

COMBS PLACE SUBDIVISION, **RESUBDIVISION OF LOT 2**

Engineering Comments: Detention will be required for Lots 2 & 3, the detention shall detain the 100 year storm event, with a 2 year release rate onto the downhill properties. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Preservation status is to be given to the 35" Live Oak Tree located on the North side of proposed Lot 2. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWSS Comments: Sewer would require a 700-foot extension. MAWSS has only sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering, Inc.

The plat illustrates the proposed 2 lot, 6.4 ± acre subdivision located on the West side of Grider Road at the West terminus of Rose Hill Lane, in City Council District 7. The applicant states that the subdivision is served by public water and individual septic systems.

The purpose of this application is to create a 2-lot subdivision from one lot of record. It should be noted that the subject lot was created as part of a Planning Commission-approved 2-lot subdivision (Combs Place Subdivision) on December 15, 2005: the original application was for a 21-lot subdivision and the Engineering Department made the following comment:

"Grider Road was not constructed to City of Mobile standards (no curb and gutter and no underground drainage) and the asphalt is in poor condition with a width of only 17 – 17.5 feet". This would not make Grider Road even comply with private road standards. Furthermore, the proposed 21 lots plus the potential for future subdivision of the property to the West may be excessive for the existing roadway condition. Therefore, the application is recommended for denial".

That two-lot subdivision was considered a compromise decision by the Planning Commission, which considered the concerns of neighbors adjacent to the site, the applicant, and the comments from the Engineering Department.

A subsequent application was made in 2006 to subdivide the lot into 4 lots, but the request was denied by the Planning Commission at its August 17, 2006 meeting.

And on April 16, 2009, a 20-lot subdivision was denied for the lot by the Commission for the following reasons:

- 1) *the subdivision would result in lot sizes uncharacteristic to the immediate vicinity, per Section V.D.1. of the Subdivision Regulations; and*
- 2) *Grider Road is a substandard road, even with the proposed improvements, and cannot accommodate additional traffic until it is improved to City standards, thus it does not meet the accessibility requirements of Section I.B.2. of the Subdivision Regulations.*

The site fronts Grider Road, a minor street lacking curb and gutter, with a right-of-way width of 50-feet. According to Section V.B.14. of the Subdivision Regulations, streets lacking curb and gutter should have a right-of-way width of 60 feet; however, since dedication was not required with the approval of Combs Place Subdivision in 2005, it should not be a requirement for this application. The minimum building setback line should be illustrated on the final plat as on the preliminary. As a means of access management, a note should be required on the final plat limiting each lot to one curb cut to Grider Road, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

As proposed, the subdivision will create two lots with each meeting the minimum size requirements of the Subdivision Regulations. The lots are labeled on the plat with their sizes in acres. The plat should be revised to label the lots with their sizes in both acres and square feet, or a table should be furnished on the final plat providing the same information.

