

HALLS MILL SOUTH INDUSTRIAL PARK SUBDIVISION, RESUBDIVISION OF LOTS 3 & 4

Engineering Comments: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Show and label all flood zones. The X (shaded) flood zone should also be shown and labeled since the City regulates it like the AE zone.
- C. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation.
- D. Provide and label the monument set or found at each subdivision corner to match the legend and note 6.
- E. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- F. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- G. Provide a copy of the original Final Plat, and the original when submitting for City Engineer signature.

Traffic Engineering Comments: Site is limited to one curb cut with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until the Capacity application is approved by Volkert Engineering, Inc.

The plat illustrates the proposed 1-lot, 1.1± acre subdivision which is located on the East side of Halls Mill Road, 775'± South of Demotropolis Road, within Council District 4. The applicant states that the subdivision is served by city water and sanitary sewer systems. The purpose of this application is to create one legal lot of record from two legal lots of record.

The proposed lot fronts Halls Mill Road, a collector street. As a collector street, Halls Mill Road requires a 70' right-of-way width. The right-of-way width, as indicated on the preliminary plat, reflects compliance with collector street standards and if approved, should be retained on the Final Plat.

A 25-foot minimum building setback line is depicted on the preliminary plat along Halls Mill Road and, if approved, should be retained on the Final Plat.

The proposed lot exceeds the 7,200 square foot minimum lot size requirements for lots served by public water and sanitary sewer systems. The preliminary plat provides the lot sizes in square feet and acres, and if approved, this information should be retained on the Final Plat as well.

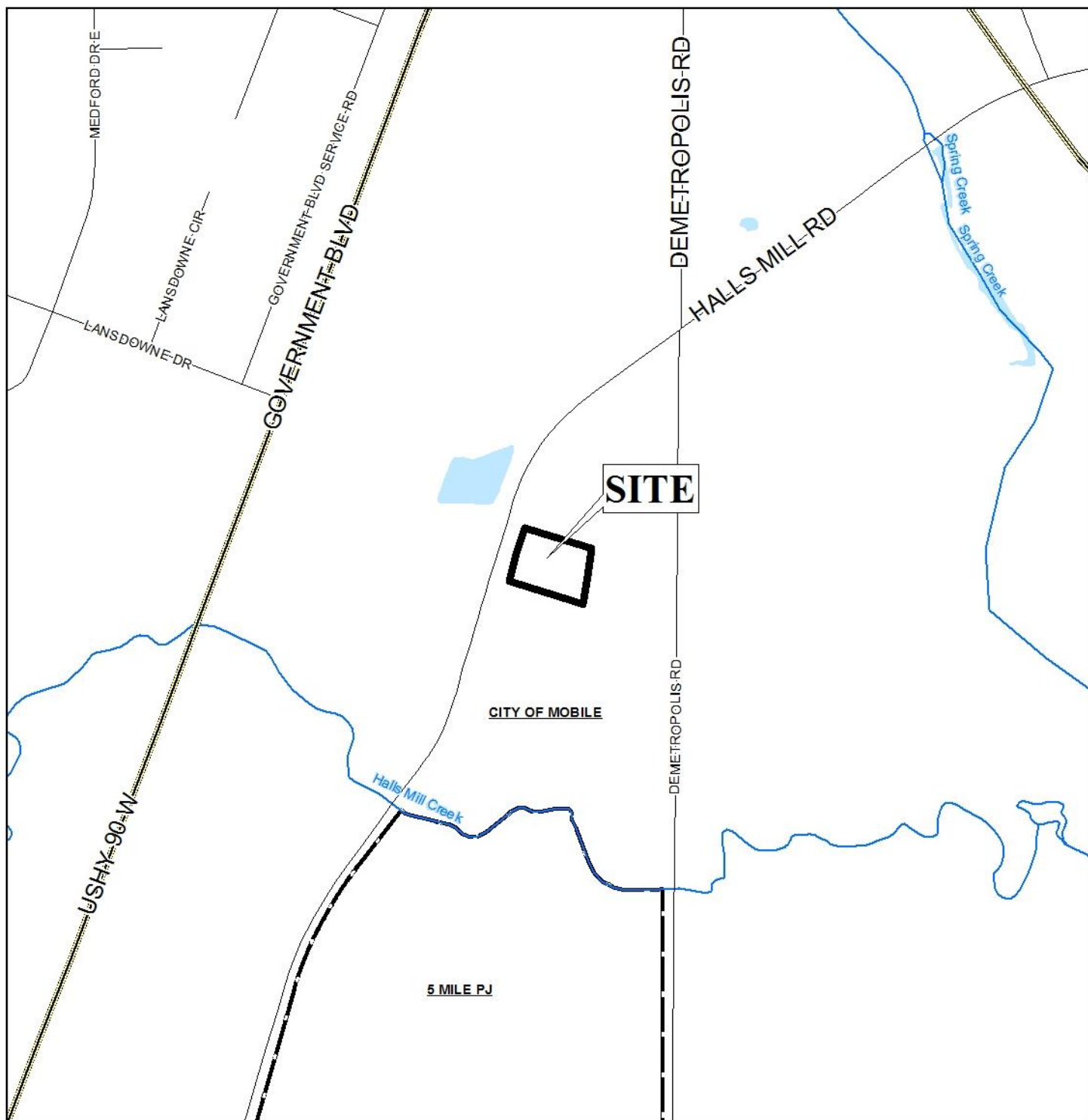
As a means of access management, a note should be placed on the Final Plat, if approved, stating that the proposed lot is limited to its existing curb cut, with any changes in the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards.

Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Retention of the 25' minimum building setback line along Halls Mill Road;
- 2) Retention of the lot size information on the Final Plat to be depicted in square feet and in acres;
- 3) Placement of a note on the Final Plat stating that the proposed lot is limited to its existing curb cut, with any changes in the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards.
- 4) Compliance with Engineering comments: *(FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Show and label all flood zones. The X (shaded) flood zone should also be shown and labeled since the City regulates it like the AE zone. C. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation. D. Provide and label the monument set or found at each subdivision corner to match the legend and note 6. E. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. F. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. G. Provide a copy of the original Final Plat, and the original when submitting for City Engineer signature.);*
- 5) Compliance with Traffic Engineering comments *(Site is limited to one curb cut with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 6) Compliance with Urban Forestry comments *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).); and*

- 7) Compliance with Fire Department comments and placement of a note (*All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).*)

LOCATOR MAP



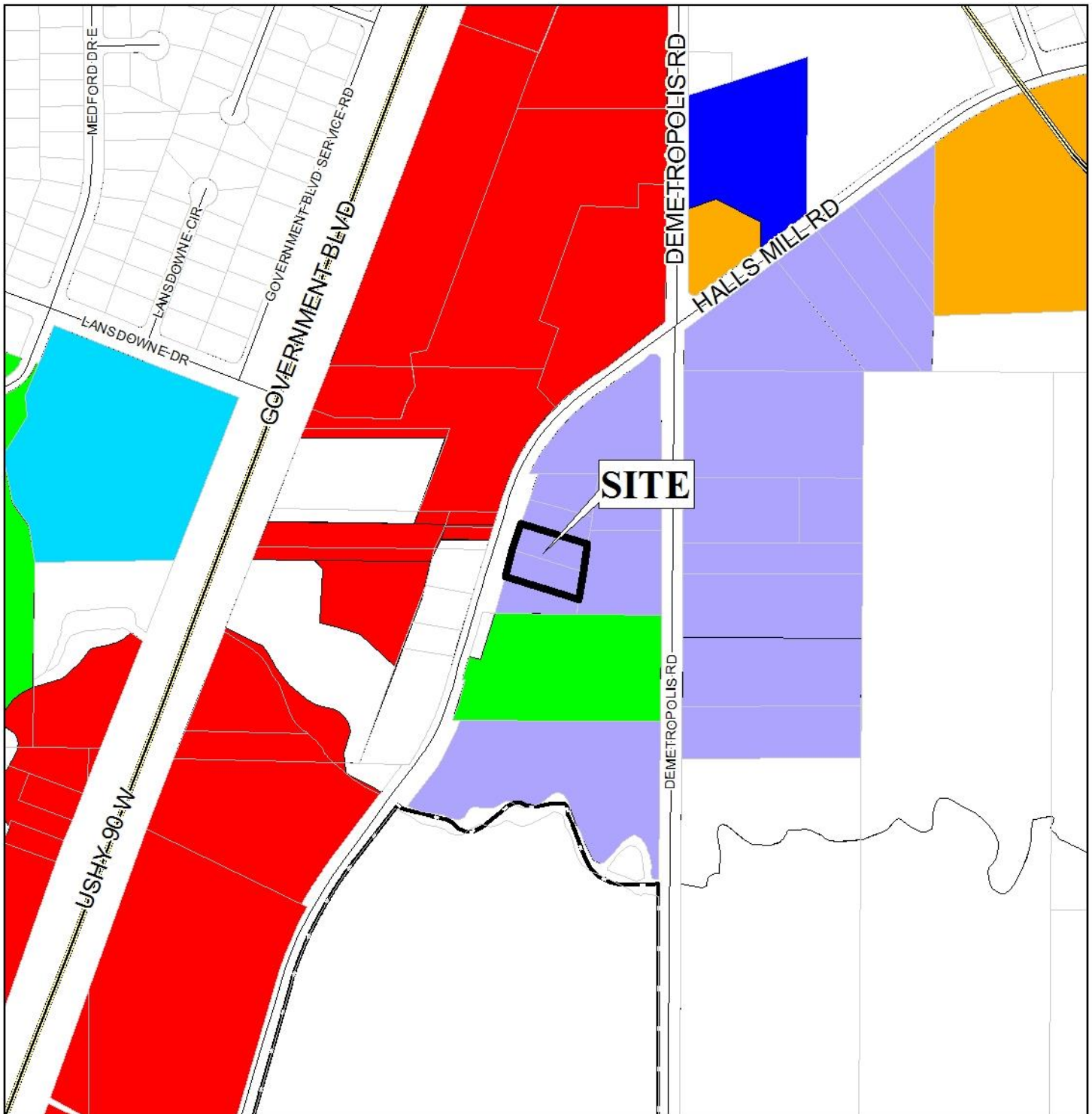
APPLICATION NUMBER 2 DATE August 18, 2016

