

JADE SUBDIVISION

Engineering Comments: No comments.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until a Capacity application is approved by Volkert Engineering, Inc.

The plat illustrates the proposed 1-lot, 0.3± acre subdivision which is located at the Southwest corner of Shannon Street and Kreitner Street, in Council District 5. The applicant states that the subdivision is served by both public water and sanitary sewer services.

The purpose of this application is to create a legal lot of record from a metes-and-bounds parcel which is the remainder of a previously recorded subdivision lot.

The subject site is the remaining East 125' portion of Lot 43, Shannon Heights Subdivision, recorded prior to the adoption of the current Subdivision Regulations. The West portion of Lot 43 was separated from this portion via Fred B. Fendley Subdivision, a one-lot subdivision, approved and recorded in 1979. At that time, the entire parcel was not included in the subdivision. A previous owner demolished the fire-damaged dwelling on the site in March, 2009, and the applicant now proposes to replace it. A building permit was recently issued for such, with the condition that the final Certificate of Occupancy not be issued until the site is made a legal lot of record; thus this application.

The site fronts onto Shannon Street and Kreitner Street which are both compliant rights-of-way with a compliant street corner radius; therefore, no dedication is required. As a means of access management, a note should be required on the final plat stating that the lot is limited to one curb cut, with the size, location and design of each curb cut to be approved by Traffic Engineering and conform to AASHTO standards.

The lot meets the minimum size requirements of the Subdivision Regulations. As on the plat, the lot should be labeled on the final plat with its size in square feet, or a table should be furnished

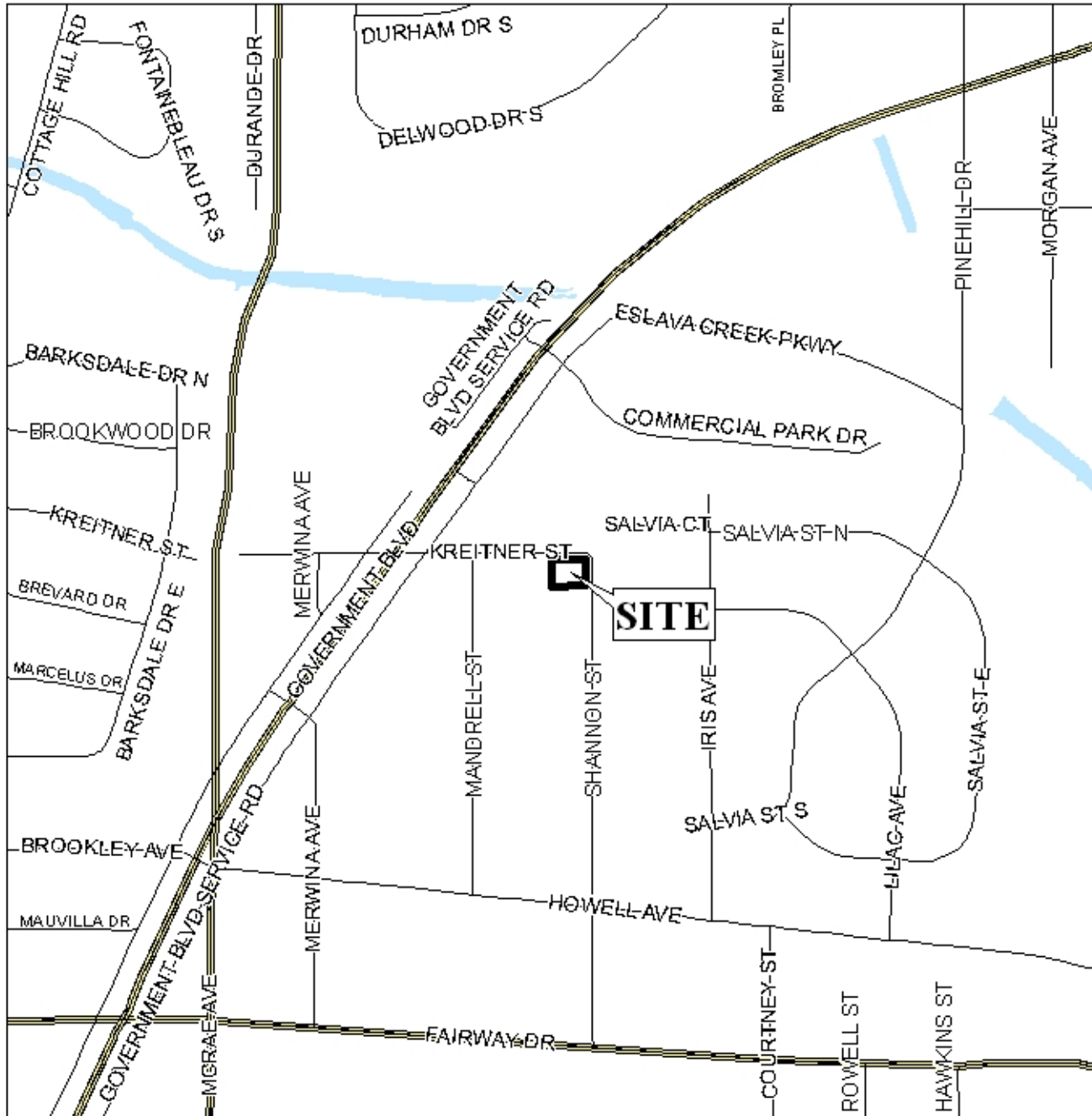
on the final plat providing the same information. The plat illustrates the 25' minimum building setback line all street frontages and this should also be shown on the final plat.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. Approvals must be obtained prior to land disturbance or permitting activities.

