

**PLANNED UNIT DEVELOPMENT  
& SUBDIVISION STAFF REPORT****Date: June 2, 2016****DEVELOPMENT NAME**

Azalea Oaks Center Subdivision

**SUBDIVISION NAME**

Azalea Oaks Center Subdivision

**LOCATION**3945 and 3949 Government Boulevard  
(Southeast corner of Government Boulevard and Azalea Road)**CITY COUNCIL  
DISTRICT**

District 4

**AREA OF PROPERTY**2 Lots / 5.9 ± Acres (Subdivision)  
1 Lot / 2.8 ± Acres (PUD)**CONTEMPLATED USE**

Planned Unit Development Approval to allow multiple buildings on a single building site and Subdivision Approval to create 2 legal lots of record from several existing lots.

**TIME SCHEDULE  
FOR DEVELOPMENT**

Immediately.

**ENGINEERING  
COMMENTS****Subdivision**

The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Review and revise the written legal description and/or labels for the northeastern property line. Check the distances on each side of the POB.
- C. Provide and label the monument set or found at each subdivision corner.
- D. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- E. Provide the Surveyor's Certificate and Signature.
- F. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- G. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17,

Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.

- H. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- I. Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures.
- J. After FINAL PLAT review by the Engineering Dept. provide a copy of the Final Plat along with the original and any review copies when submitting for City Engineer signature.

### **Planned Unit Development**

- 1. Due to the proposed subdivision, the existing structure may need to be assigned a different 911 address. Please contact the Engineering Department (208-6216) to discuss the options.

#### **ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:**

- 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
- 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
- 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
- 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

### **TRAFFIC ENGINEERING**

#### **COMMENTS**

Government Boulevard (U.S. Highway 90) is an ALDOT maintained roadway. Lot 1 is limited to no more than two curb cuts to the Service Road, with the size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Lot 1 and Lot 2 are limited to one shared curb cut on Azalea Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO

standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

## **URBAN FORESTRY**

### **COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

## **FIRE DEPARTMENT**

### **COMMENTS**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).

## **MAWSS COMMENTS**

MAWSS has water and sewer services available, but a Capacity Assurance application for **additional** sewer service has not been applied for. MAWSS cannot guarantee **additional** sewer service until the Capacity application is approved by Volkert Engineering Inc.

## **REMARKS**

The applicant is requesting Planned Unit Development Approval to allow multiple buildings on a single building site and Subdivision Approval to create 2 legal lots of record from several existing lots.

This application was brought before the Planning Commission at its July 3, 2014 meeting. The application was approved, however the applicant states that due to unforeseen circumstances, the project stalled and the PUD expired. While the site plan is similar to the previously approved plan there appears to be some changes.

The applicant proposes to construct a 6,600 sq. ft. commercial building to contain a convenience store, office, and restaurant. The site will also consist of eight (8) pump islands covered by a 63.5' by 142' (9017 sq. ft.) canopy, one (1) pump island for marine fuel covered by a 31' by 70' (2170 sq. ft.) canopy, a drive-thru car wash facility, and a 26-stall vacuum area partially covered by an awning. It should be pointed out that the applicant plans to construct this development in two phases. Phase 1, the car wash and vacuum stalls will be constructed initially, along with most of the infrastructure, frontages trees and landscaping. Phase 2, will consist of the remainder of the perimeter trees for Lot 2, which will be planted at the time of development of Lot 2, and the construction of the convenience store and all of the fueling appurtenances would then take place within one year of the completion of the initial phase of the project.

The entire site appears to be depicted as a Suburban Corridor Development Area, per the recently adopted Map for Mobile Plan. The intent of a Suburban Corridor Development Area is to allow for:

- Accommodation of all users: automobile, bicycle, pedestrian and transit
- Greater connectivity to surrounding neighborhoods
- Development concentrated in centers rather than in strips along the corridor
- Eventual increase in density with residential above retail and services
- Increased streetscaping

- Improve traffic flow

It should be noted that the Map for Mobile Plan is meant to serve as a general guide, not a detailed lot and district plan or mandate for development. Moreover, the Plan allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and zoning classification.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is **site plan specific**, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The purpose of the subdivision request for this site is to create 2 legal lots of record from several existing legal lots. The preliminary plat illustrates the proposed  $5.9 \pm$  acre subdivision which is located at the Southeast corner of Government Boulevard and Azalea Road. The site is located in Council District 4 and the applicant states that the subdivision is served by city water and sanitary sewer.