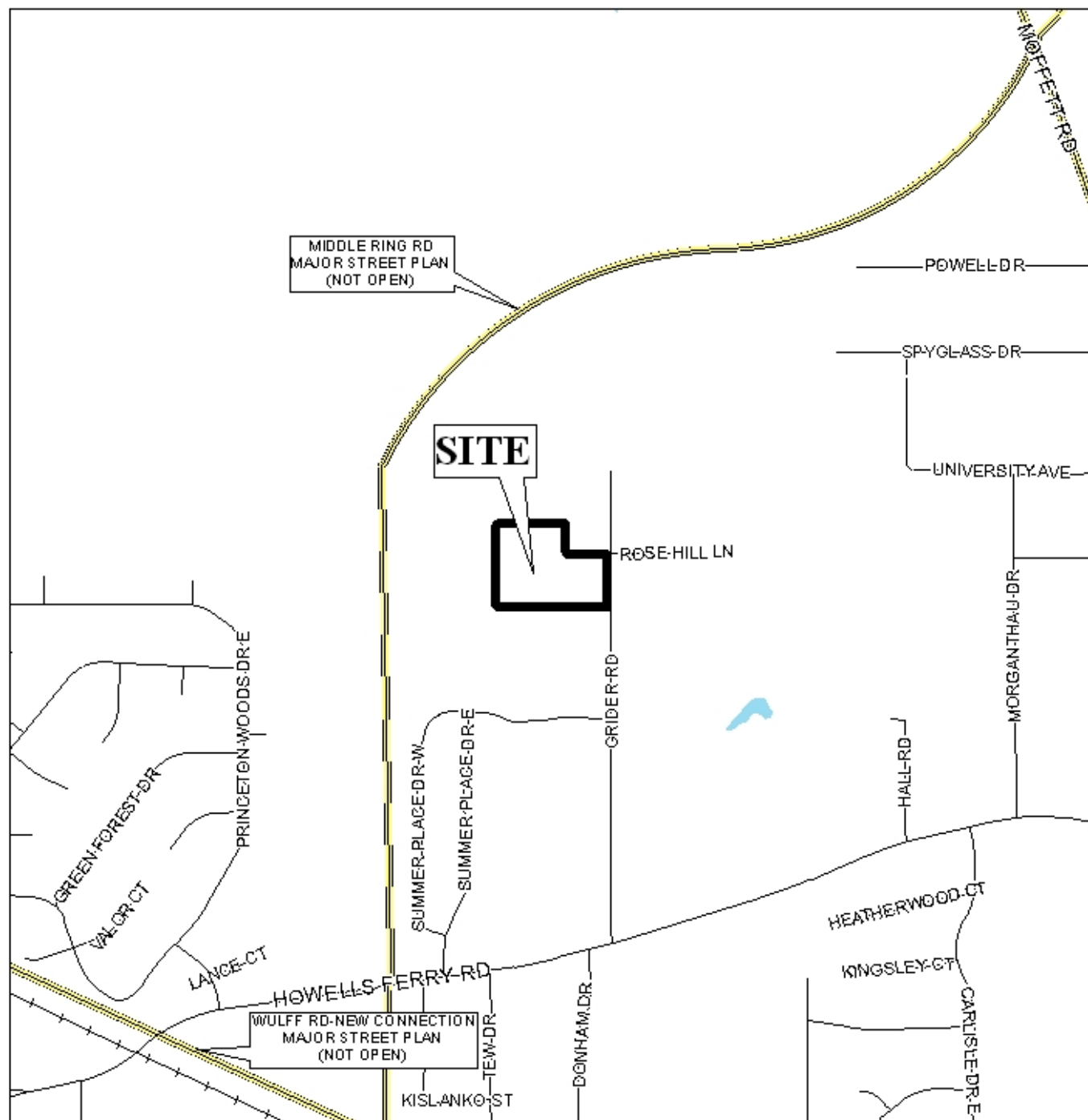
Both lots would exceed the maximum depth-to-width ratio allowed by Section V.D.3. of the Subdivision Regulations; however, such lots are typical of the immediate area and a waiver of that section would be in order. Also, proposed Lot 2 would be a flag lot; however, it would be the modification of a previously approved flag lot. A waiver of Section V.D.1. of the Subdivision Regulations would be in order. Combs Place Subdivision was basically a resubdivision of Lots 2, 3 and 4, Grider Hills Subdivision, which was given final Commission approval in June, 1971. Proposed Lot 3 would simply be the re-establishment of the same boundary lines as Lot 4, Grider Hills Subdivision.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. Approvals must be obtained prior to land disturbance or permitting activities.

With a waiver of Sections V.D.1. and V.D.3. of the Subdivision Regulations, the plat meets the minimum requirements and is recommended for tentative approval, subject to the following conditions:

- 1) Illustration of the 25' minimum building setback line along Grider Road;
- 2) placement of a note on the final plat stating that each lot is limited to one curb cut to Grider Road, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 3) revision of the plat to label each lot with its size in both acres and square feet, or the furnishing of a table on the final plat providing the same information;
- 4) placement of a note on the plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, prior to the issuance of any permits or land disturbance activities;
- 5) subject to the Urban Forestry comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [State Act 61-929 and City Code Chapters 57 and 64]. Preservation status is to be given to the 35" Live Oak Tree located on the North side of proposed Lot 2. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger); and*
- 6) subject to the Engineering comments: *(Detention will be required for Lots 2 & 3, the detention shall detain the 100 year storm event, with a 2 year release rate onto the downhill properties. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit).*