APPLICANT Halls Mill South Industrial Park Subdivision, Resubdivision of Lots 3 & 4

REQUEST Subdivision



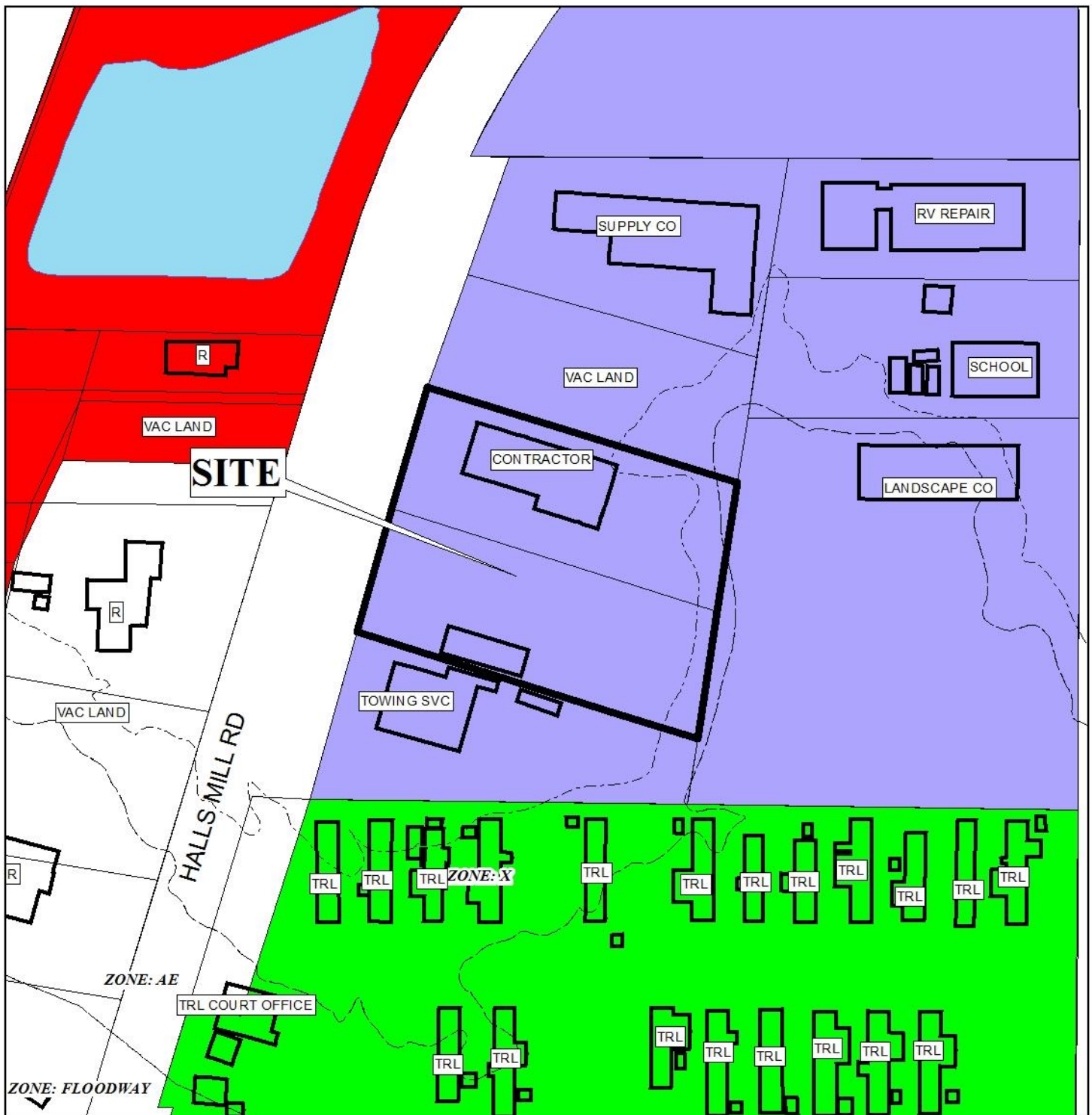
LOCATOR ZONING MAP



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



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DETAIL SITE PLAN

HALLS MILL RD R/W VARIES

192.62'

25' SETBACK

LOT A

235.42'

100 YEAR
FLOOD

20' EASEMENT

194'

258.49'

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