In accordance to the Subdivision Regulations, both proposed lots appear to exceed the minimum size requirements. The lot sizes in square feet and acres are illustrated on the preliminary plat; however they are not depicted on the site plan. The lot size in square feet and acres should be retained on the Final Plat, and a revised site plan depicting the square feet and acres for both lots should be provided.

The site fronts Government Boulevard and Azalea Road. Government Boulevard is a major street according to the Major Street Plan component of the Comprehensive Plan, with a compliant 250' right-of-way. Azalea Road is a minor street with curb and gutter and a compliant 70' right-of-way. It should be pointed out that there is a small area where the right-of-way for Azalea Road is only 59.90'. Due to previous dedications along Azalea Road, the dedication at this location to provide the necessary right-of-way to achieve 70' should be required.

The 25' minimum building setback line and lot size information should also be revised on the Final Plat and site plan, if approved, to reflect dedication. Revisions to the site plan to depict the right-of-way widths for both Azalea Road and Government Boulevard will also be required.

As a means of access management, the site should be limited to the curb-cuts as recommended in the Traffic Engineering comments. Government Boulevard (U.S. Highway 90) is an ALDOT maintained roadway. Lot 1 is limited to no more than two curb cuts to the Service Road, with the size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Lot 1 and Lot 2 are limited to one shared curb cut on Azalea Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

All proposed parking areas for the proposed Lot 1 also appear to be compliant in terms of travel aisle width, parking stall dimensions, and number of spaces (55); however, it should be pointed out that the proposed parking spaces around the proposed commercial building do not appear to contain any bumper stops or curbing. Any revised site plan or building plan should comply with Section 64-6. of the Zoning Ordinance, in addition to design compliance with the accessibility requirements of the applicable building code section at the time of permitting.

A sidewalk does appear to be shown along the frontage of the Lot 1 site, but no sidewalk is depicted along Lot 2. A sidewalk will be required at the time of development for Lot 2.

Dumpster locations are shown on the site plan. The locations should be retained on any revised PUD site plan, along with a note acknowledging compliance with Section 64-4.D.9. of the Zoning Ordinance regarding dumpster enclosures and sanitary sewer connections.

The site plan provides landscaping information and illustrates tree plantings, however Lot 1 appears to be short of the required number of frontage trees. Staff calculates that 8 frontage trees will be required along the Azalea Road frontage of Lot 1, 10 frontage trees along the Government Boulevard frontage, and 13 overstory and understory trees for the remaining parking and perimeter requirements, for a total of 31 trees for the Lot 1 site, of which 23 must be overstory trees (*the existing live oak that will be retained on the Lot 1 site will provide 6 credits that can be applied to satisfy a portion of the perimeter and parking tree requirements, thus only 25 new trees will be required*). Frontage trees must typically be placed according to the respective frontage, thus the proposed location of the underground fuel tanks along the Azalea Road right-of-way may require reconsideration in order to accommodate the required frontage trees.

The proposed Lot 1 is not adjacent to residential uses and, therefore, is not subject to the residential buffer requirements of the Zoning Ordinance. It is important to note that the proposed Lot 2 abuts residentially zoned property, thus buffer compliance will be required at the time of its development.

The applicant should also be aware that the site plan depicts future shared access between Lot 1 and 2, therefore a new PUD application to amend the current PUD will be required prior to development of Lot 2; buffer requirements will also be included at that time.

The site plan depicts an 800 square foot restaurant within the convenience store. There appears to be an associated drive-thru lane for the restaurant, but no depiction or note of an order station or pick up window. The site plan should be revised to reflect full compliance with the drive-thru requirements of Section 64-4.F. of the Zoning Ordinance.

In regards to the proposed car wash, full compliance with the requirements of the Zoning Ordinance will be necessary. These requirements include: 1) all water run-off must be directed to the sanitary sewer system, 2) an oil separator must be provided, and 3) vehicles must be screened from view with at 3'-5' evergreen hedge and/or landscaped berm.

