

CAMBRIDGE PLACE SUBDIVISION

This is a request for a one-year extension of a previously approved 137-lot subdivision. The subdivision is located on the West side of Eliza Jordan Road North, 3/10 mile ± South of Kelly Road.

This is the fourth extension request since the subdivision was originally approved in 2004, and one unit (47-lots) was recorded in 2005. There have been no changes in conditions in the surrounding area that would affect the subdivision as previously approved.

Since the original approval, the Subdivision Regulations were revised, in April 2008, to require a 120' cul-de-sac right-of-way diameter for closed-end streets without center medians, as per the 2003 International Fire Code requirement. Since the subdivision is proposed to have cul-de-sacs without center medians, and road construction is not underway, the cul-de-sacs should be modified to reflect the 120' right-of-way diameter requirement.

Stormwater and flood control were also not addressed in the original approval. While the site is located in the county, compliance with the City of Mobile stormwater and flood control ordinances will be required. A letter from a licensed engineer certifying compliance with the City's stormwater and flood control ordinances should be submitted to the Mobile County Engineering Department and the Planning Section of Urban Development prior to any land disturbance activities or the issuance of permits/approvals for additional road construction.

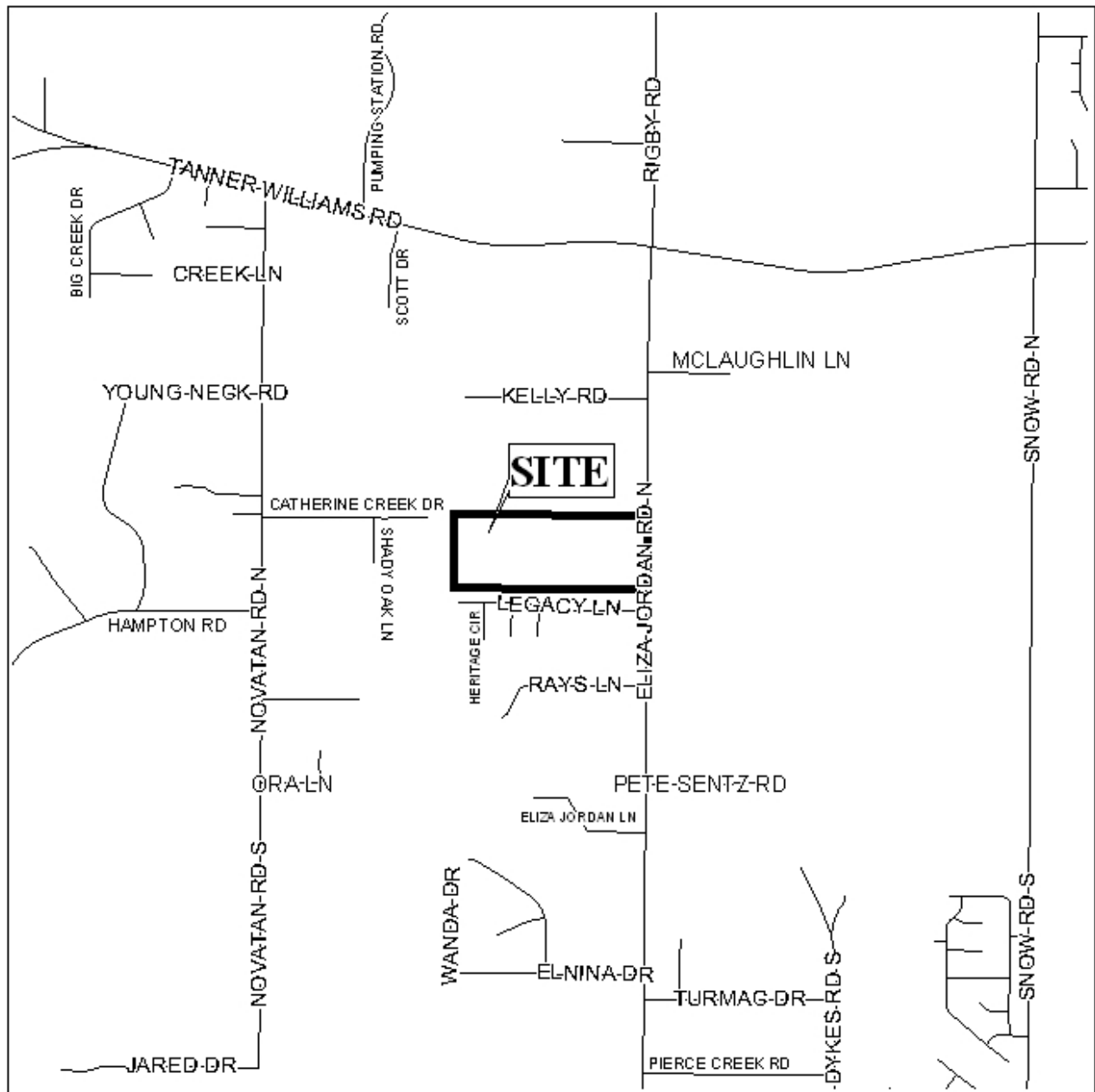
Future extensions are unlikely unless additional phases are recorded.

