

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: May 5, 2011****SUBDIVISION NAME**

Atlantis Subdivision

DEVELOPMENT NAME

Atlantis Subdivision

LOCATION

Northwest corner of Halls Mill Road and Demetropolis Road extending to the East side of Government Boulevard

CITY COUNCIL**DISTRICT**

District 4

AREA OF PROPERTY

2-Lots/ 28.1± Acre

CONTEMPLATED USE

Planned Unit Development Approval to allow 15 apartment buildings (360 total units) and a club house on a single building site and Subdivision approval to create two legal lots from a legal lot of record.

TIME SCHEDULE**FOR DEVELOPMENT**

Immediate

ENGINEERING**COMMENTS**

It appears that connection to a City maintained drainage system is impractical without either acquiring a private drainage easement or a release agreement from the affected downstream property owner(s), unless it can be shown that the discharge from this site is designed such that it will comply with the revised storm water ordinance. Due to the existing topography, drainage from Lot 2 will be required to discharge onto Lot 1, therefore the proposed detention pond will either need to be sized to accommodate the detention required for Lot 2 or sized accordingly to receive the controlled discharge from Lot 2. The discharge from both Lots 1 & 2 shall be designed to provide at a minimum, detention from a 100 year storm with a 2 year release rate as outlined in the storm water ordinance. Any work performed in the right of way will require a right of way permit in addition to any required land disturbance permit.

TRAFFIC ENGINEERING**COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. A Traffic Impact Study has been submitted for the development. The developer will be responsible for construction of the recommendations and must submit full construction plans for approval from City of Mobile Traffic Engineering, Engineering, and ALDOT.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Preservation status is to be given to the 108" Live Oak Tree located on the South side of Lot 1. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.

Tree removal permits are required from Urban Forestry before removing or trimming 24" DBH or larger Live Oak Trees.

FIRE DEPARTMENT

COMMENTS

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is seeking Planned Unit Development Approval to allow 15 apartment buildings (360 total units) and a club house on a single building site and Subdivision approval to create two legal lots from a legal lot of record.

Planned Unit Development review, stated in Section 64-5. of the Zoning Ordinance, examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The applicant is proposing a 360 unit apartment complex on proposed Lot 1, however, there is no development indicated for proposed Lot 2. The apartment complex will have fifteen three-story apartment buildings, an outdoor pool with a clubhouse building, and a maintenance shed and dumpster facility on approximately 18.77 acres. Many complexes also have mail kiosks, entry walls, etc., however none are depicted on the PUD site plan. The apartments will be developed over two phases, with Phase One including 240 units, and Phase Two including 120 units: the phasing is not indicated on the PUD site plan, thus it should be revised to indicate any proposed phasing. The apartment complex requires 1.5 parking spaces per unit, or 540 spaces, however, 730 spaces are provided. The site plan also shows one entrance onto US Highway 90 and one entrance onto Halls Mill Road.

The proposed 28.1± acre, 2-lot subdivision fronts Government Boulevard (U.S. Highway 90), which has right-of-way illustrated as 250-feet, Halls Mill Road, 70-feet of right-of-way and Demetropolis Road, 70-feet of right-of-way. All streets meet the required right-of-way as required by the Major Street Component of the Comprehensive Plan. However, due to the

location and size of the development, access management is a concern. A Traffic Impact Study (TIS) was submitted as part of the PUD application to the Planning Commission, and the following items are recommended by the study:

- 1) Construct eastbound right turn lane into the development at proposed US Highway 90 entrance;
- 2) Construct eastbound left turn lane into the development at proposed Halls Mill Road entrance for Phase Two;
- 3) Provide traffic signal at proposed US Highway 90 entrance, to also serve Landsdowne Drive across Highway 90 from the site, with median opening and turn lane modifications;
- 4) Close one of the adjacent church's existing entries onto US Highway 90, and allow it access to the drive serving the proposed apartment complex;
- 5) Construct eastbound left turn lane at the Halls Mill Road and Demetropolis Road intersection for Phase Two; and
- 6) Confirm adequate sight distance at the proposed Halls Mill Road entry, which is located on a curve.

Based upon the recommendations of the TIS, Lot 1 should be limited to one curb-cut onto US Highway 90, and one curb-cut onto Halls Mill Road, while Lot 2, due to its 1300+ feet of frontage onto US Highway 90 should be allowed two curb-cuts onto US Highway 90, with the size, design and location of all curb-cuts to be approved by Traffic Engineering and ALDOT (for US Highway 90 curb-cuts), and to conform with AASHTO standards.

