

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: March 6, 2014****DEVELOPMENT NAME**

Westwood Plaza, LLC

LOCATION7765 Airport Boulevard
(Southeast corner of Airport Boulevard and Schillinger
Road South, extending to the North side of Thomas Road)**CITY COUNCIL
DISTRICT**

District 6

PRESENT ZONING

B-3, Community Business District

AREA OF PROPERTY

5 Lots / 21.8 ± acres

CONTEMPLATED USEPlanned Unit Development Approval to amend a
previously approved Planned Unit Development to allow shared access across multiple lots and
multiple buildings on a single building site.**TIME SCHEDULE
FOR DEVELOPMENT**

No time frame provided.

ENGINEERING**COMMENTS**

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. Plan Sheet L-100 shows proposed work on the existing Burger King site that includes parking spaces to be located within the Airport Blvd ROW. These need to be removed from the ROW, or the applicant needs to obtain a Non-Utility ROW Use Agreement For any parking and/or maneuvering spaces within the Public ROW. 3. Any and all proposed land disturbing activity will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. Each Lot Owner shall be required to submit a Land Disturbance Permit application for any proposed land disturbing activity. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 5. Add a note to the PUD Site Plan stating that the proposed development must comply with all Engineering Department Policy Letters. 6. Victoria Drive will need to be improved to a street standard as approved by the City Engineer and Traffic Engineer based on the traffic study (24' curb and gutter section minimum). 7. Revise Landscape Area "A" detail to keep any "pond" areas outside of the Public ROW. 8. All dumpsters, including outside compactors, must meet the requirements of

Engineering Policy Letter dated 5-13-2009 related to car washes and dumpster pads by isolating, collecting, and transporting storm water runoff to the Sanitary Sewer system onsite.

TRAFFIC ENGINEERING

COMMENTS

The traffic impact study will need to be updated for this site, since the proposed building area has increased and additional access is planned on Victoria Drive. The updated study will need to clearly address the access to the existing Alverson Road traffic signal. The submitted site plan does not illustrate the adjacent Burger King site, however the landscape plan does. Access to the traffic signal will need to be maintained for the adjacent site, and changes to the existing adjacent site driveways will need to be incorporated. Traffic Engineering approval of this site is contingent upon the construction by the developer/owner of all improvements identified in the study. It should be noted that the improvements include the installation of a traffic signal on Schillinger Road at Thomas Road. Installation of this traffic signal is contingent upon the removal of the traffic signal at Schillinger Road/Glider Road. Design plans for all improvements within the public right-of-way must be approved by Engineering and Traffic Engineering. Upon completion of the Access Management Study underway for the Schillinger Road corridor, additional restrictions may be implemented. Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Mobile Tree Commission permit is required before removing any existing trees from the right of way.

Preservation status is to be given to the 54" Live Oak Tree located on the North side of development adjacent to Victoria drive. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger. Granting the preservation status will require additional green space to be provided near the 54" Live Oak Tree.

FIRE DEPARTMENT

COMMENTS

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is seeking Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow shared access across multiple lots and multiple buildings on a single building site. The site is located in Council District 6, and according to the applicant is served by public water and sanitary sewer.

The site was most recently before the Planning Commission at its October 17, 2013 meeting, where the PUD request was approved, subject to the following conditions:

