent subdivisions along Conti or St. Emanuel Streets, even when the right-of-way is as substandard as at this site. As the site is in the downtown area, and as there are other existing buildings on both streets built to the right-of-way edge, the Planning Commission may wish to consider waiving Section V.B.14. of the Subdivision Regulations. It should be pointed out that the plat shows a 6' strip along Conti Street "dedicated by the city for public use," thus providing 24.8' from the centerline of Conti Street. Staff can not find the document in Probate, and requests a copy prior to signing the plat: it may be that land was dedicated to the city rather than by the city. The plat should be revised to label the right-of-way widths for both streets. It should be noted that Engineering requires the dedication of a 25' radius at the corner.

As a means of access management, a note should be placed on the final plat stating that the lot is limited to the only existing curb-cut along St. Emanuel Street with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

It should be noted that this site is located within the Lower Dauphin Historic District; thus, improvements to the site may need approval by the Mobile Historic Development Commission and the Architectural Review Board.

The lot is not labeled on the plat with its size in square feet, and should be so-labeled on the final plat, but a table is provided furnishing the same information and should be retained, if approved. Lot size should reflect dedication.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

As noted by Engineering, the site is located in an AE flood zone, per FEMA maps.

With a waiver of Section V.B.14., the application is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that the lot is limited to the only existing curb-cut along St. Emanuel Street with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) improvements to the site subject to MHDC/ARB approval;
- 3) labeling of the minimum and maximum right-of-way widths for each street;
- 4) submission of the deed information regarding dedication along Conti Street prior to signing plat, and correction of label if necessary;
- 5) placement of a note on the final plat stating that development of the site must be undertaken in compliance with all local, state, and Federal regulations regarding endangered, threatened or otherwise protected species;
- 6) dedication of a 25' radius at the intersection of Conti Street and St. Emanuel;
- 7) compliance with Engineering comments: *Site is located in AE Flood Zone; development must meet all FEMA requirements. Fill is not allowed without providing compensation (net fill of zero) or completing a flood study. Label Minimum FFE on Lot 1 of plat. Plat needs to include a minimum 25' radius for the property line at the intersection of Conti St & St Emanuel St. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit; and*
- 8) full compliance with all municipal codes and ordinances.

Revised for the February 4th meeting:

This application was held over at the November 5th meeting to allow the applicant time to address the following items:

- 1) *submit a site plan to justify the request for a curb-cut to Conti Street.*

The applicant submitted a site plan, revised preliminary plat and a letter justifying the request for a second curb-cut to Conti Street. The applicant states that the project has received approval

from the Engineering Department, right-of-way, Urban Forestry and has been awarded a Certificate of Appropriateness from the Architectural Review Board. Additionally, the applicant points out that the parcel is not wide enough to allow for two-way traffic, hence the need for the new curb-cut. Moreover, in a meeting with staff on 10/29/09 the applicant was told that he did not need to provide a site plan and that only a preliminary plat would be required for a one-lot subdivision application. It should be noted that if a person wants a curb-cut, they need to justify the request for such, and ideally illustrate the curb-cut on the preliminary plat. And finally, the applicant refutes condition number three in regards to the dedication of a 25' radius at the corner of St. Emanuel and Conti. He states that the fact that Conti is a one-way street West-bound and Saint Emanuel is a one-way street North-bound i.e. there is no right turning traffic from St. Emanuel Street onto Conti thus eliminating the need for additional right-of-way at the corner in question. Staff should point out that just because the streets are one-way now, some one-way streets are being converted into two-way streets.