Lighting is not illustrated on the site plan. Any new lighting on the site will have to comply with the requirements of Sections 64-4.A.2., 64-6.A.3.c., and 64-6.A.8. of the Zoning Ordinance. A note reflecting this requirement should appear on the site plan, and photometric plans will be required at the time of land disturbance permitting.

It should be pointed out that no signage information was provided for the proposed Lot 1 development. Signage allowances vary depending upon if the site is considered a single tenant or a multi-tenant site. If a pylon, monument or other type of permanent freestanding sign is anticipated, it should be depicted on the site plan and conform with any height and locational requirements of Section 64-11. of the Zoning Ordinance.

There are several corrections necessary regarding the tables on the site plan. Under tree requirements there should be 18 frontage heritage trees required. There should be 55 parking spaces listed instead of 49 under parking area. There should be 3 total parking understory trees under total tree requirements and there are 26 vacuum island stalls shown instead of the 25 listed under parking requirements. The site plan and tables should be revised to accurately reflect the site.

Finally, regarding the proposal as it relates to the Map for Mobile, the development of the site with sidewalks and landscaping will improve what has been a vacant site since at least 2006. The proposed auto-oriented development, with a carwash and gas pumps, may not be conducive to mixed-use development that includes residential uses.

## **RECOMMENDATION**

**Subdivision:** Based upon the preceding, the application is recommended for tentative approval, subject to the following conditions:

- 1) Dedication of right-of-way along Azalea Road sufficient to provide a 70-foot wide right-of-way;
- 2) Revision of the lot size information and 25' minimum setback line on the Final Plat to reflect dedication;
- 3) Retention of the right-of-way widths for all streets;
- 4) Compliance with Traffic Engineering Comments and placement of a note on the Final Plat stating: *"Government Boulevard (U.S. Highway 90) is an ALDOT maintained roadway. Lot 1 is limited to two curb cuts to the Service Road, with the size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Lot 1 and Lot 2 are limited to one shared curb cut on Azalea Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance".;*
- 5) Compliance with Engineering comments: *"The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A. Compliance with Engineering Comments: "Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements,*

written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Review and revise the written legal description and/or labels for the northeastern property line. Check the distances on each side of the POB. C. Provide and label the monument set or found at each subdivision corner. D. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. E. Provide the Surveyor's Certificate and Signature. F. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. G. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. H. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. I. Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures. J. After FINAL PLAT review by the Engineering Dept. provide a copy of the Final Plat along with the original and any review copies when submitting for City Engineer signature..”;

- 6) Compliance with Urban Forestry Comments: “Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).”;
- 7) Compliance with Fire Department Comments: “All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).”;
- 8) Submission of a revised PUD site plan prior to the signing of the Final Plat; and
- 9) Completion of the Subdivision process prior to any request for land disturbance or building-related permits

**Planned Unit Development:** The application is recommended for approval, subject to the following conditions:

- 1) Dedication of right-of-way along Azalea Road sufficient to provide a 70-foot wide right-of-way;
- 2) Revision of the lot size information and 25’ minimum setback line on the site plan to reflect dedication;
- 3) Revision of the site plan to illustrate curbing and/or bumper stops for all proposed parking spaces;
- 4) Revision of the site plan to depict full compliance with the drive-thru requirements of Section 64-4.F. of the Zoning Ordinance;
- 5) Retention of the sidewalk and dumpsters on the site plan, along with a note stating compliance with Section 64-4.D.9. of the Zoning Ordinance regarding dumpster compliance;
- 6) Revision of the site plan to ensure that Lot 1 fully complies with the requirements of Section 64-4.E. of the Zoning Ordinance, including the provision of 10 frontage trees along Government Boulevard and the provision of 8 frontage trees along Azalea Road,