LOCATOR



APPLICATION NUMBER 2 DATE Spetember 16, 2010

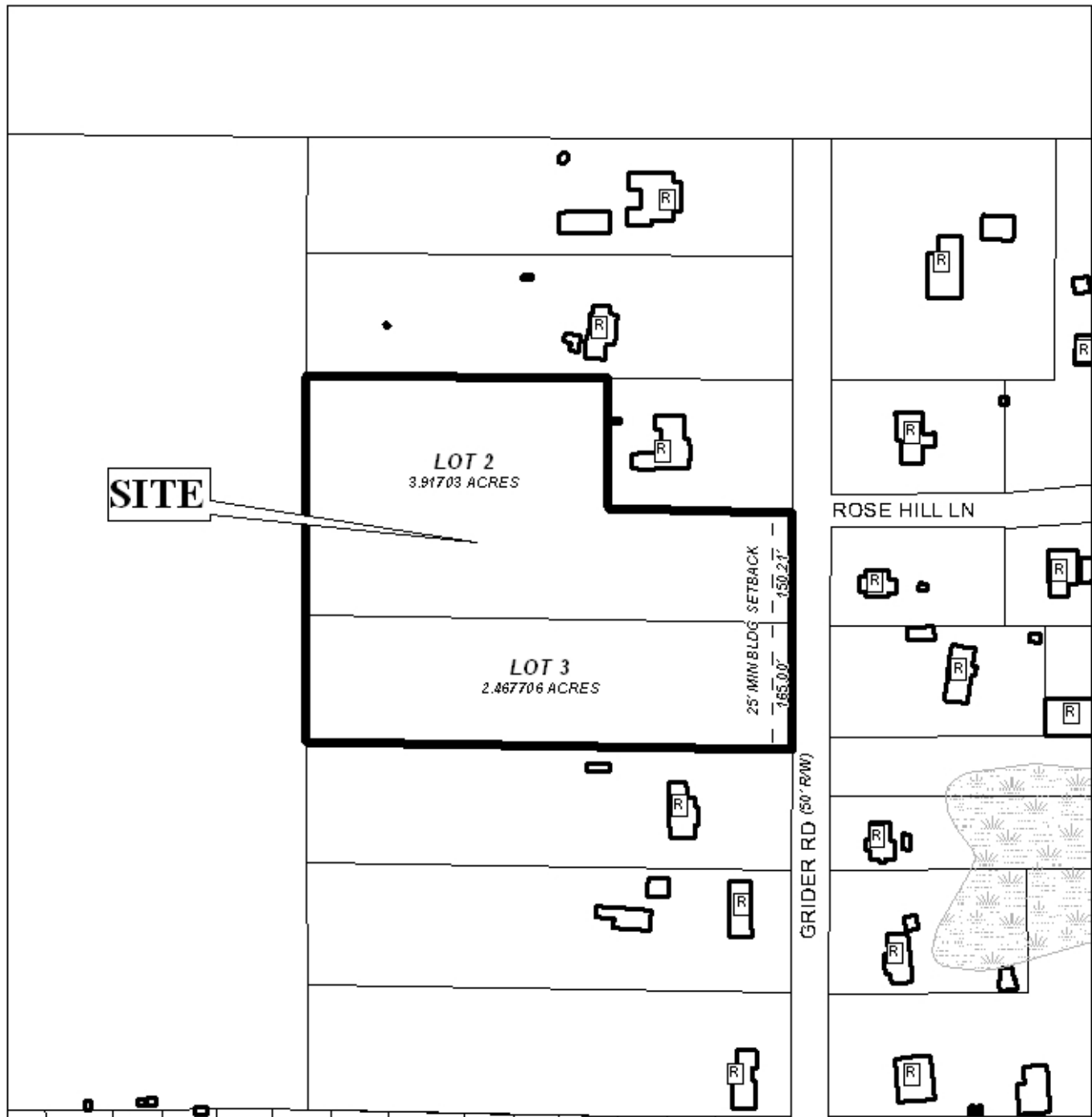
APPLICANT Combs Place Subdivision, Resubdivision of Lot 2

REQUEST Subdivision



NTS

COMBS PLACE SUBDIVISION, RESUBDIVISION OF LOT 2



APPLICATION NUMBER 2 DATE September 16, 2010

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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NTS

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