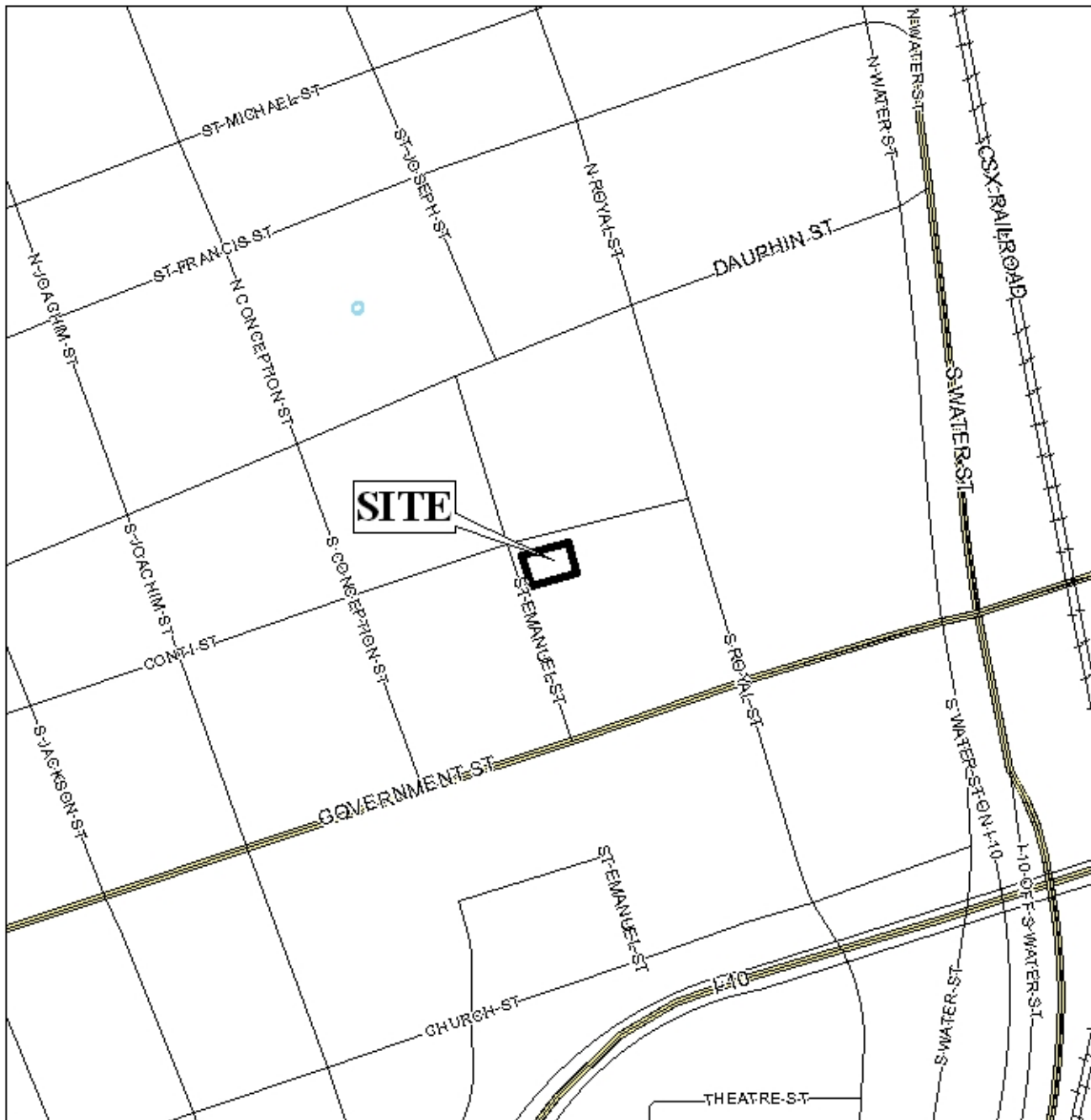
The applicant has provided sufficient justification for staff to give a favorable recommendation.

RECOMMENDATION

With a waiver of Section V.B.14., the application is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that the lot is limited to two curb-cuts with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) placement of a note on the final plat/site plan stating that approval of all applicable Federal, state and local agencies for endangered, threatened or otherwise protected species is required prior to the issuance of any permits or land disturbance activities;
- 3) dedication of a 25' radius at the intersection of Conti Street and St. Emanuel;
- 4) compliance with Engineering comments: *Site is located in AE Flood Zone; development must meet all FEMA requirements. Fill is not allowed without providing compensation (net fill of zero) or completing a flood study. Label Minimum FFE on Lot 1 of plat. Plat needs to include a minimum 25' radius for the property line at the intersection of Conti St & St Emanuel St. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit; and*
- 5) full compliance with all municipal codes and ordinances.