- with adjustment of the site plan to move underground fuel tanks if necessary to accommodate the frontage trees;
- 7) Placement of a note on the site plan stating that the carwash will fully comply with the requirements of the Zoning Ordinance;
  - 8) Placement of a note on the site plan stating that development of the proposed Lot 2 will require a new PUD application to the Planning Commission, at the time of development;
  - 9) Compliance with Traffic Engineering Comments and placement of a note on the site plan stating: *“Government Boulevard (U.S. Highway 90) is an ALDOT maintained roadway. Lot 1 is limited to two curb cuts to the Service Road, with the size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Lot 1 and Lot 2 are limited to one shared curb cut on Azalea Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City’s Zoning Ordinance”.*;
  - 10) Compliance with Engineering Comments: *“Due to the proposed subdivision, the existing structure may need to be assigned a different 911 address. Please contact the Engineering Department (208-6216) to discuss the options. ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.*;
  - 11) Compliance with Urban Forestry Comments: *“Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).”*;
  - 12) Compliance with Fire Department Comments: *“All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).”*;
  - 13) Submission of a revised PUD site plan prior to the signing of the Final Plat;
  - 14) Completion of the Subdivision process prior to any request for land disturbance or building-related permits;



- 15) Submission of a photometric site plan at the time of permitting, in compliance with the requirements of Sections 64-4.A.2., 64-6.A.3.c., and 64-6.A.8. of the Zoning Ordinance; and
- 16) Full compliance with all other municipal codes and ordinances.

***Revised for the July 7<sup>th</sup> meeting:***

*This application was heldover from the June 2<sup>nd</sup> meeting to allow the applicant to meet with the neighborhood. Since the last Planning Commission meeting the applicant has met with staff on several occasions, including a pre-development meeting with residents from the Sky Ranch Community Group.*

*One of the main concerns from both the residents as well as the developers was tree planting and landscaping requirements. The residents have expressed much concern regarding the aesthetics and layout of the site. The community has requested that the applicant plant palm trees, lots of landscaping, and colorful flowers to add a vibrant and charismatic appeal to the area. However, the proposed site is surrounded by power lines and based on a previous agreement established by the City of Mobile and the Alabama Power Company, all trees that are planted under power lines or within 15' of power lines must to be Live Oak; thus making the desired tree requests from the residents difficult to convey. Moreover, the Zoning Ordinance requires overstory frontage trees to be planted along the frontage of all developments at a quantity equal to one tree for every 30 linear feet of street frontage; requiring 18 frontage trees for the proposed site.*

*Based on the previous constraints the applicant is asking for relief from the tree planting requirement to include the species of trees and the placement of the trees. The applicant has received approval from the Alabama Power Company to plant palm trees as long as they will not exceed 15'- 20' in height and are not planted next to a pole, guy wire or any underground transformers. Staff does not have a problem with the relocation of frontage trees throughout the site because the applicant states that the "interior of the site will also be planted with more overstory trees than required by the ordinance in order to further offset the frontage deficit". By asking for relief regarding tree planting and landscaping requirements through the Planned Unit Development, if approved, the applicant will be able to accommodate the request of the neighborhood.*

*In addition to the tree planting and landscaping changes, the site plan has been revised since the previous meeting depicting some minor changes to the site. The size of the tunnel for the car wash has increased from 2,880 square feet to 4,420 square feet; thus causing the drive aisle to the car wash tunnel to be altered from the original design.*

*The underground storage tank location has been relocated from within the frontage area of the site to a closer proximity to the fuel dispensers.*

*The drive-through for the proposed restaurant now indicates notes regarding the menu board and pickup window along with what appears to be sufficient queuing spaces.*

*It should be pointed out that changes have been made to the site plan and preliminary plat to depict the small area where the right-of-way for Azalea Road is only 59.90' as being dedicated to the city for widening to provide the necessary right-of-way to achieve 70'.*

*No signage information was provided for the proposed Lot 1 development; however there is a note on the site plan that states "signage will be determined at a later date. Sign package shall comply with Section 64-11 of the Zoning Ordinance."*

*A sidewalk is still not depicted along Lot 2. A sidewalk will be required at the time of development for Lot 2.*

*It should be pointed out the preliminary plat states the total size of Lot 1 is 122,100 square feet while the site plan states that the total lot size of Lot 1 is 121,882. The Final Plat and/ or the site plan should be revised to reflect the same number of total square footage for Lot 1.*

