

J AND R SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.

MAWSS Comments: MAWSS has **No** water or sewer services available.

The preliminary plat illustrates the proposed 2-lot, 2.8 ± acre subdivision which is located on the West side of McDonald Road at the West terminus of Stratford Road. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by public water and individual septic system.

The purpose of this application is to create 2 legal lots of record from one metes-and-bounds parcel.

In accordance with the Subdivision Regulations, both proposed lots appear to exceed the minimum lot size requirements, and the 25' minimum building setback line is depicted on the preliminary plat and should be retained on the Final Plat, if approved.

Lot 1 is oddly shaped, and as such, will require a waiver of Section V.D.1 of the Subdivision Regulations. It appears that the lot shape is such to accommodate the existing dwelling and pool on Lot 2, and to allow Lot 1 to incorporate an existing barn into the lot. As there are other oddly shaped lots in the vicinity that have been approved by the Planning Commission, a waiver of Section V.D.1 may be appropriate.

The proposed lots front McDonald Road, a planned major street as shown on the Major Street Plan Component of the Comprehensive Plan. This street requires a 100' right-of-way width; however, the existing right-of-way width only measures 30' from centerline. As such, dedication, sufficient to provide 50' from the centerline of McDonald Road should be required. The lot size information and 25' minimum building setback line should be revised on the Final Plat to reflect dedication. The minimum right-of-way width of McDonald Road, adjacent to the site, is not shown on the preliminary plat but should be depicted on the Final Plat, if approved.

As a means of access management, a note should be placed on the Final Plat stating that the proposed Lot 1 is limited to 1 curb-cut to McDonald Road and the proposed Lot 2 should be limited to the existing curb-cut to McDonald Road. The size, design and location of the new

curb-cut and any changes to the existing curb-cut are to be approved by Mobile County Engineering and conform to AASHTO standards.

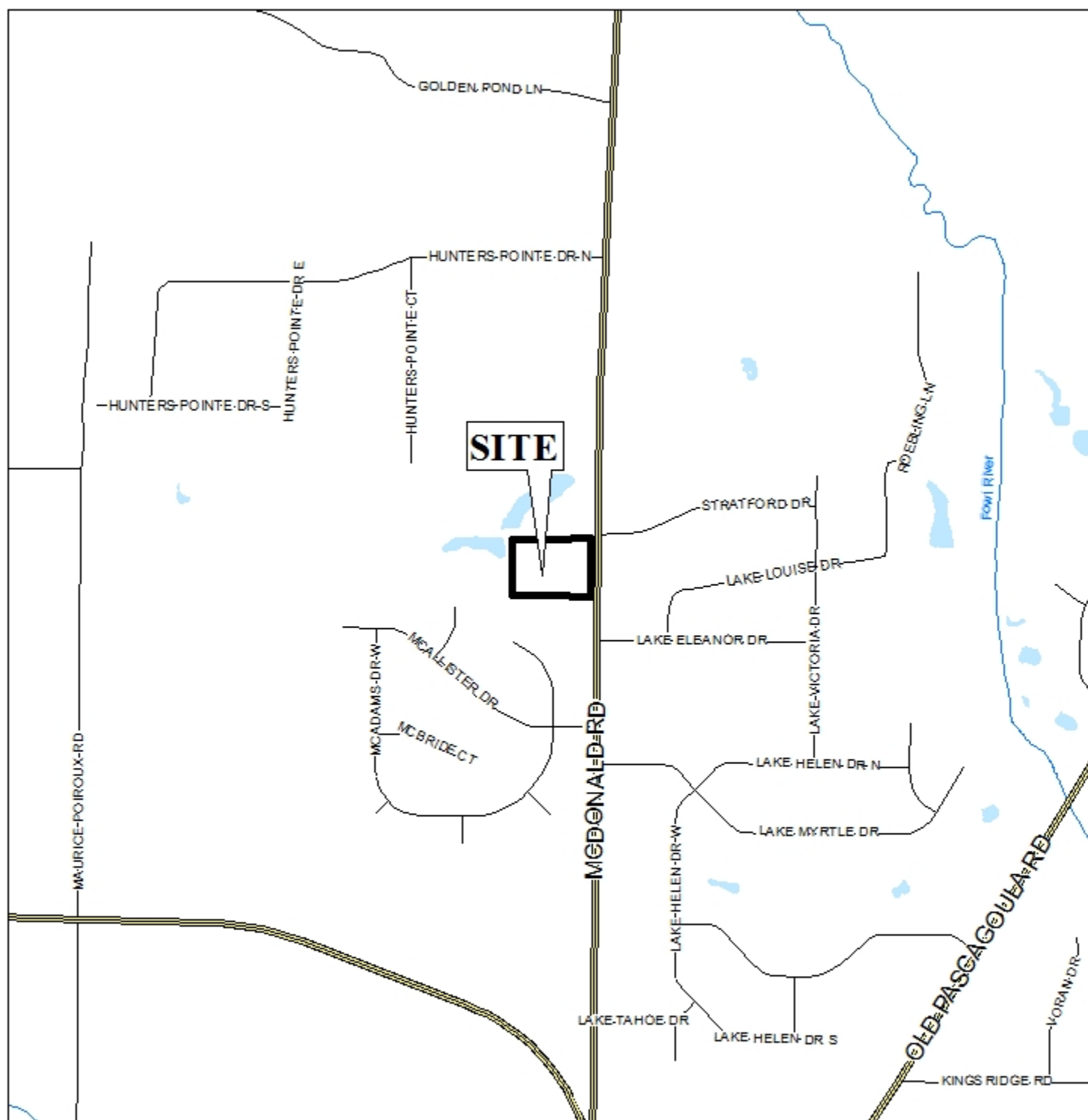
This site is located in the County, therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note should be placed on the Final Plat, if approved.