Based on the preceding, and because street construction is required, it is recommended that this request for extension be approved, subject to the following conditions, in addition to the conditions on the original approval:

- 1) all cul-de-sacs be modified to reflect a 120' right-of-way radius diameter as required by the 2003 International Fire Code; and
- 2) placement of a note on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of a letter from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the commencement of any land disturbing activities, issuance of any permits/approvals for road construction, or signing of the final plat. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

The applicant should further be advised that future extensions may be unlikely.

LOCATOR MAP



APPLICATION NUMBER 2 DATE February 19, 2009

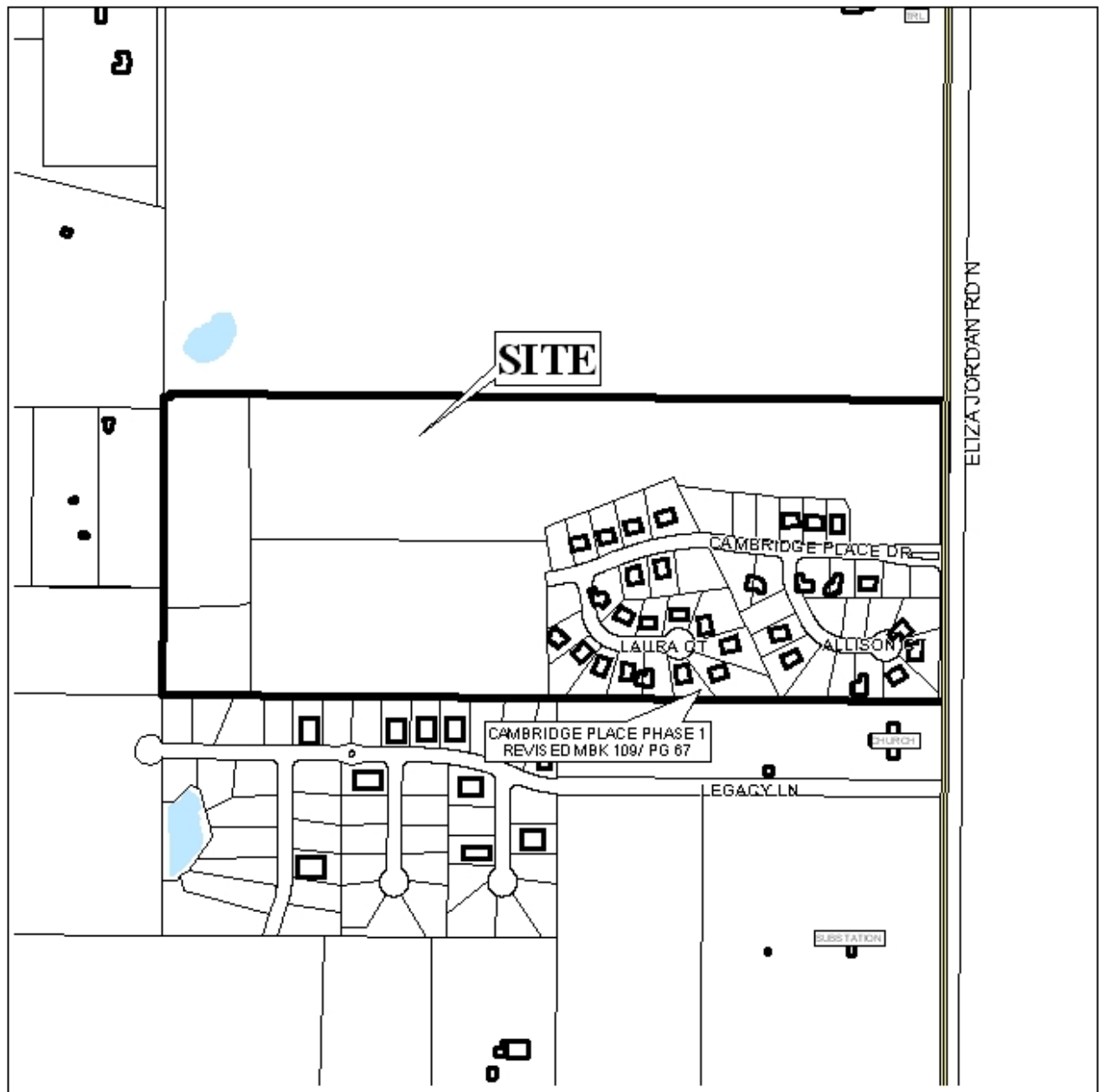
APPLICANT Cambridge Place Subdivision

REQUEST Subdivision



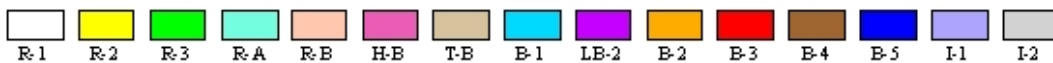
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CAMBRIDGE PLACE SUBDIVISION



APPLICATION NUMBER 2 DATE February 19, 2009

LEGEND



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CAMBRIDGE PLACE SUBDIVISION

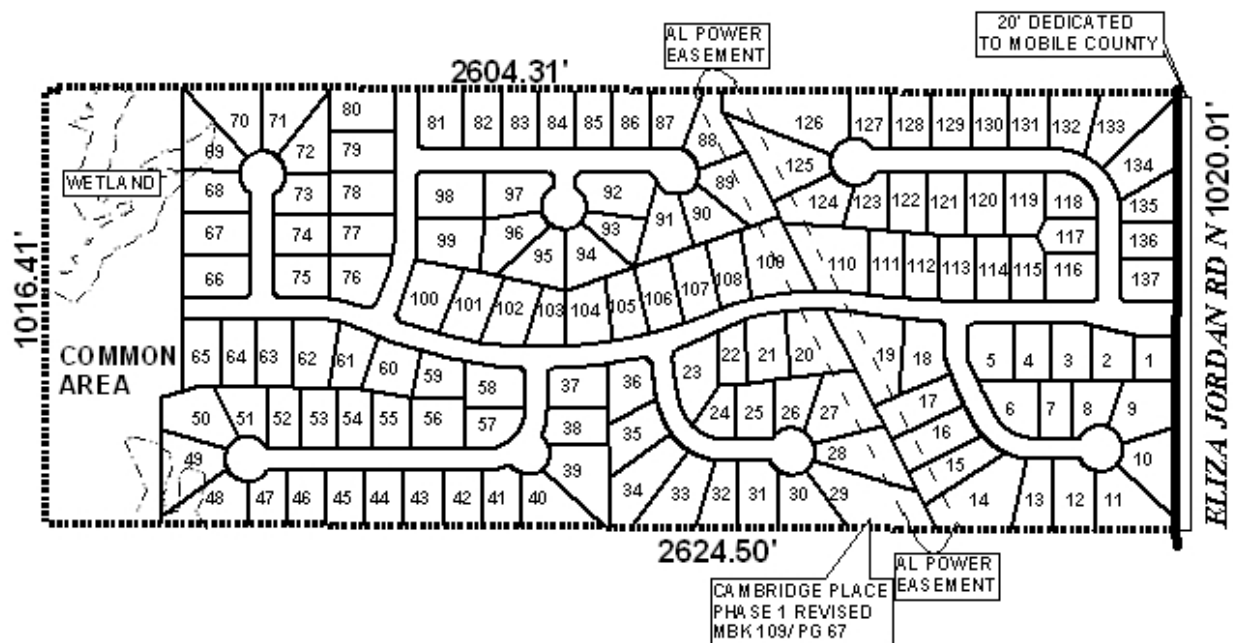


APPLICATION NUMBER 13 DATE February 21, 2008



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DETAIL SITE PLAN



APPLICATION NUMBER 2 DATE February 19, 2009

APPLICANT Cambridge Place Subdivision

REQUEST Subdivision



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