

Country Breeze Subdivision, Resubdivision of Lots 1, 2 and 5, Resubdivision of Lots 1 and 5

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed two-lot, $2.8 \pm$ acre subdivision, which is located at the West side of McCrary Road, $325' \pm$ South of Stone Road, extending to the South side of Stone Road, $200' \pm$ West of McCrary Road. The applicant states that the site is served by public water and sanitary sewer.

The purpose of the application is to move an interior lot line between two existing lots of record (1 and 5), removing a 25-foot drainage access to McCrary Road from Lot 1 that was created by the previous subdivision application that was approved by the Planning Commission at its April 6, 2006 meeting.

The site fronts McCrary Road, which has an 80-foot right-of-way; as required by previous approvals, the plat illustrates a 75-foot setback from the centerline to provide for the building setback from the major street right-of-way. The site also fronts Stone Road, which has a 60-foot right-of-way.

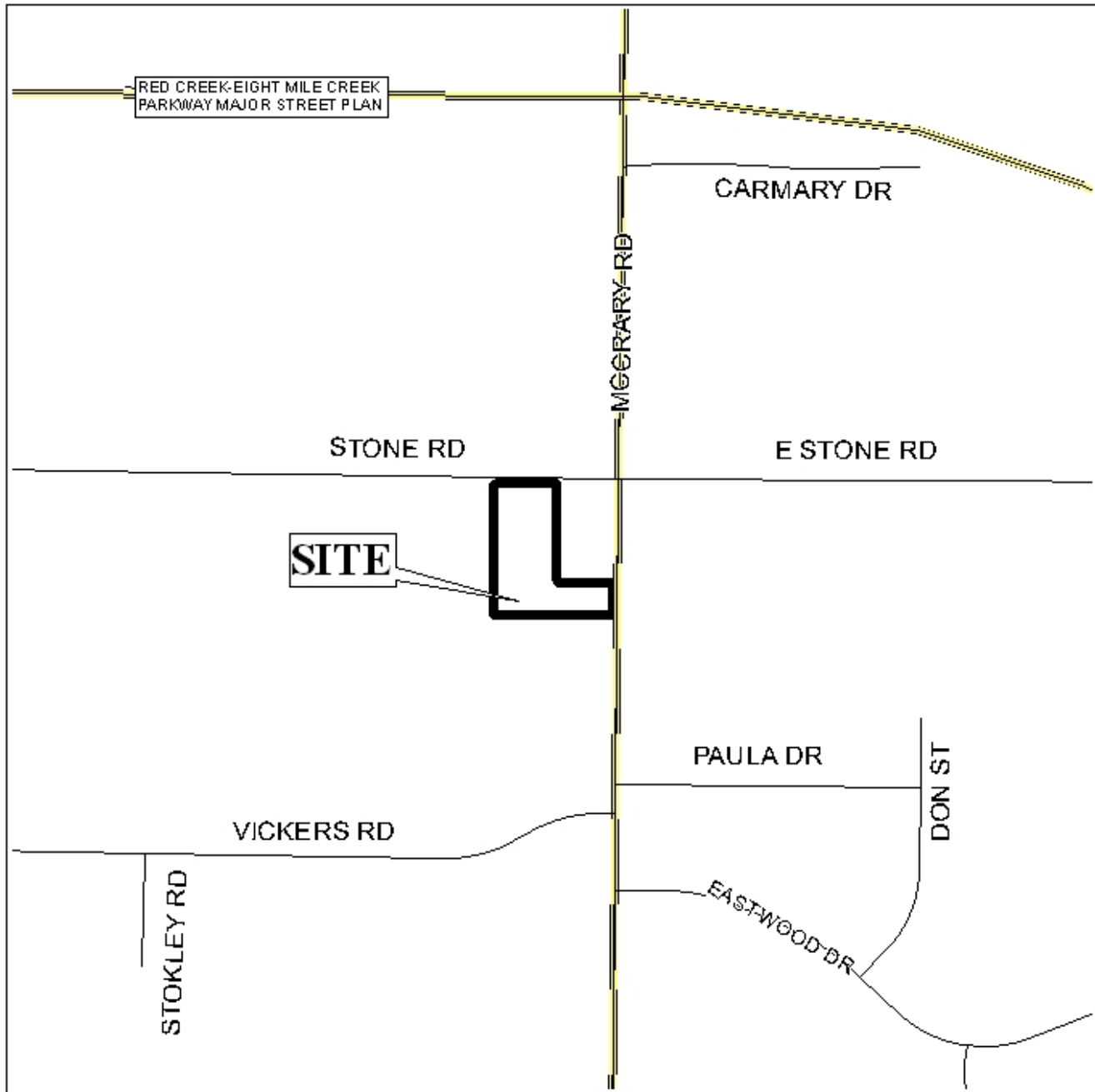
Per the previous approvals, curb-cuts should be limited in order reduce potential vehicular conflicts. A note should be placed on the final plat stating that lot 1A is limited to one curb-cut onto Stone Road, and lot 2A is limited to one curb-cut onto McCrary Road, with the size, location, and design to be approved by the Mobile County Engineering Department.

Stormwater facilities are not depicted on the plat, however, compliance with the City of Mobile stormwater and flood control ordinances will be required. A letter from a licensed engineer certifying compliance with the City's stormwater and flood control ordinances should be submitted to the Mobile County Engineering Department prior to the issuance of permits for site work, new building construction or building expansion.