Due to the odd shape of Lot 1, a note should be placed on the Final Plat stating that there shall be no additional subdivision until frontage on a public or compliant private street is provided.

With a waiver of Section V.D.1 of the Subdivision Regulations, the application is recommended for tentative approval, subject to the following conditions:

- 1) Dedication sufficient to provide 50' from the centerline of McDonald Road;
- 2) Revision of the lot size information and 25' minimum building setback line on the Final Plat to reflect dedication;
- 3) Revision of the Final Plat to depict the minimum right-of-way width of McDonald Road, adjacent to the site;
- 4) Placement of a note on the Final Plat stating that Lot 1 is limited to 1 curb-cut to McDonald Road, with the size, design or location to be approved by Mobile County Engineering and conform to AASHTO standards;
- 5) Placement of a note on the Final Plat stating that Lot 2 is limited to the existing curb-cut to McDonald Road, with any changes to the size, design and location to be approved by Mobile County Engineering and conform to AASHTO standards;
- 6) Placement of a note on the Final Plat stating: *(This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.);*
- 7) Compliance with Fire Comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.);*
- 8) Compliance with Engineering Comments: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.); and*
- 9) Placement of a note on Final Plat stating no future subdivision of Lot 1 until frontage on a public or compliant private street is provided.

LOCATOR MAP



APPLICATION NUMBER 1 DATE March 19, 2015

APPLICANT J & R Subdivision

REQUEST Subdivision



NTS

J & R SUBDIVISION



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



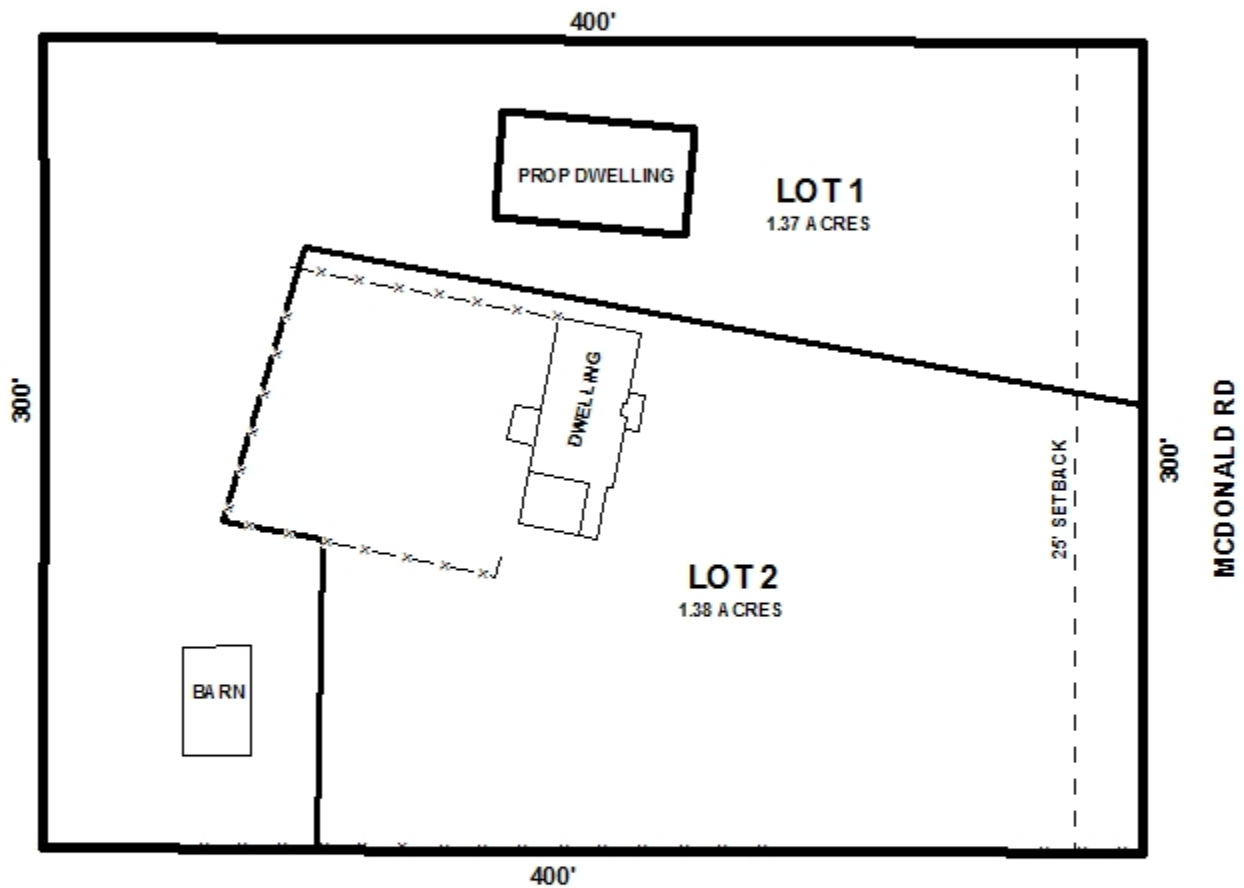
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APPLICATION NUMBER 1 DATE March 19, 2015



DETAIL SITE PLAN



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APPLICANT J & R Subdivision

REQUEST Subdivision