The TIS recommendation to allow the adjacent church to access the development site will require an expansion of the current PUD, or a new PUD application.

Regarding the site design, it appears that the building and parking layout meets the minimum requirements of the Zoning Ordinance. Staff cannot determine, however, if the site will comply with the tree and landscape requirements of the Zoning Ordinance, as no detailed information is provided other than a total area for open space: as a commercial site being developed for multi-family use, the site must fully comply with frontage, perimeter and parking tree requirements, as well as the total and frontage landscape area requirements of the Ordinance. As these items may result in the modification of the site plan, it is recommended that the applicant revise the plan to allow staff to verify that the site will meet the minimum requirements of the Zoning Ordinance.

The applicant is proposing a "multi-family" PUD residential development, and consequently, PUD landscape area requirements also apply. Section 64-5.C.2. of the Zoning Ordinance requires 700 square feet of open space per dwelling unit, which cannot include streets, drainageways, parking areas, service areas and land covered by buildings.

The site is zoned B-3, Community Business District, however, it abuts an R-1, Single-Family Residence District which contains a church. A buffer should be provided between the two sites, in the form of a 6-foot high wooden privacy fence (except within required front setbacks, where it shall not exceed 3-feet high), and a 10-foot wide buffer. In lieu of the fence, the applicant can provide an evergreen hedge 6-feet high at time of planting, dense enough to create an effective visual buffer. The fence and buffer should be shown on the PUD site plan.

The site plan does not depict sidewalks along any of the street frontages, however, sidewalks are required. The site plan should be revised to show sidewalks along all frontages of the proposed

development. Should the applicant not wish to provide sidewalks, an application to the Planning Commission for a sidewalk waiver will be necessary.

Finally, the geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

RECOMMENDATION

Subdivision: Based on the preceding the Subdivision request is recommended for Holdover until the June 2nd meeting, so that it may be heard with the Planned Unit Development application.

Planned Unit Development: Based on the preceding the PUD request is recommended for Holdover until the June 2nd meeting, with revisions and additional information due by May 16th, so that the following items can be addressed:

- 1) Revision of the site plan to depict phasing, as proposed;
- 2) Revision of the site plan to depict all improvements recommended by the TIS and/or Traffic Engineering (*Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. A Traffic Impact Study has been submitted for the development. The developer will be responsible for construction of the recommendations and must submit full construction plans for approval from City of Mobile Traffic Engineering, Engineering, and ALDOT.*);
- 3) Revision of the PUD application, to include a new site plan, postage and notification labels if the PUD will be expanded to include the abutting church due to recommended shared access;
- 4) Revision of the site plan to reflect Engineering comments (*It appears that connection to a City maintained drainage system is impractical without either acquiring a private drainage easement or a release agreement from the affected downstream property owner(s), unless it can be shown that the discharge from this site is designed such that it will comply with the revised storm water ordinance. Any work performed in the right of way will require a right of way permit in addition to any required land disturbance permit. Due to the existing topography, drainage from Lot 2 will be required to discharge onto Lot 1, therefore the proposed detention pond will either need to be sized to accommodate the detention required for Lot 2 or sized accordingly to receive the controlled discharge from Lot 2. The discharge from both Lots 1 & 2 shall be designed to provide at a minimum, detention from a 100 year storm with a 2 year release rate as outlined in the storm water ordinance. Any work performed in the right of way will require a right of way permit in addition to any required land disturbance permit.*);
- 5) Revision of the site plan to depict tree and landscape information, including frontage trees and landscape area, perimeter trees, and parking trees, as well as landscape area per dwelling unit, so that staff can determine if the site meets the minimum requirements of the Zoning Ordinance;
- 6) Revision of the site plan to depict a buffer where the site abuts R-1 zoned property;
- 7) Revision of the site plan to depict any mail kiosks, entry features or walls that will exceed 3-feet in height;

- 8) Revision of the site plan to reflect compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Preservation status is to be given to the 108" Live Oak Tree located on the South side of Lot 1. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger. Tree removal permits are required from Urban Forestry before removing or trimming 24" DBH or larger Live Oak Trees.*); and
- 9) Revision of the site plan to depict sidewalks along all street frontages for the proposed development.

