

CAROL PLANTATION SUBDIVISION, UNIT FIVE, **RESUBDIVISION OF FARM 645**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: No comments.

The preliminary plat illustrates the proposed 2-lot, 6.15± acre subdivision which is located on the West side of Travis Road, 455'± South of Carol Acres Lane. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by Mobile County Water, Sewer, and Fire Protection and individual septic tanks. The purpose of this application is to create two (2) legal lots of record from one (1) metes and bounds parcel.

The proposed Lot A abuts Carol Acres Lane West, a minor street with a 50' right-of-way width. The proposed Lot B fronts Travis Road, a minor street without curb and gutter. As a minor street, a 60' right-of-way is required. The preliminary plat illustrates an 80' right-of-way width for Travis Road. If approved, the right-of-way widths for Lot A and Lot B should be retained on the Final Plat.

It should be noted that the May 25, 2000 Subdivision plat for Carol Acres, Unit Two Revised illustrates access to the proposed Lot A of the subject property.

The preliminary plat illustrates a 25' minimum building setback line where Carol Acres Lane West abuts Lot A. The preliminary plat illustrates a 25' minimum building setback line for the proposed Lot B along Travis Road. If approved, the 25' minimum building setback lines for Lot A and B should be retained on the Final Plat.

In accordance with Section V.D.2. of the Subdivision Regulations, the proposed lots each exceed the 15,000 square foot minimum lot size requirement for lots served by public water and individual septic systems. The lot size information for each lot is depicted in both square feet and in acres on the preliminary plat and should be retained on the Final Plat, if approved.

Due to the limited frontage of both proposed lots, future subdivision to create additional lots should be prohibited until such time as additional frontage on improved public or private street is proved. A note stating such should be placed on the Final Plat.

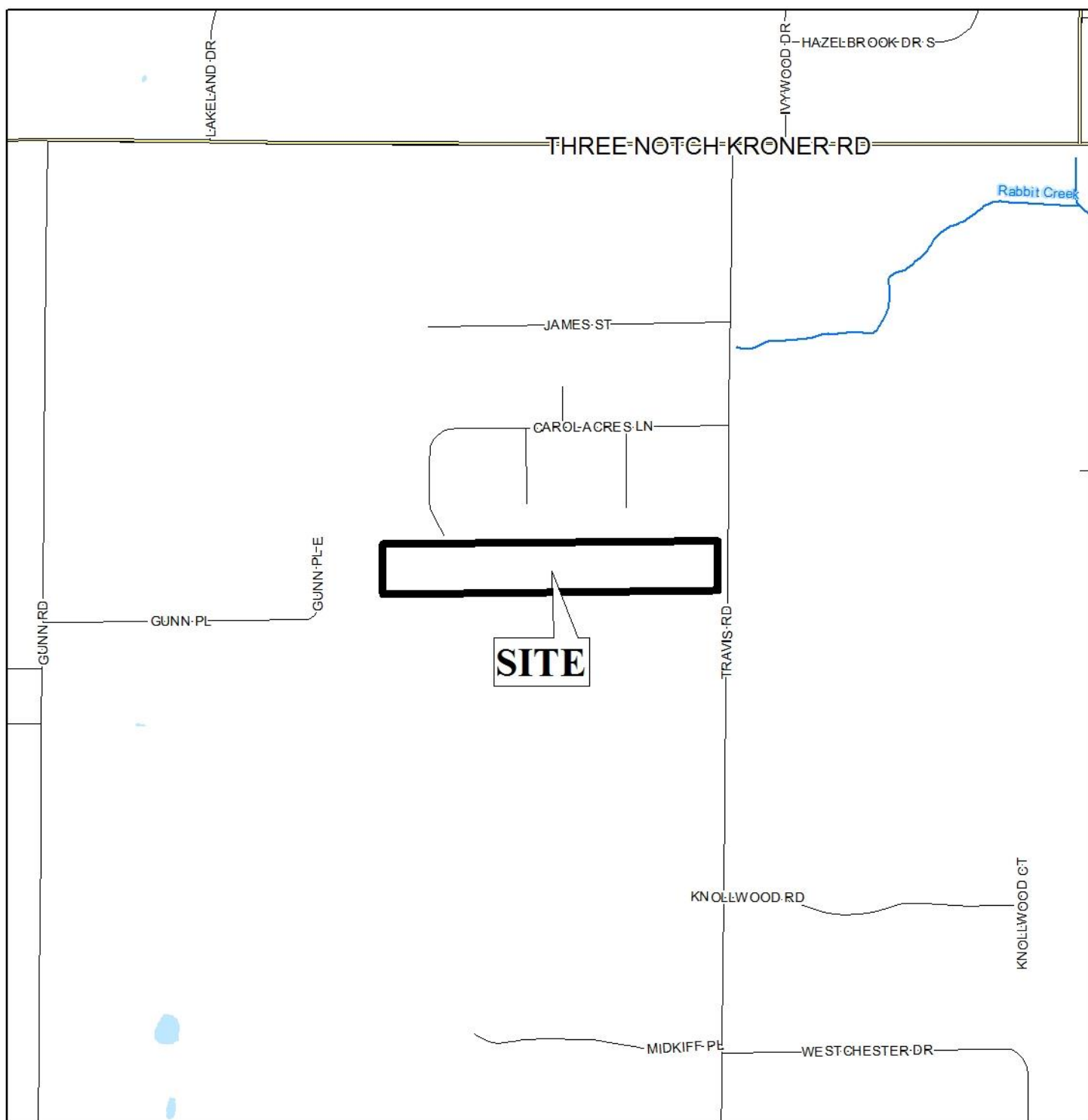
As a means of access management, a note should be placed on the Final Plat, if approved, stating that Lot A and Lot B are limited to one curb cut each, with the size, design and location of the curb cut to be approved by Mobile County Engineering and conform to AASHTO standards.