LOCATOR



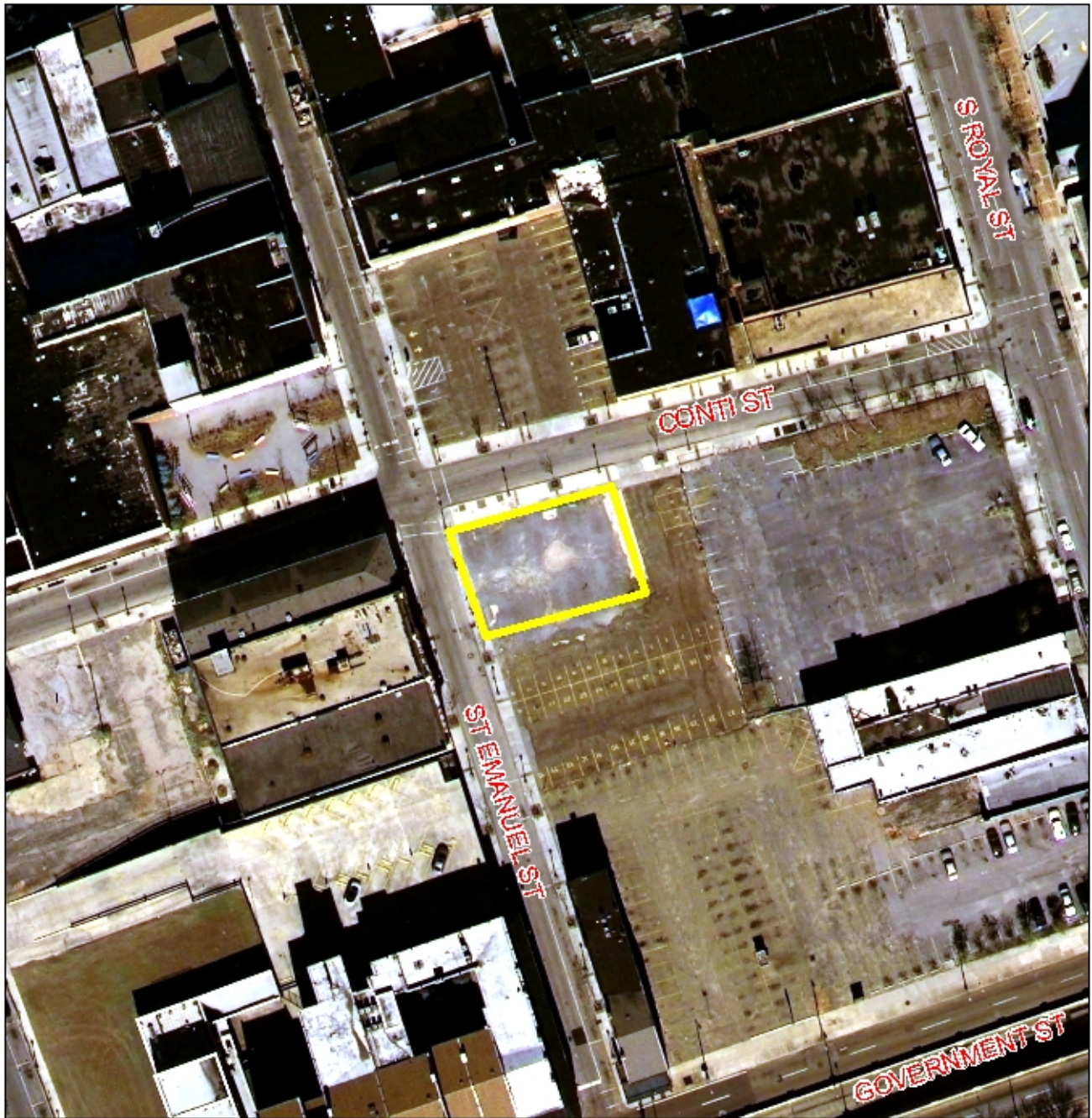
APPLICATION NUMBER 2 DATE February 4, 2010

APPLICANT BCMF Subdivision

REQUEST Subdivision



BCMF SUBDIVISION



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

NTS