Revised for the June 2nd meeting:

Revised information was submitted by the applicant, addressing the concerns raised by staff.

The applicant proposes to make an application for Administrative Planned Unit Development approval to add in the adjacent church property for access as recommended by the Traffic Impact Study, if such a request is approved by the Planning Commission.

The site plan was not revised to show TIS related improvements along Halls Mill Road or Demetropolis Road, however, a note was added stating that modifications would be made to accommodate the required roadway improvements.

A tree and landscape plan was submitted, indicating (generally) compliance with the requirements of the Zoning Ordinance. It appears that the site will have adequate landscape area, as well as adequate area to plant any required trees.

A mail kiosk was added to the site plan, and is now proposed to be located near the clubhouse.

Phasing is now depicted on the site plan. Ten apartment buildings will be constructed for the Phase One, and five more will be built in the Phase Two. The first phase should be completed by the Summer of 2012. Phase One will contain 240 units, and Phase Two will contain 120 units.

Regarding sidewalks along public streets, the applicant has submitted a sidewalk waiver request, which is scheduled for the June 16, 2011 meeting of the Planning Commission.

The minimum building setback line is not depicted on the PUD site plan along US Highway 90, however it is shown on the Subdivision plat. The PUD site plan should be revised to also show minimum building setbacks from all adjacent public streets.

RECOMMENDATION

Subdivision: Based on the preceding, the Subdivision request is recommended for Tentative Approval, subject to the following conditions:

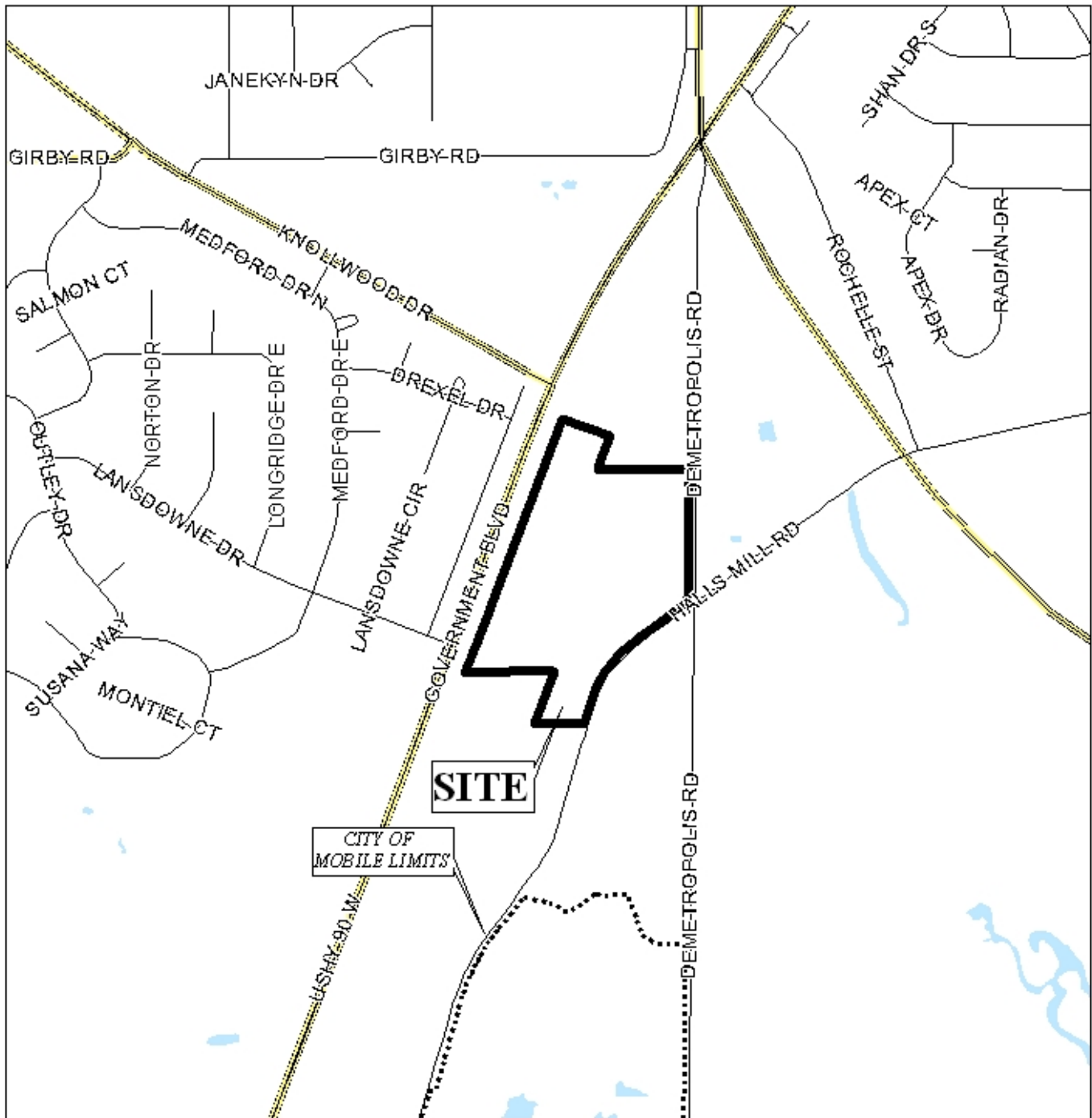
- 1) placement of a note on the final plat stating that Lot 1 is limited to one (1) curb-cut onto US Highway 90, and one (1) curb-cut onto Halls Mill Road;
- 2) placement of a note on the final plat stating that Lot 2 is limited to a maximum of two (2) curb-cuts onto US Highway 90;
- 3) placement of a note on the final plat stating that the size, design and location of all curb-cuts are to be approved by Traffic Engineering and ALDOT (or US Highway 90 curb-cuts), and to conform to AASHTO standards;
- 4) compliance with Engineering comments (*It appears that connection to a City maintained drainage system is impractical without either acquiring a private drainage easement or a release agreement from the affected downstream property owner(s), unless it can be shown that the discharge from this site is designed such that it will comply with the revised storm water ordinance. Due to the existing topography, drainage from Lot 2 will be required to discharge onto Lot 1, therefore the proposed detention pond will either need to be sized to accommodate the detention required for Lot 2 or sized accordingly to receive the controlled discharge from Lot 2. The discharge from both Lots 1 & 2 shall be designed to provide at a minimum, detention from a 100 year storm with a 2 year release rate as outlined in the storm water ordinance. Any work performed in the right of way will require a right of way permit in addition to any required land disturbance permit.*);
- 5) compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Preservation status is to be given to the 108" Live Oak Tree located on the South side of Lot 1. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger. Tree removal permits are required from Urban Forestry before removing or trimming 24" DBH or larger Live Oak Trees.*);
- 6) placement of a note on the final plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 7) provision of a revised PUD site plan depicting sidewalks, if the sidewalk waiver is not approved by the Planning Commission at its June 16, 2011 meeting; and
- 8) completion of the Subdivision process prior to any requests for land disturbance.