This site is located in the County; therefore, any lots which are developed commercially and adjoin residentially-developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note should be placed on the Final Plat, if approved.

Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Retention of the 80' right-of-way width to Travis Road;
- 2) Retention of the 50' right-of-way width to Carol Acres Lane West;
- 3) Retention of 25' minimum building setback line along Travis Road for Lot B;
- 4) Retention of 25' minimum building setback line for Lot A where the lot abuts Carol Acres Lane West;
- 5) Retention of the lot size information in both square and in acres on the Final Plat;
- 6) Placement of a note stating that future subdivision to create additional lots is prohibited until such time as additional frontage on improved public or private street is proved;
- 7) Placement of a note on the Final Plat stating that Lot A and Lot B are limited to one curb cut each, with the size, design and location of the curb-cut to be approved by Mobile County Engineering and conform to AASHTO standards;
- 8) Placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 9) Compliance with Engineering Comments and placement as a note on the Final Plat: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.); and*
- 10) Compliance with Fire Comment: *(Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).*

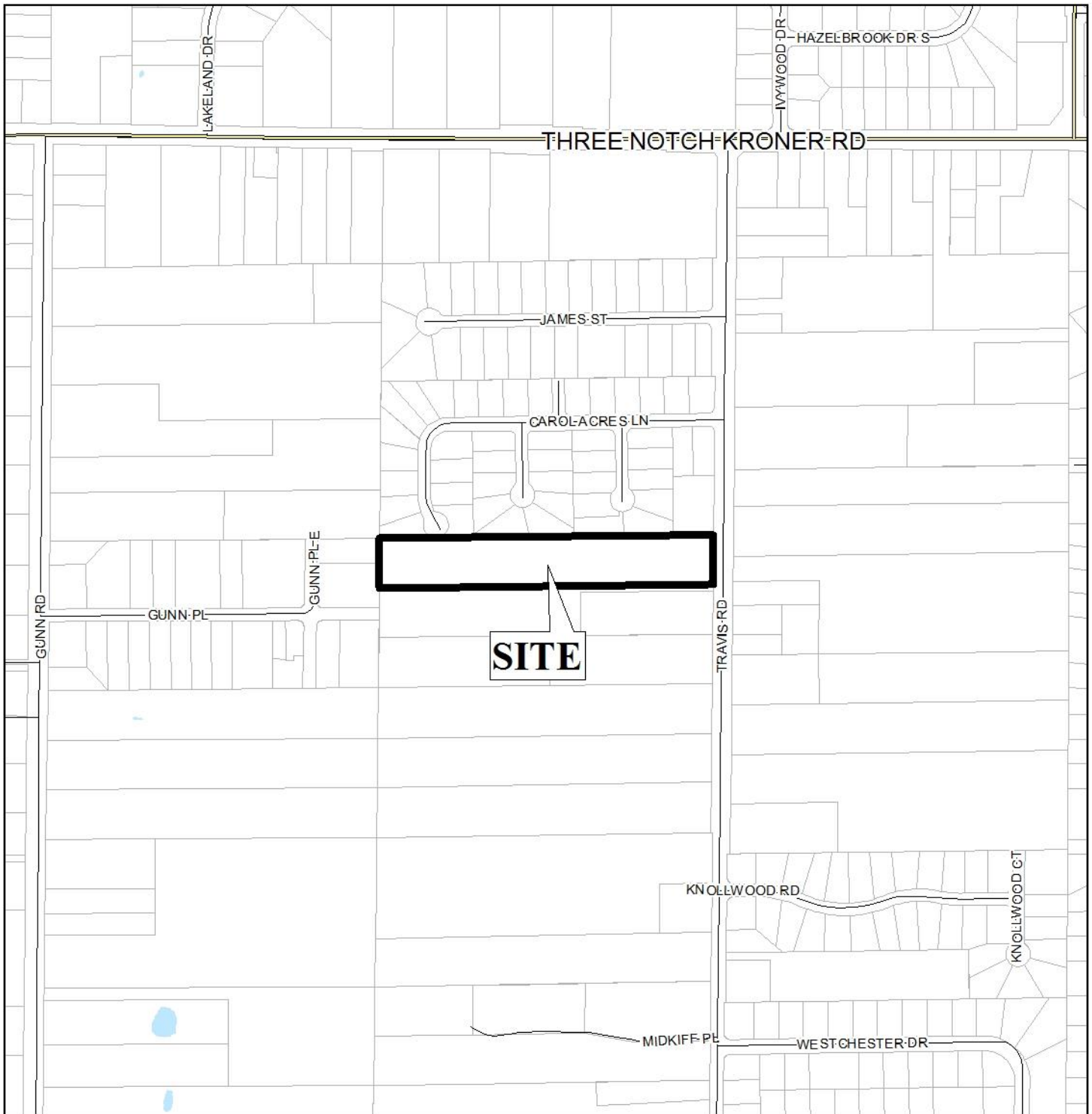
LOCATOR MAP



APPLICATION NUMBER 2 DATE March 15, 2018
APPLICANT Carol Plantation Subdivision, Unit Five, Resubdivision of Farm 645
REQUEST Subdivision



LOCATOR ZONING MAP



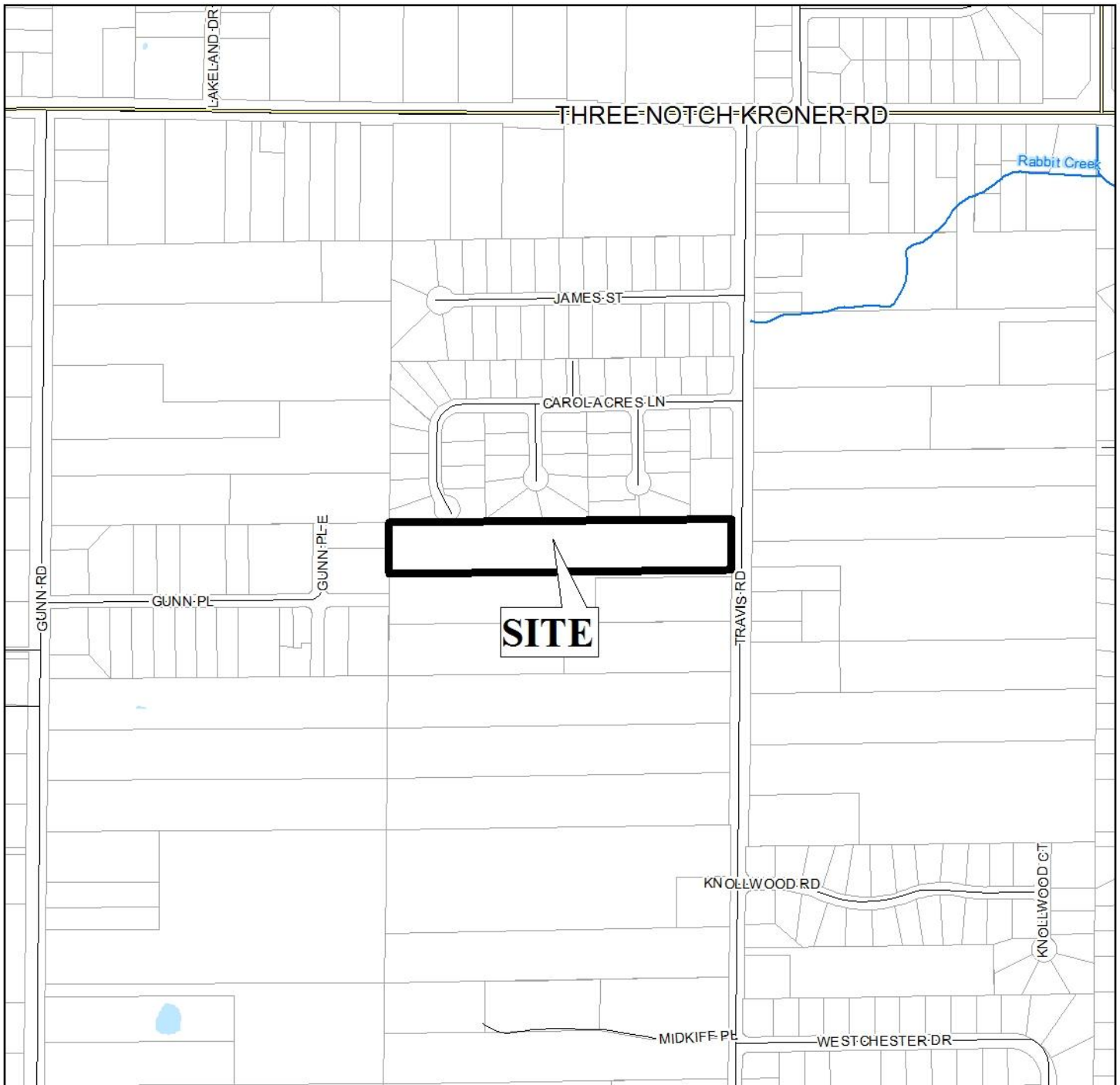
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REQUEST Subdivision