**Subdivision:** *Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:*

- 1) Revision of the labeling of the lot size in square feet and acres on the Final Plat or the site plan to reflect the same number of total square footage for Lot 1;*
- 2) Retention of 25' minimum building setback line on the Final Plat;*
- 3) Retention of the right-of-way widths for all streets;*
- 4) Retention of the dedication of right-of-way along Azalea Road sufficient to provide a 70-foot wide right-of-way;*
- 5) Placement of a note on the Final Plat stating Lot 1 is limited to no more than two curb cuts to the Service Road, with the size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Lot 1 and Lot 2 are limited to one shared curb cut on Azalea Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;*
- 6) Compliance with Engineering comments: "The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:  
A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Review and revise the written legal description and/or labels for the northeastern property line. Check the distances on each side of the POB. C. Provide and label the monument set or found at each subdivision corner. D. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. E. Provide the Surveyor's Certificate and Signature. F. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. G. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. H. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements)*

*will be required prior to the issuance of a Land Disturbance permit. I. Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures. J. After FINAL PLAT review by the Engineering Dept. provide a copy of the Final Plat along with the original and any review copies when submitting for City Engineer signature.”;*

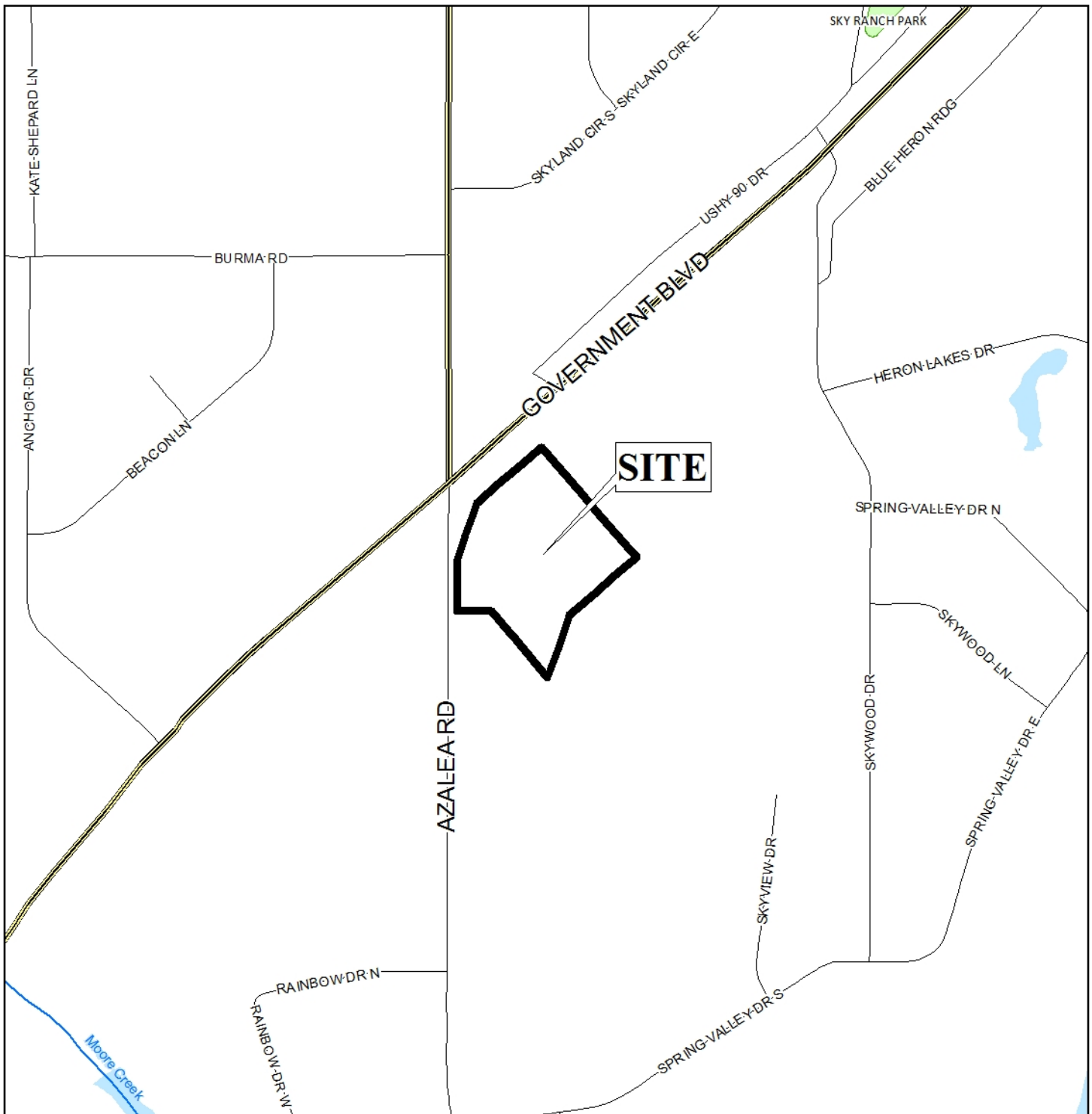
- 7) Compliance with Traffic Engineering comments: “Government Boulevard (U.S. Highway 90) is an ALDOT maintained roadway. Lot 1 is limited to no more than two curb cuts to the Service Road, with the size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Lot 1 and Lot 2 are limited to one shared curb cut on Azalea Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City’s Zoning Ordinance.”;*
- 8) Compliance with Urban Forestry Comments: “Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).”;*
- 9) Compliance with Fire Department Comments: “All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).”;*
- 10) Submission of a revised PUD site plan prior to the signing of the Final Plat; and*
- 11) Completion of the Subdivision process prior to any request for land disturbance or building-related permits.*