Planned Unit Development: As revised, the PUD request is recommended for Approval, subject to the following conditions:

- 1) revision of the site plan to depicted the minimum building setback line from all street frontages, including US Highway 90;
- 2) compliance with Engineering comments (*It appears that connection to a City maintained drainage system is impractical without either acquiring a private drainage easement or a release agreement from the affected downstream property owner(s), unless it can be shown that the discharge from this site is designed such that it will comply with the revised storm water ordinance. Due to the existing topography, drainage from Lot 2 will be required to discharge onto Lot 1, therefore the proposed detention pond will either need to be sized to accommodate the detention required for Lot 2 or sized accordingly to receive the controlled discharge from Lot 2. The discharge from both Lots 1 & 2 shall be designed to provide at a minimum, detention from a 100 year storm with a 2 year release rate as outlined in the storm water ordinance. Any work performed in the right of way will require a right of way permit in addition to any required land disturbance permit.*);

- 3) compliance with Traffic Engineering comments (*Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. A Traffic Impact Study has been submitted for the development. The developer will be responsible for construction of the recommendations and must submit full construction plans for approval from City of Mobile Traffic Engineering, Engineering, and ALDOT.*);
- 4) compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Preservation status is to be given to the 108" Live Oak Tree located on the South side of Lot 1. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger. Tree removal permits are required from Urban Forestry before removing or trimming 24" DBH or larger Live Oak Trees.*);
- 5) completion of the Subdivision process prior to any request for land disturbance;
- 6) submission of a revised site plan if the sidewalk waiver request is not approved by the Planning Commission at its June 16, 2011 meeting;
- 7) submission of an application for an Administrative PUD for any vehicular connection to the adjacent church property, as recommended by the Traffic Impact Study, prior to the request for Land Disturbance permits; and
- 8) full compliance with all other municipal codes and ordinances.

