

WILLIE G MCELROY JR SUBDIVISION

Engineering Comments: No Comments.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

Mobile Area Water & Sewer System Comments: No Comments

The plat illustrates the proposed 0.5± acre, 1 lot subdivision, which is located at the Northwest corner of Hickory Street and Persimmon Street, in City Council District 2. The applicant states that the site is served by public water and sanitary sewer facilities.

The purpose of this application is to create one legal lot of record from two lots of record and portions of Lots 9 and 10, Block 34 of the Fisher Tract. The excluded portions appear to have been split in 1953, after the adoption of Subdivision Regulations; thus, they should be included in this application.

The site fronts Persimmon Street to the South and Hickory Street to the East, both minor streets with 50' of rights-of-way. It should be noted that Hickory Street does not have curb and gutter. Section V.B.14 of the Subdivision Regulations requires a minimum 60' right-of-way for streets without curb and gutter; therefore, the applicant should revise the plat to dedicate sufficient right-of-way so as to provide a minimum 30' as measured from the centerline of Hickory Street.

The site has approximately 96' and 205' of frontage along Persimmon and Hickory Streets, respectively. As a means of access management, a note should be placed on the final plat stating that the lot is limited to a maximum of one curb cut, with the size, location, and design to be approved by Traffic Engineering and in conformance with AASHTO standards.

A "wood rail" fence is illustrated both at the intersection of the two streets and at the Northeast corner of the lot. Said fence cannot be found on any past photographs of the site. The applicant is advised that, per Section 64-4.D.6 of the Zoning Ordinance, the construction of any fence that obstructs site and greater than 3' in height is prohibited within required front yards.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-

game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based on the preceding, it is recommended that this application be held over until the May 6th meeting to allow the applicant to include the remaining portions of Lots 9 and 10, Block 34 of the Fisher Tract (including the provision of new postage fees to allow for corrected notifications). Revisions and fees must be submitted by April 9th.

Revised for the May 6th meeting:

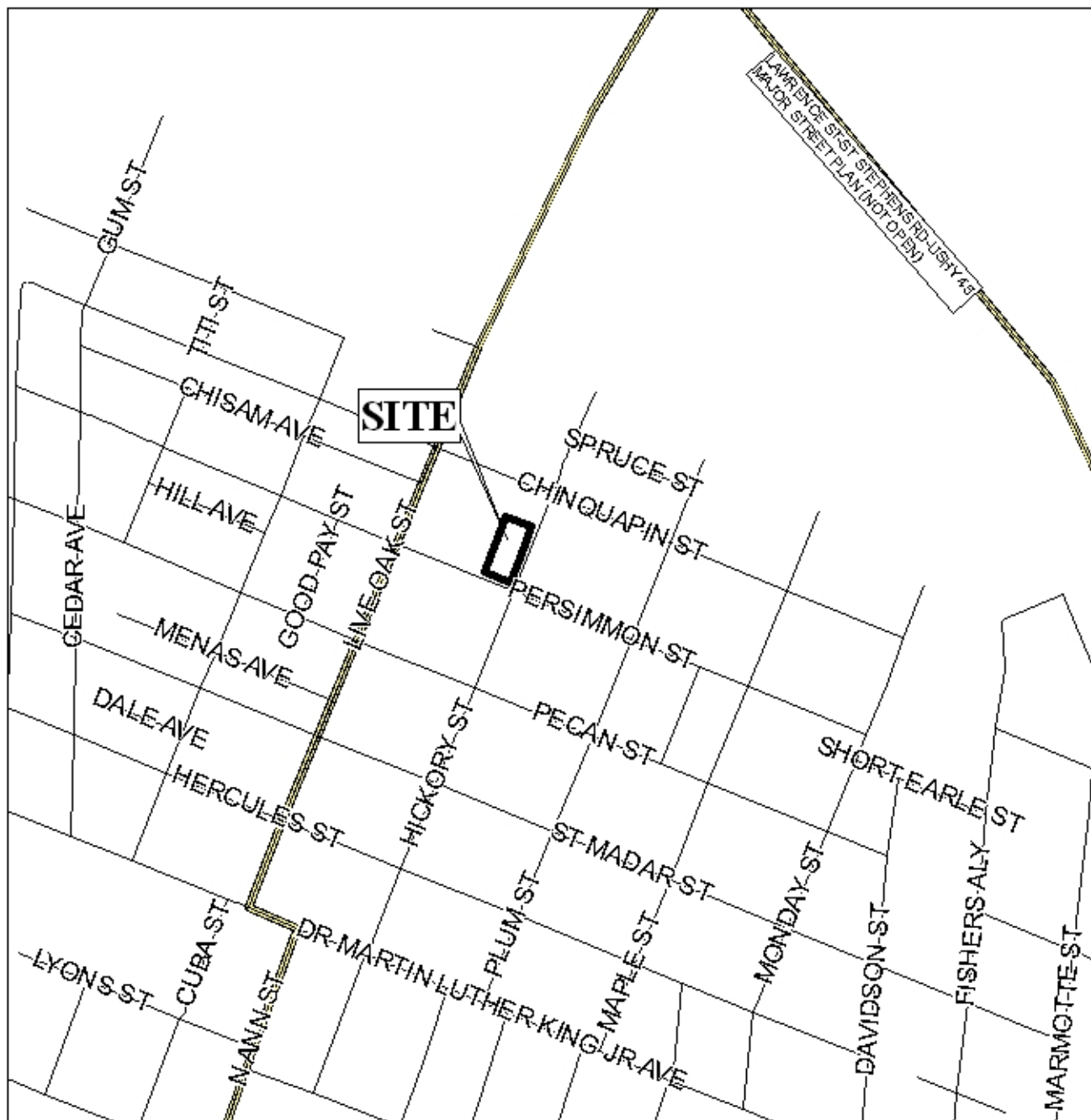
This application was held over at the April 1st meeting to allow the applicant to include the remaining portions of Lots 9 and 10, Block 34 of the Fisher Tract.