The site is located in the County, thus any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions: 1) the depiction of the 75-foot setback from the centerline of McCrary Road and the 25-foot setback from Stone Road, as shown on the plat; 2) the placement of a note on the final plat stating that lots 1A and 5A are limited to one curb-cut each, with the size, location, and design of all curb-cuts subject to Mobile County Engineering Department approval; 3) revision of the plat to label each lot with its size in square feet, or provision of a table on the plat depicting the same information; 4) placement of a note on the plat stating that a letter from a licensed engineer certifying compliance with the City's stormwater and flood control ordinances must be submitted to the Mobile County Engineering Department prior to the issuance of permits for site work, new building construction or building expansion; and 5) the placement of a note on the final plat stating that any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

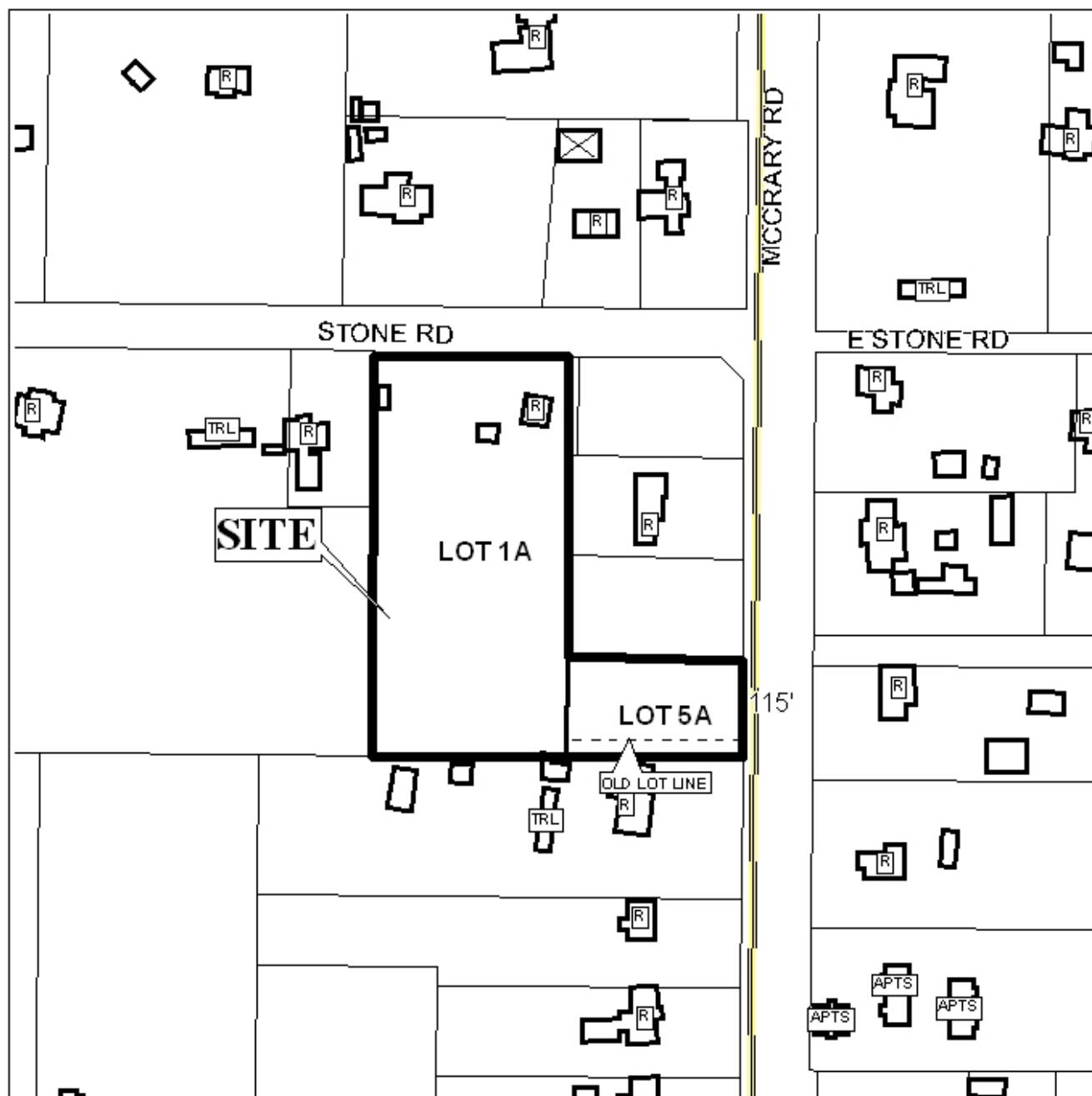
LOCATOR MAP



APPLICATION NUMBER 2 DATE December 7, 2006
APPLICANT Country Breeze Subdivision, Resubdivision of Lots 1, 2, and 5,
Resubdivision of Lots 1 and 5
REQUEST Subdivision



COUNTRY BREEZE SUBDIVISION, RESUBDIVISION OF LOTS 1, 2, AND 5, RESUBDIVISION OF LOTS 1 AND 5



APPLICATION NUMBER 2 DATE December 7, 2006

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	

N

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