LOCATOR MAP



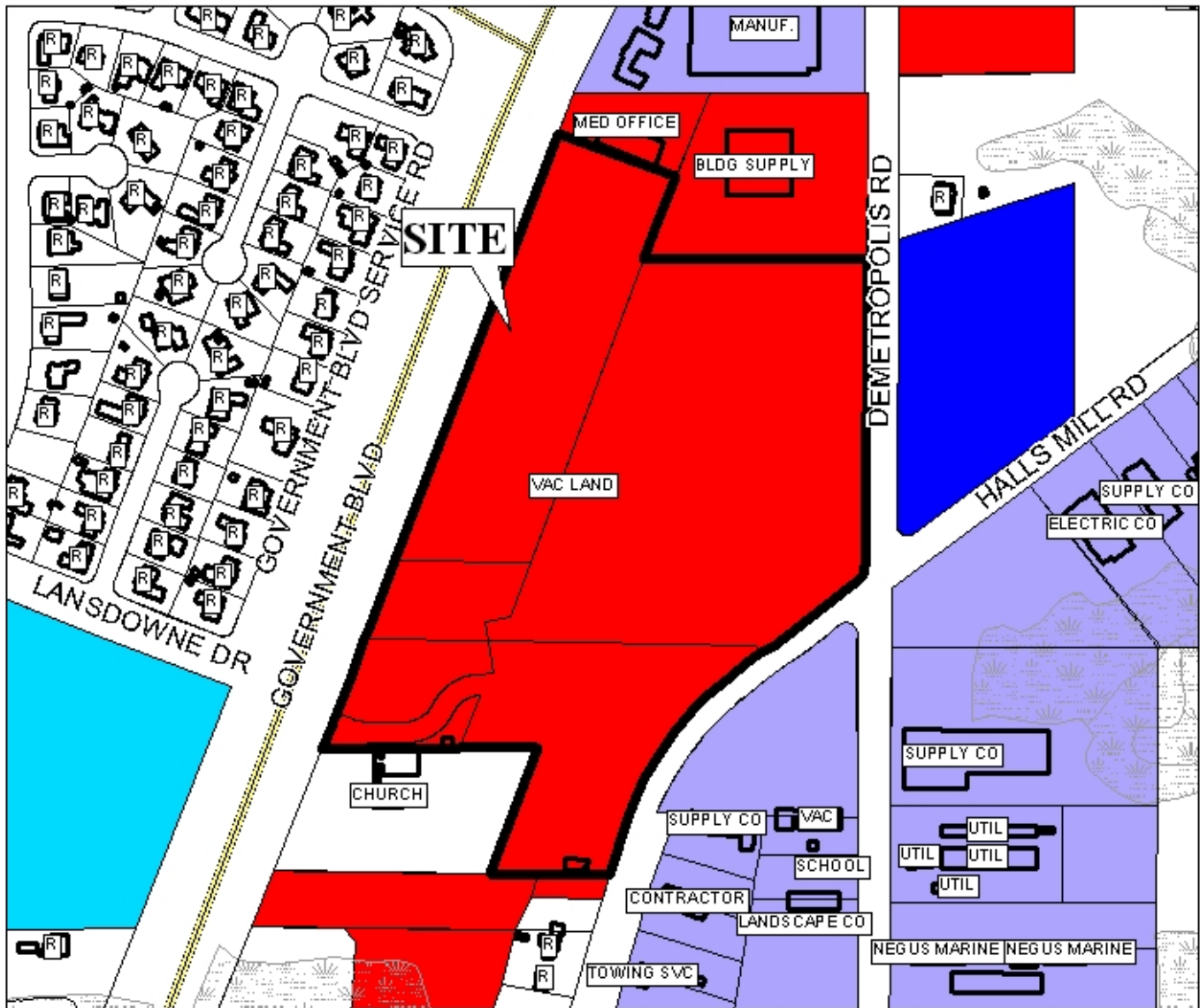
APPLICATION NUMBER 2 & 3 DATE June 2, 2011

APPLICANT Atlantis Subdivision

REQUEST Sidewalk Waiver



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Commercial land use is north and southeast of the site and single family residential units are to the west.