Instead, the applicant submitted deeds for the properties documenting that they are all either older than 1952 or have had multiple ownerships. Furthermore, with regards to dedication, the presence of curb and gutter on Persimmon and other adjacent streets may warrant a waiver of Section V.B.14 of the Subdivision Regulations. It is unlikely that Hickory Street will ever be widened; thus, additional right-of-way may be unnecessary.

With a waiver of Section V.B.14 of the Subdivision Regulations, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that the lot is limited to a maximum of one curb cut, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards;*
- 2) removal of any fences erected without appropriate permits prior to signing final plat (inspection required to verify); and*
- 3) placement of a note on the plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.*

LOCATOR MAP



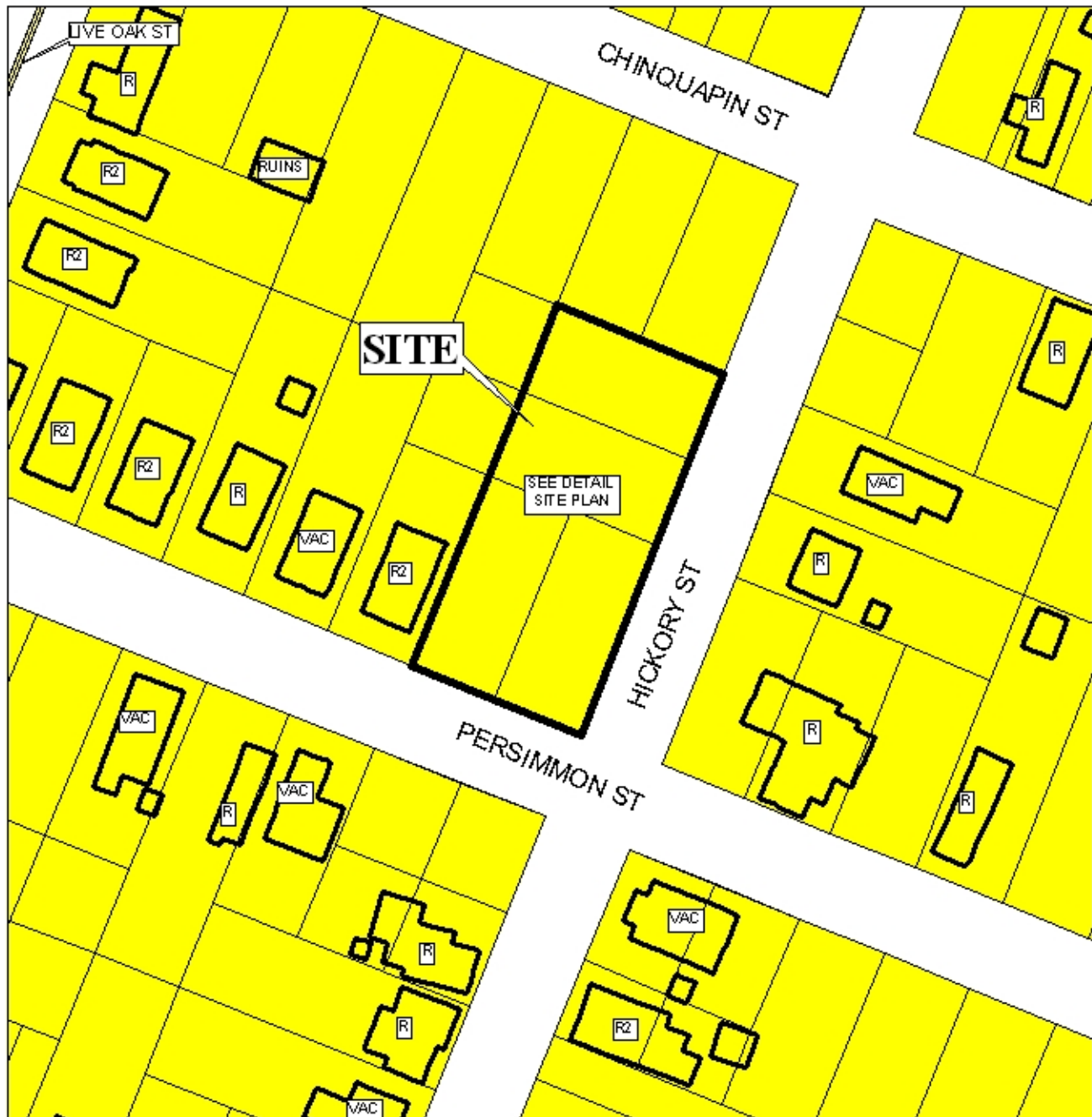
APPLICATION NUMBER 1 DATE May 6, 2010

APPLICANT Willie G. McElroy Jr. Subdivision

REQUEST Subdivision



WILLIE G. MCELROY JR. SUBDIVISION



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LEGEND

R-1	R-2	R-3	R-4	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



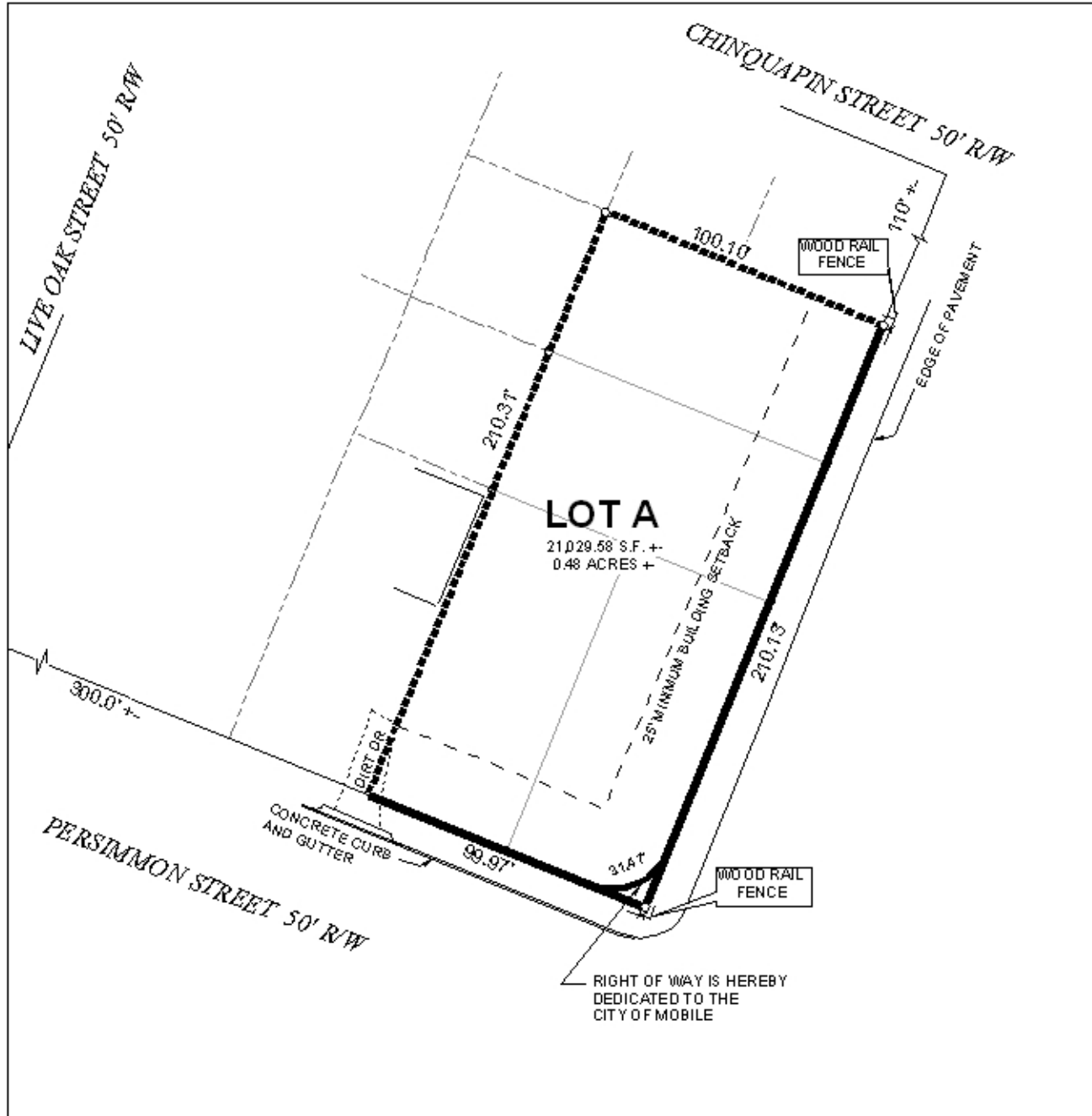
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APPLICATION NUMBER 1 DATE April 1, 2010



DETAIL SITE PLAN



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