FLUM LOCATOR MAP



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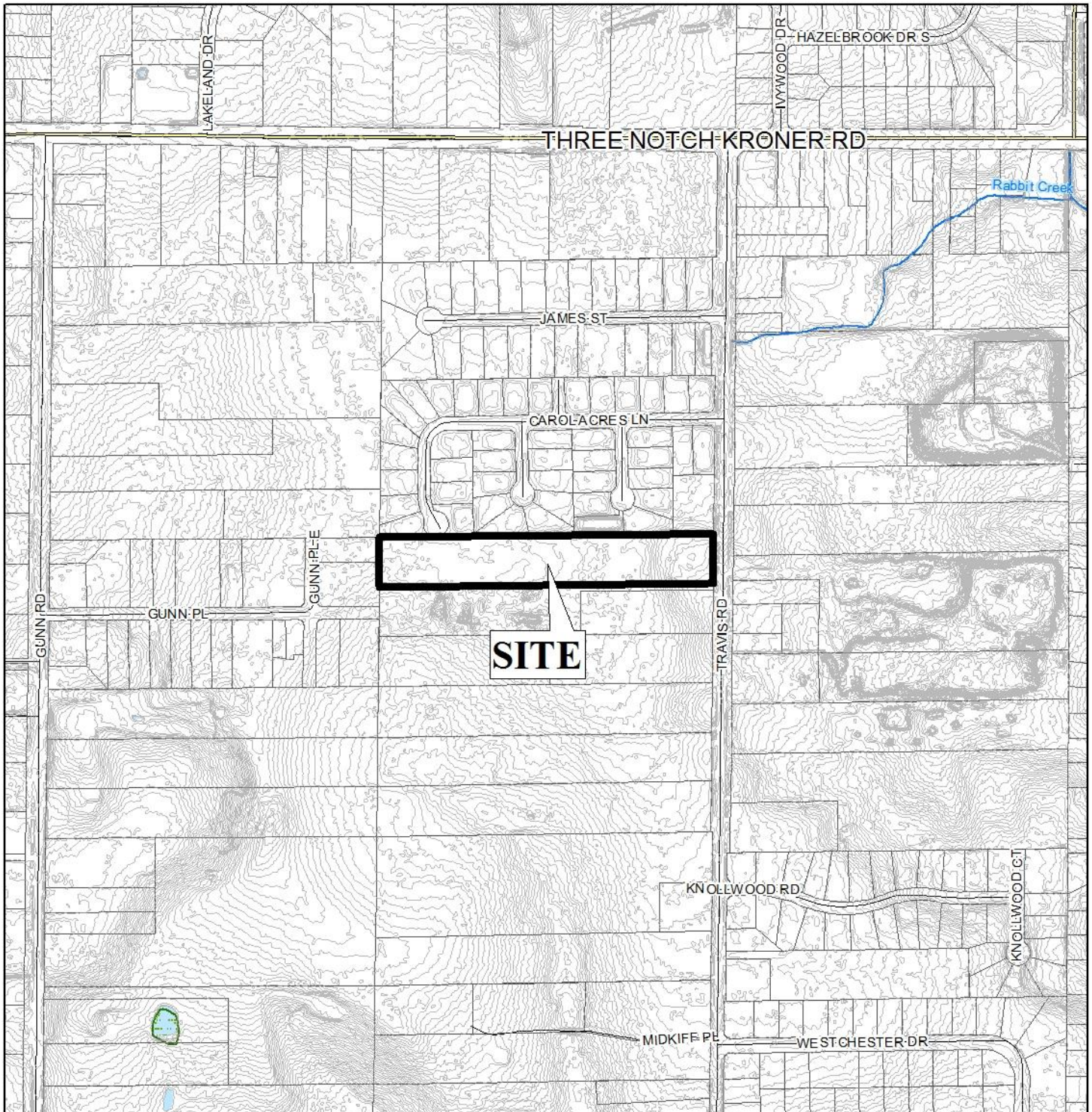
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Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