- 1) *Revision of the site plan to accurately list the total number of parking spaces proposed, including the Chick-fil-A and Krystal sites;*
- 2) *No increase in building area or change in parking ratios allowed without a new PUD application;*
- 3) *Compliance with Engineering comments (1) Any work performed in the existing Airport Blvd or Schillinger Road ROW (right-of-way) such as grading, drainage, driveways, sidewalks, utility connections, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2) Any and all proposed development will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 3) Any proposed dumpster pad(s) must be contained and directed to a surface drain that is connected to the Sanitary Sewer system. The drainage from any dumpster pads cannot discharge to storm sewer. 4) Any existing dumpster pad(s) will be required to be contained and directed to a surface drain that is connected to the Sanitary Sewer system at such time that application is made for a Building or Land Disturbance Permit for any work associated with any of the existing structure(s). 5) Any work performed within this development must comply with all Engineering Department Policy Letters.);*
- 4) *Compliance with Traffic Engineering comments (Traffic Engineering approval of this site is contingent upon the construction by the developer/owner of all improvements identified in the study. It should be noted that the improvements include the installation of a traffic signal on Schillinger Road at Thomas Road. Installation of this traffic signal is contingent upon the removal of the traffic signal at Schillinger Road/Glider Road. Signalization changes are also included at the intersection of Airport Boulevard/ Alverson Road, as well as off-site improvements in the median and access changes for the Burger King site. The improvements to the site also include physical changes to the driveway nearest Wendy's, to limit the driveway to right-in, right-out only. Additional driveways on Airport Boulevard and Schillinger Road must either be modified or closed, as discussed in the study, as well as modifications to the median along Airport Boulevard. Design plans for all improvements within the public right-of-way must be approved by Engineering and Traffic Engineering. Upon completion of the Access Management Study underway for this corridor, additional restrictions may be implemented.);*
- 5) *Compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Mobile Tree Commission permit is required before removing any existing trees from the right of way.);*
- 6) *Compliance with Fire comments (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
- 7) *No reduction in the proposed total and frontage landscape area depicted on the site plan submitted for the October 17, 2013 meeting;*

- 8) *No reduction in the proposed number or overstory/understory mix of total and frontage trees, as depicted on the tree and landscape plan approved at the August 8, 2013 Planning Commission meeting;*
- 9) *Donation of 10 overstory trees to the tree bank, as agreed to by the applicant at the August 8, 2013 Planning Commission meeting;*
- 10) *Provision of a revised PUD site plan depicting any changes required by departmental or Planning Commission revisions prior to the request for new construction permits; and*
- 11) *Full compliance with all other municipal codes and ordinances, including the provision of a sidewalk along all street frontages, or the submission of a Sidewalk Waiver request prior to any request for new construction permits.*

The stated purpose of this application is to expand the development site by $0.9 \pm$ acres, reconfigure the proposed new development of the site, and add $7,300 \pm$ square feet of building area to the site.

With the requested changes, the proposed redevelopment of the site will result in a combined building footprint of 273,492 square feet, and 1,160 parking spaces, versus the previously approved PUD of 266,192 square feet and 1,145 parking spaces. As a reminder, the site has an existing strip center that will be redeveloped and expanded and two existing developed out parcels.

It should be pointed out that staff added the parking numbers provided on the site plan, and came up with a different number of parking spaces than noted in the table on the site plan, 1,160 parking spaces, and the 1,210 parking spaces listed on the tree and parking calculations sheet provided by the applicant (*it is estimated that 1,051 parking spaces are required based upon the proposed tenant mix*). If the number of parking spaces and tenant areas labeled on the plan are inaccurate, and on the landscape calculations sheet, both should be revised to list the correct number of spaces and tenant areas.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan will require approval by the Planning Commission.

The site is zoned B-3, General Business District, thus the proposed development is allowed by right. The site abuts an R-3, Multi Family Residential District to the East, but is otherwise adjacent to other B-3 sites.

The site has frontage onto four streets. Two of the streets are major streets: Airport Boulevard, with an existing 140 foot wide right-of-way, and Schillinger Road South, with an existing right-of-way of from 80-feet to 100 feet. The two other streets are minor streets, Thomas Road and

Victoria Drive: no right-of-way dedication will be required due to previously approved Subdivision applications.

A Traffic Impact Study was submitted by the applicant for a previous application, however, Traffic Engineering has requested an updated Traffic Impact Study to reflect the proposed access and circulation changes.

With the expanded area of the PUD, the tree and landscaping requirements also change. The table below lists what is required versus what is provided (LA = landscape area).

	Required	Provided
Total LA in SF	118,415	114,492
Frontage LA in SF	71,049	92,446
Frontage Trees	95	31
Perimeter	89	131
Parking	59	60
Total Trees	243	222

While the applicant only proposes to provide 31 frontage trees, the planted trees will exceed the minimum requirements in terms of caliper and height, and the reduced number was previously approved by the Planning Commission. Furthermore, the applicant agreed to donate 10 overstory trees to the tree bank at the August 8, 2013 Planning Commission meeting, thus this agreement should be retained for the application at hand.

