

HALEY DYER SUBDIVISION

Engineering Comments: Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: Shall comply with Section 508.5.1 of the 2003 International Fire Code

MAWWS Comments: None provided

The plat illustrates the proposed 0.5± acre, 2 lot subdivision, which is located on the Southeast corner of Alba Club Road and Massengale Drive. The applicant states the site is served by city water and sanitary system.

The purpose of this application is to create two legal lots from one existing lot.

Aerial photographs from 2006 show a structure on the property which appears to be very close to where the new proposed property line would be. A holdover is recommended to allow the applicant to amend the plat to show the structure and the setback between the structure and the proposed property line or to place a note on the plat that the structure is to be demolished.

Proposed Lot 1 fronts Alba Club Road while proposed Lot 2 fronts Massengale Drive. According to the recorded plat, Alba Club Road, which has a right-of-way width of 60', was once considered a major street, requiring an additional 20' strip to be dedicated for public right-of-way. Alba Club Road is no longer considered a major street therefore; the current 60' right-of-way is adequate. In addition, Massengale Road has an adequate 50' right-of-way.

Proposed Lot 1 would have approximately 120' of frontage along Alba Club Road and approximately 65' of frontage along Massengale Drive. Proposed Lot 2 would have approximately 88' onto Massengale Drive. As a means of access management, a note should be placed on the final plat stating that the proposed Lot 1 is limited to one curb cut to Alba Club Road, while proposed Lot 2 is limited to one curb cut onto Massengale Drive with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based on the preceding, this application is recommended for a holdover until the July 10th meeting, with revisions due by June 20th, to allow the applicant to submit the following:

- 1) Submittal of a revised plat to show the current structure with all the proper dimensions and setbacks, or
- 2) Submittal of a plat with a note stating the structure is to be demolished (with proper permits) prior to the signing of the final plat or issuance of any land disturbance or building permits.

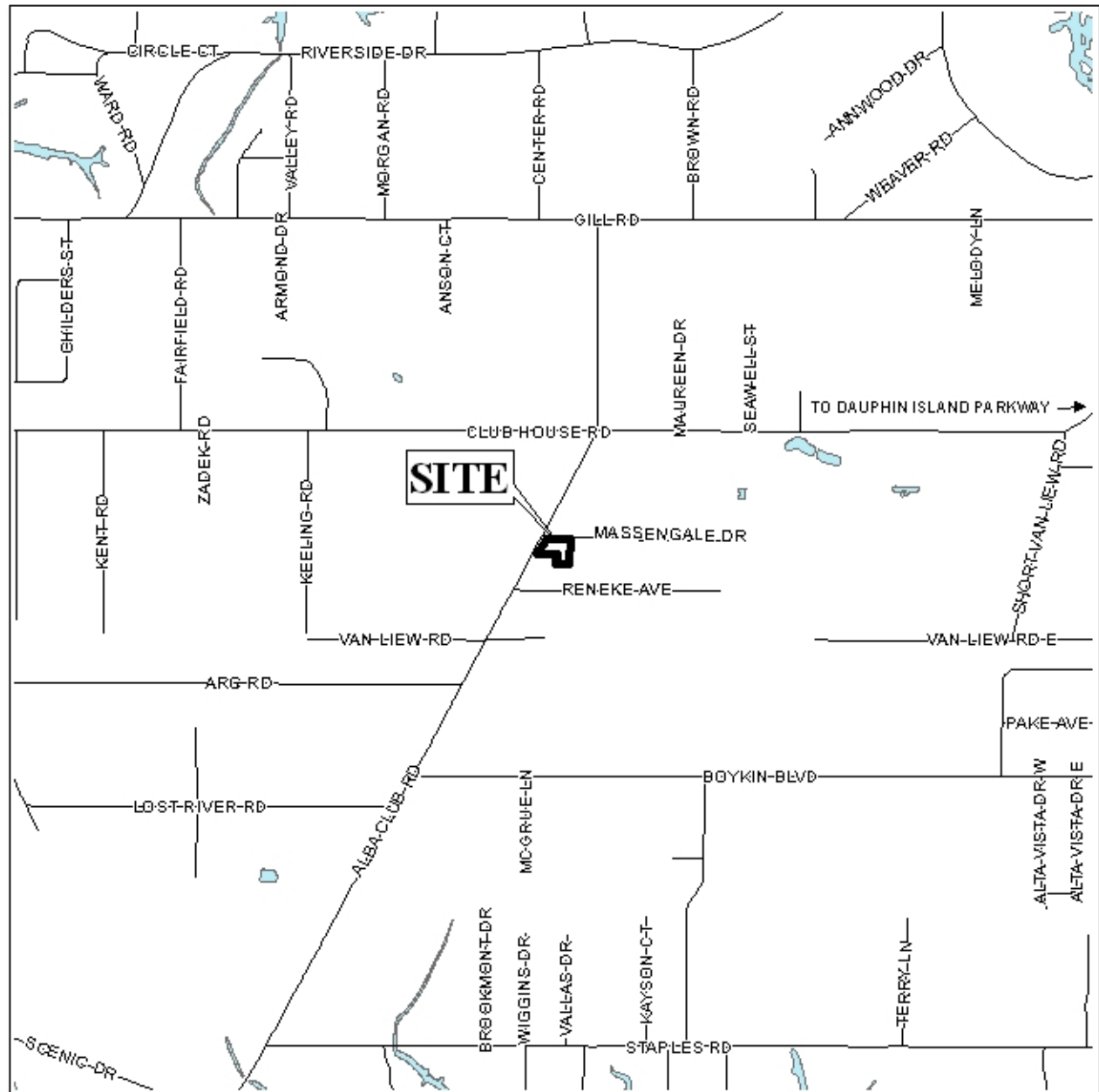
Revised for the July 10th meeting:

The application was heldover from the June 5th meeting to allow the applicant to submit a revised plat showing the current structure with all the proper dimensions or submittal of a plat with a note stating the structure is to be demolished. The applicant did submit the plat with a note stating the current structure is to be demolished.

Based on the preceding, the application is recommended for Tentative Approval subject to the following:

- 1) Placement of a note on the final plat stating that Lot 1 is limited to one curb cut onto Alba Club Road with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) Placement of a note on the final plat stating that Lot 2 is limited to one curb cut onto Massengale Drive with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 3) Labeling of each lot with its size in square feet; and
- 4) placement of a note on the plat stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

LOCATOR MAP



APPLICATION NUMBER 2 DATE July 10, 2008
 APPLICANT Haley Dyer Subdivision
 REQUEST Subdivision



HALEY DYER SUBDIVISION



APPLICATION NUMBER 2 DATE July 10, 2008

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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