Based on the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that the lot is limited to one curb cut, with the size, location and design of each curb cut to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) labeling of the lot with its size in square feet, or the furnishing of a table on the final plat providing the same information;
- 3) illustration of the 25' minimum building setback line along all street frontages; and
- 4) placement of a note on the plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, prior to the issuance of any permits or land disturbance activities.

LOCATOR MAP



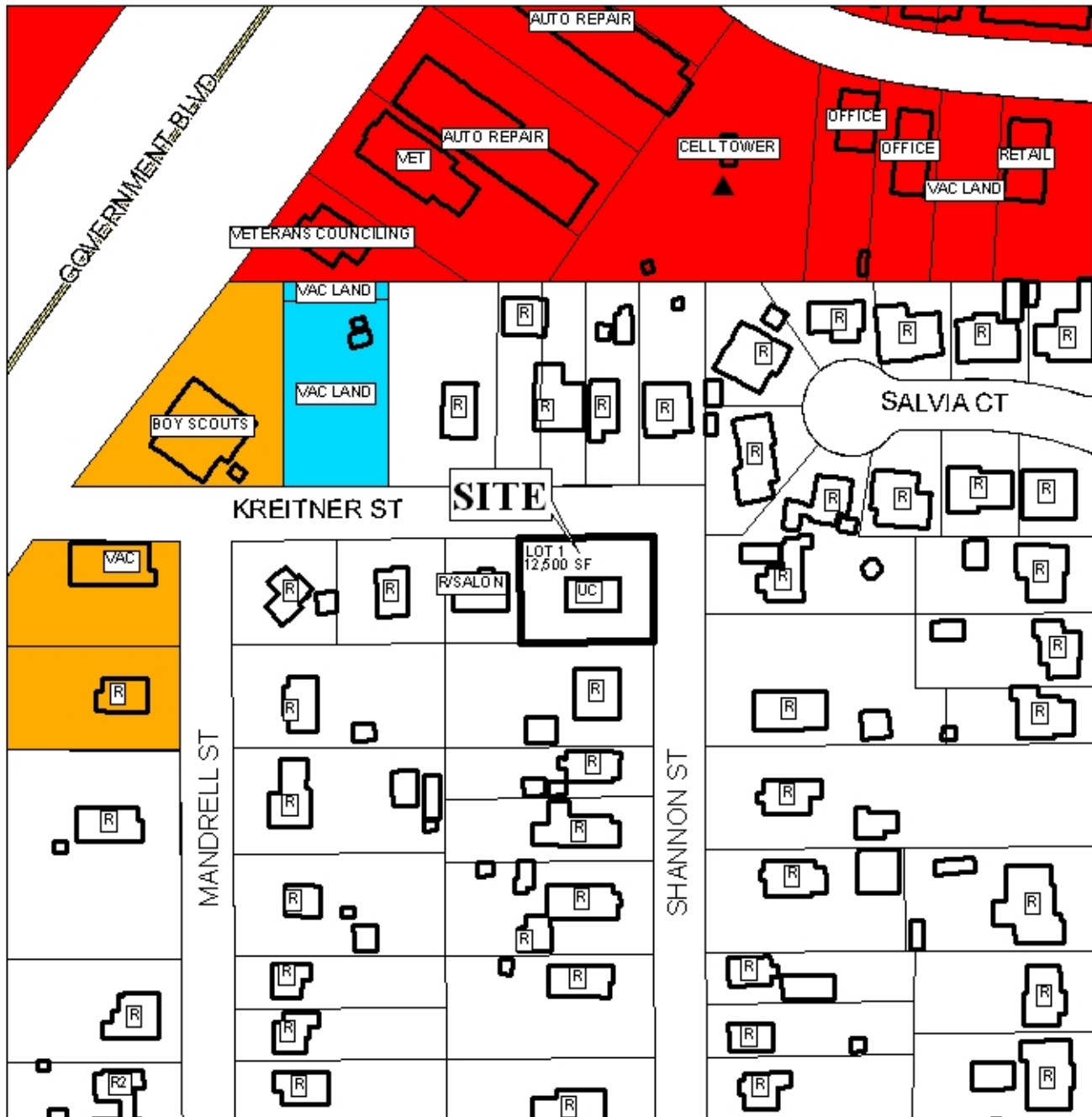
APPLICATION NUMBER 1 DATE September 16, 2010