APPLICATION NUMBER 2 & 3 DATE June 2, 2011

APPLICANT Atlantis Subdivision

REQUEST Subdivision, Planned Unit Development

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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 NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

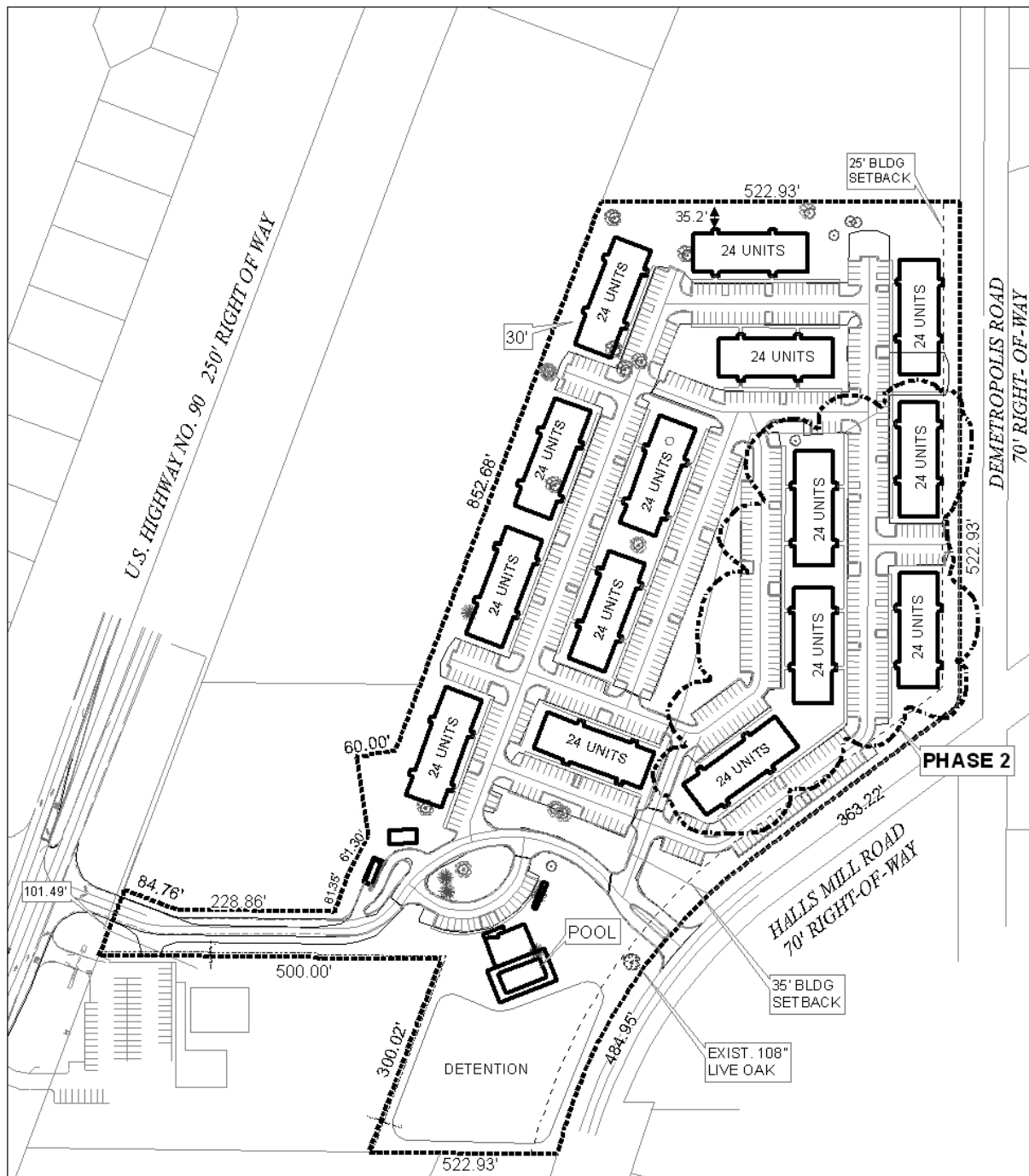


Commercial land use is north and southeast of the site and single family residential units are to the west.

APPLICATION NUMBER 2 & 3 DATE June 2, 2011
APPLICANT Atlantis Subdivision
REQUEST Subdivision, Planned Unit Development

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SITE PLAN



The site plan illustrates the proposed buildings, setbacks, and drives.