***Planned Unit Development:*** *Based upon the preceding, the application is recommended for Approval, subject to the following conditions:*

- 1) Revision of the labeling of the lot size in square feet and acres on the Final Plat or the site plan to reflect the same number of total square footage for Lot 1;*
- 2) Retention of the dedication of right-of-way along Azalea Road sufficient to provide a 70-foot wide right-of-way;*
- 3) Retention 25’ minimum setback line;*
- 4) Retention of the site plan to illustrate curbing and/or bumper stops for all proposed parking spaces;*
- 5) Retention of the site plan to depict full compliance with the drive-thru requirements of Section 64-4.F. of the Zoning Ordinance;*
- 6) Retention of the approved tree and landscaping requirements;*
- 7) Retention of the sidewalk and dumpsters on the site plan, along with a note stating compliance with Section 64-4.D.9. of the Zoning Ordinance regarding dumpster compliance;*
- 8) Placement of a note on the site plan stating a sidewalk will be required at the time of development for Lot 2;*
- 9) Placement of a note on the site plan stating that the carwash will fully comply with the requirements of the Zoning Ordinance;*
- 10) Placement of a note on the site plan stating that development of the proposed Lot 2 will require a new PUD application to the Planning Commission, at the time of development;*

- 11) Compliance with Traffic Engineering Comments and placement of a note on the site plan stating: "Government Boulevard (U.S. Highway 90) is an ALDOT maintained roadway. Lot 1 is limited to two curb cuts to the Service Road, with the size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Lot 1 and Lot 2 are limited to one shared curb cut on Azalea Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance".;
- 12) Compliance with Engineering Comments: "Due to the proposed subdivision, the existing structure may need to be assigned a different 911 address. Please contact the Engineering Department (208-6216) to discuss the options. ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.;
- 13) Compliance with Urban Forestry Comments: "Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).";
- 14) Compliance with Fire Department Comments: "All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).";
- 15) Completion of the Subdivision process prior to any request for land disturbance or building-related permits;
- 16) Submission of a photometric site plan at the time of permitting, in compliance with the requirements of Sections 64-4.A.2., 64-6.A.3.c., and 64-6.A.8. of the Zoning Ordinance;
- 17) Submission of a revised PUD site plan prior to the signing of the Final Plat; and
- 18) Full compliance with all other municipal codes and ordinances.

# LOCATOR MAP



APPLICATION NUMBER 2 DATE July 7, 2016

APPLICANT Azalea Oaks Center Subdivision

REQUEST Subdivision, Planned Unit Development



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# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units.

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APPLICANT Azalea Oaks Center Subdivision

REQUEST Subdivision, Planned Unit Development

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-14	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





# SITE PLAN



The site plan illustrates the proposed car wash tunnel, fuel dispensers, parking, convenience store, and trees.