APPLICANT Jade Subdivision

REQUEST Subdivision



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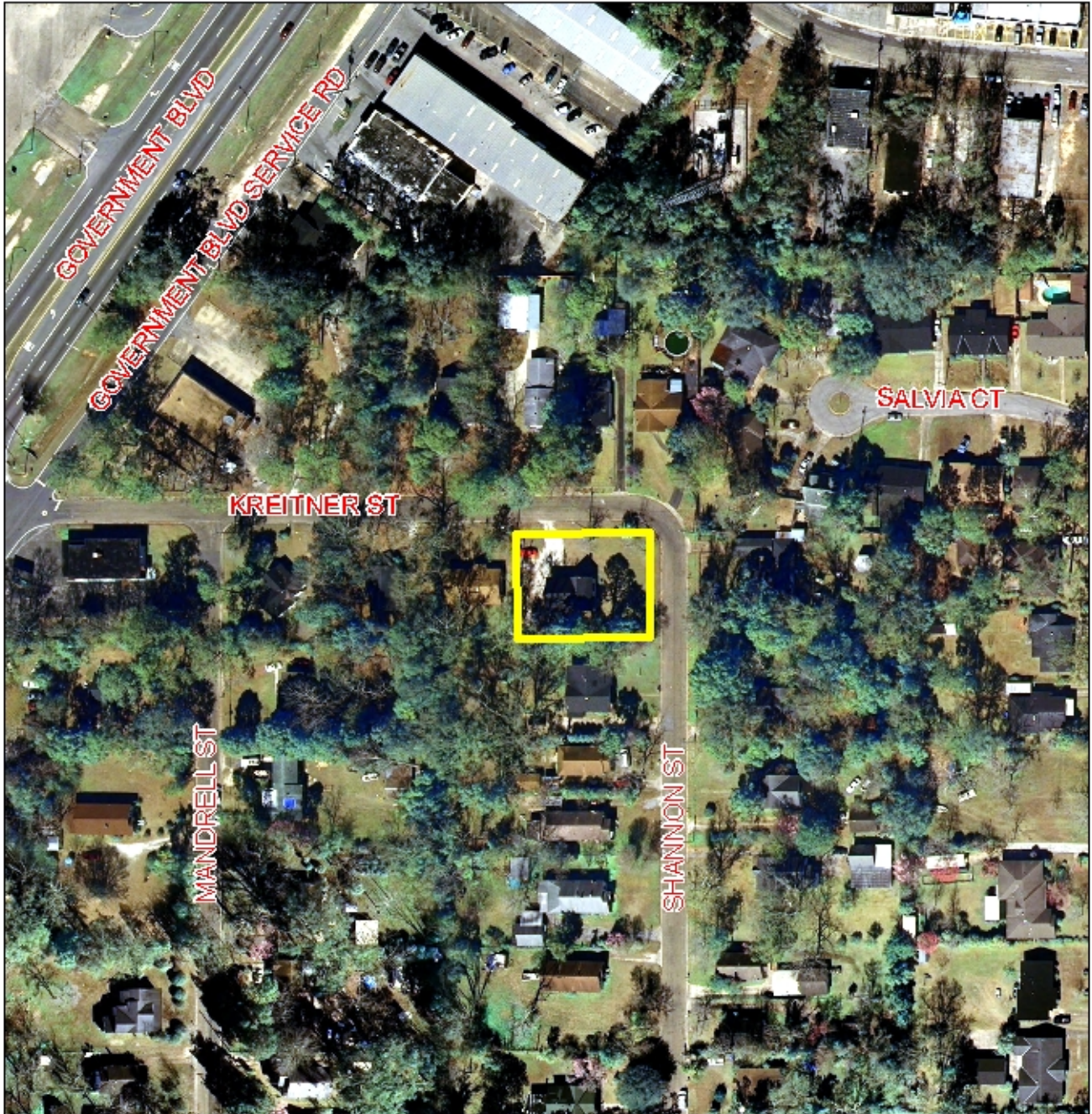


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