ENVIRONMENTAL LOCATOR MAP



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



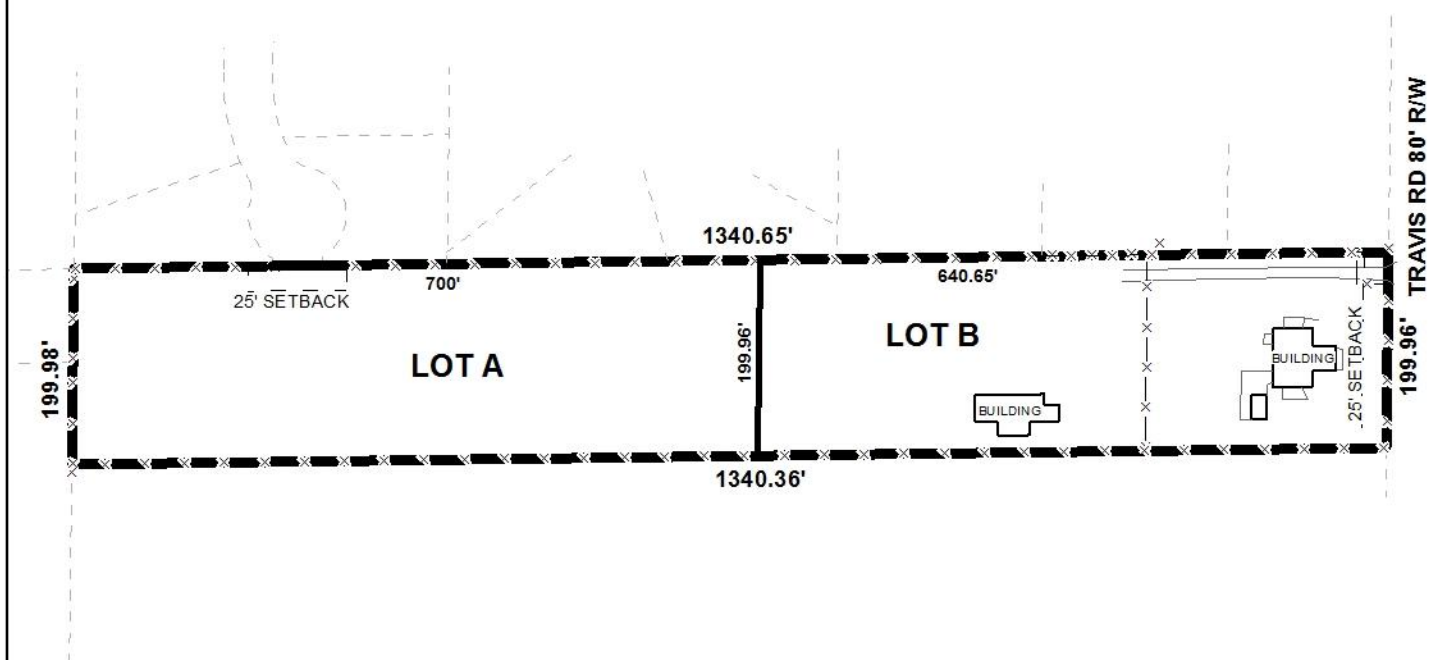
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DETAIL SITE PLAN



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