APPLICATION NUMBER 2 DATE July 7, 2016

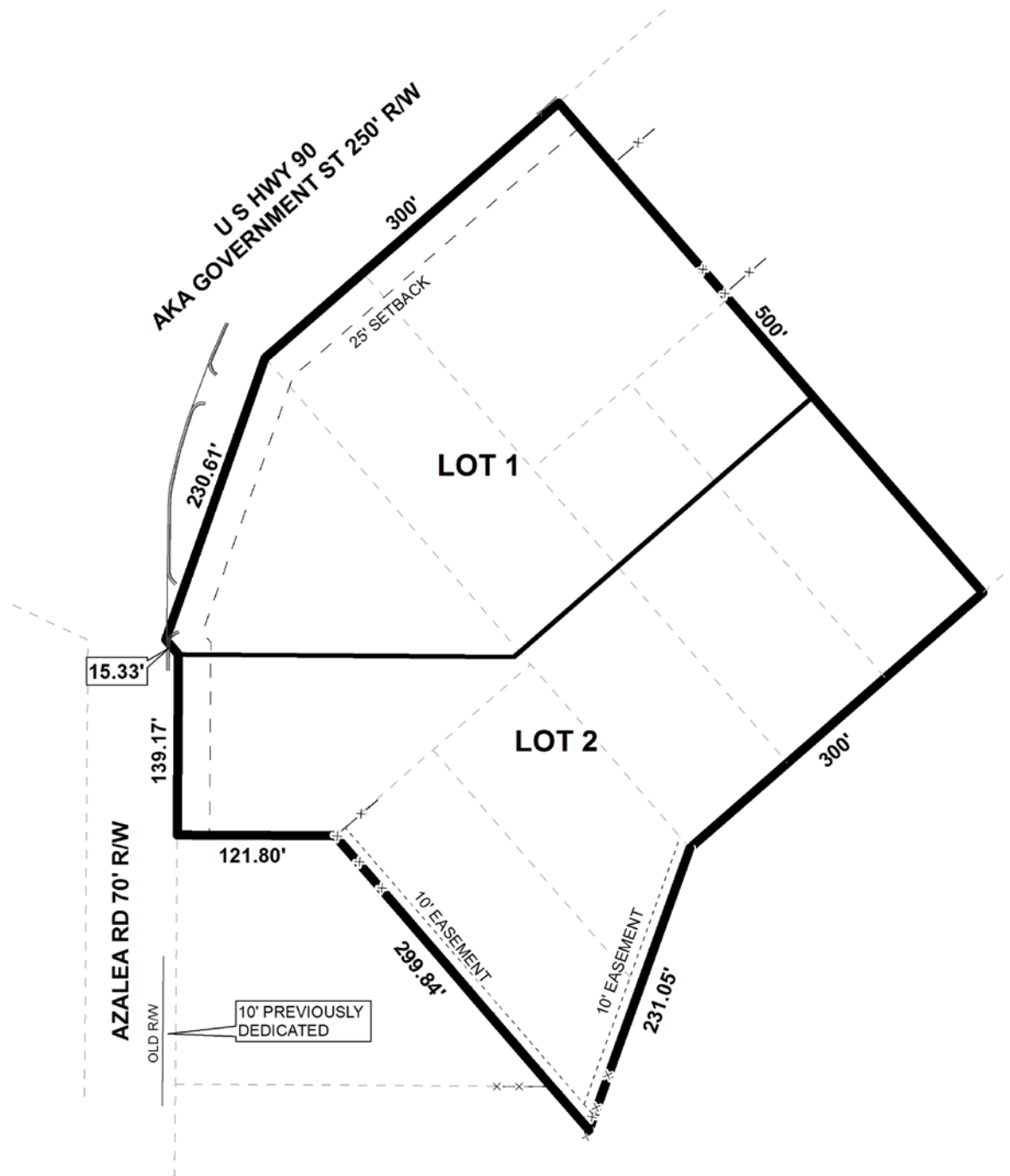
APPLICANT Azalea Oaks Center Subdivision

REQUEST Subdivision, Planned Unit Development



NTS

# DETAIL SITE PLAN



APPLICATION NUMBER 2 DATE July 7, 2016

APPLICANT Azalea Oaks Center Subdivision

REQUEST Subdivision, Planned Unit Development