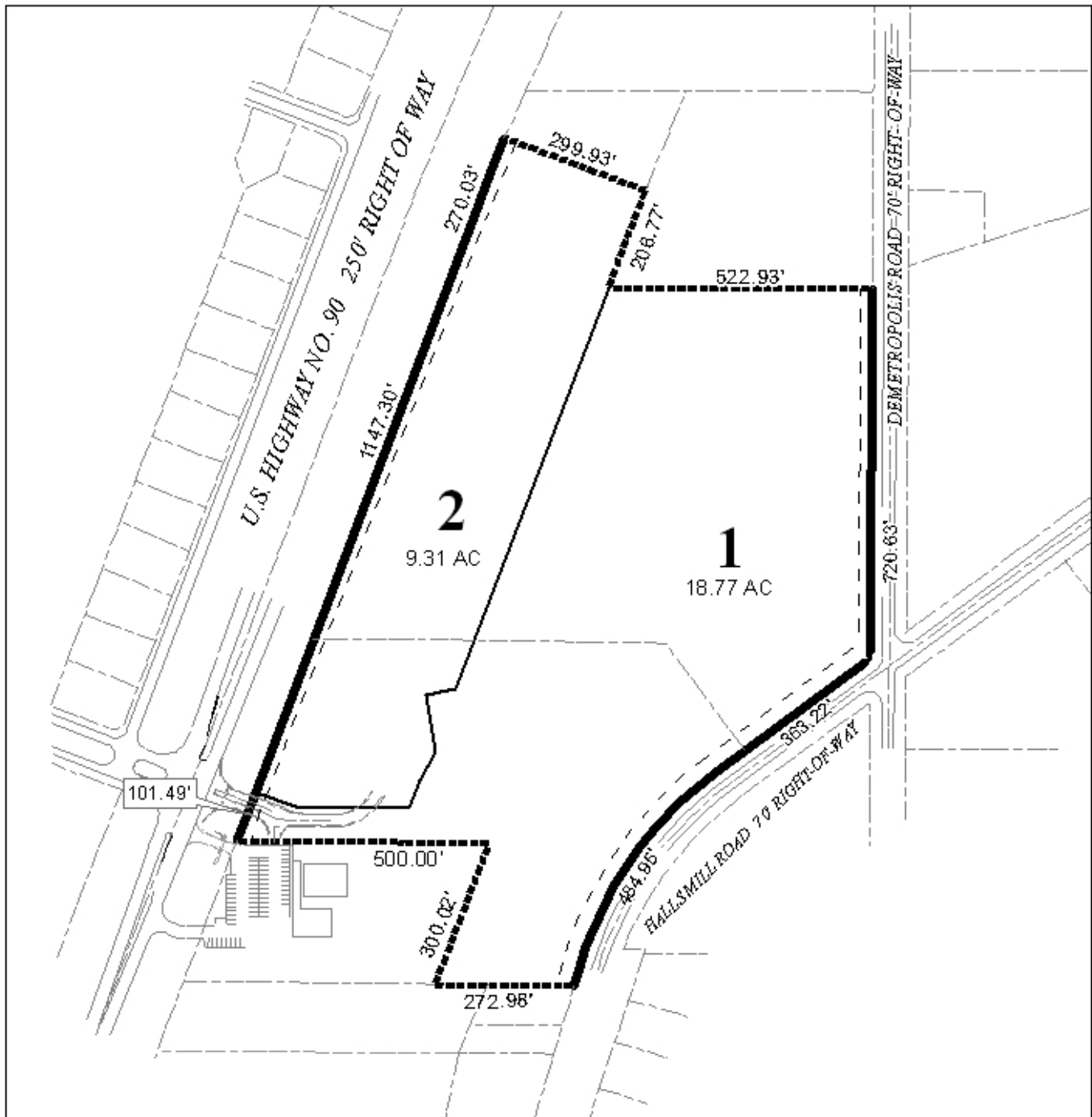
APPLICATION NUMBER 2 & 3 DATE June 2, 2011

APPLICANT Atlantis Subdivision

REQUEST Subdivision, Planned Unit Development



DETAIL SITE PLAN



APPLICATION NUMBER 2 & 3 DATE June 2, 2011

APPLICANT Atlantis Subdivision

REQUEST Subdivision, Planned Unit Development

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