A note on the site plan states that a Sidewalk Waiver will be requested along both Airport Boulevard, Schillinger Road and Thomas Road (but not Victoria Drive, perhaps by oversight), however, an application was not included for consideration with the PUD application. A Sidewalk Waiver application should be submitted prior to any request for permits related to new construction.

RECOMMENDATION

Planned Unit Development: Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) Provision of a revised Traffic Impact Study to both Traffic Engineering and the Planning Section of Urban Development, and acceptance of the findings by Traffic Engineering prior to any new construction or site development;
- 2) No increase in building area or change in parking ratios allowed without a new PUD application;
- 3) Compliance with Engineering comments (*1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and*

- Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. Plan Sheet L-100 shows proposed work on the existing Burger King site that includes parking spaces to be located within the Airport Blvd ROW. These need to be removed from the ROW, or the applicant needs to obtain a Non-Utility ROW Use Agreement For any parking and/or maneuvering spaces within the Public ROW. 3. Any and all proposed land disturbing activity will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. Each Lot Owner shall be required to submit a Land Disturbance Permit application for any proposed land disturbing activity. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 5. Add a note to the PUD Site Plan stating that the proposed development must comply with all Engineering Department Policy Letters. 6. Victoria Drive will need to be improved to a street standard as approved by the City Engineer and Traffic Engineer based on the traffic study (24' curb and gutter section minimum). 7. Revise Landscape Area "A" detail to keep any "pond" areas outside of the Public ROW. 8. All dumpsters, including outside compactors, must meet the requirements of Engineering Policy Letter dated 5-13-2009 related to car washes and dumpster pads by isolating, collecting, and transporting storm water runoff to the Sanitary Sewer system onsite.);*
- 4) *Compliance with Traffic Engineering comments (The traffic impact study will need to be updated for this site, since the proposed building area has increased and additional access is planned on Victoria Drive. The updated study will need to clearly address the access to the existing Alverson Road traffic signal. The submitted site plan does not illustrate the adjacent Burger King site, however the landscape plan does. Access to the traffic signal will need to be maintained for the adjacent site, and changes to the existing adjacent site driveways will need to be incorporated. Traffic Engineering approval of this site is contingent upon the construction by the developer/owner of all improvements identified in the study. It should be noted that the improvements include the installation of a traffic signal on Schillinger Road at Thomas Road. Installation of this traffic signal is contingent upon the removal of the traffic signal at Schillinger Road/Glider Road. Design plans for all improvements within the public right-of-way must be approved by Engineering and Traffic Engineering. Upon completion of the Access Management Study underway for the Schillinger Road corridor, additional restrictions may be implemented. Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 5) *Compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Mobile Tree Commission permit is required before removing any existing trees from the right of way. Preservation status is to be given to the 54" Live Oak Tree located on the North side of development adjacent to Victoria drive. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger. Granting the preservation status will require additional green space to be provided near the 54" Live Oak Tree.);*

- 6) Compliance with Fire comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.*);
- 7) No reduction in the proposed total and frontage landscape area depicted on the site plan submitted for the February 20, 2014 meeting;
- 8) No reduction in the proposed number or overstory/understory mix of total and frontage trees, as depicted on the tree and landscape plan submitted for the February 20, 2014 meeting;
- 9) Donation of 10 overstory trees to the tree bank, as agreed to by the applicant at the August 8, 2013 Planning Commission meeting;
- 10) Revision of parking space quantities to reflect what is actually depicted on the plans, including revision of calculations for tree and landscape compliance;
- 11) Provision of a revised PUD site plan depicting any changes required by departmental or Planning Commission revisions prior to the request for new construction permits; and
- 12) Full compliance with all other municipal codes and ordinances, including the provision of a sidewalk along all street frontages, or the submission of a Sidewalk Waiver request prior to any request for new construction permits.

Revised for the April 3 meeting:

The application was heldover from the March 6 meeting at the applicant's request. No new information has been submitted.

RECOMMENDATION

Planned Unit Development: Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

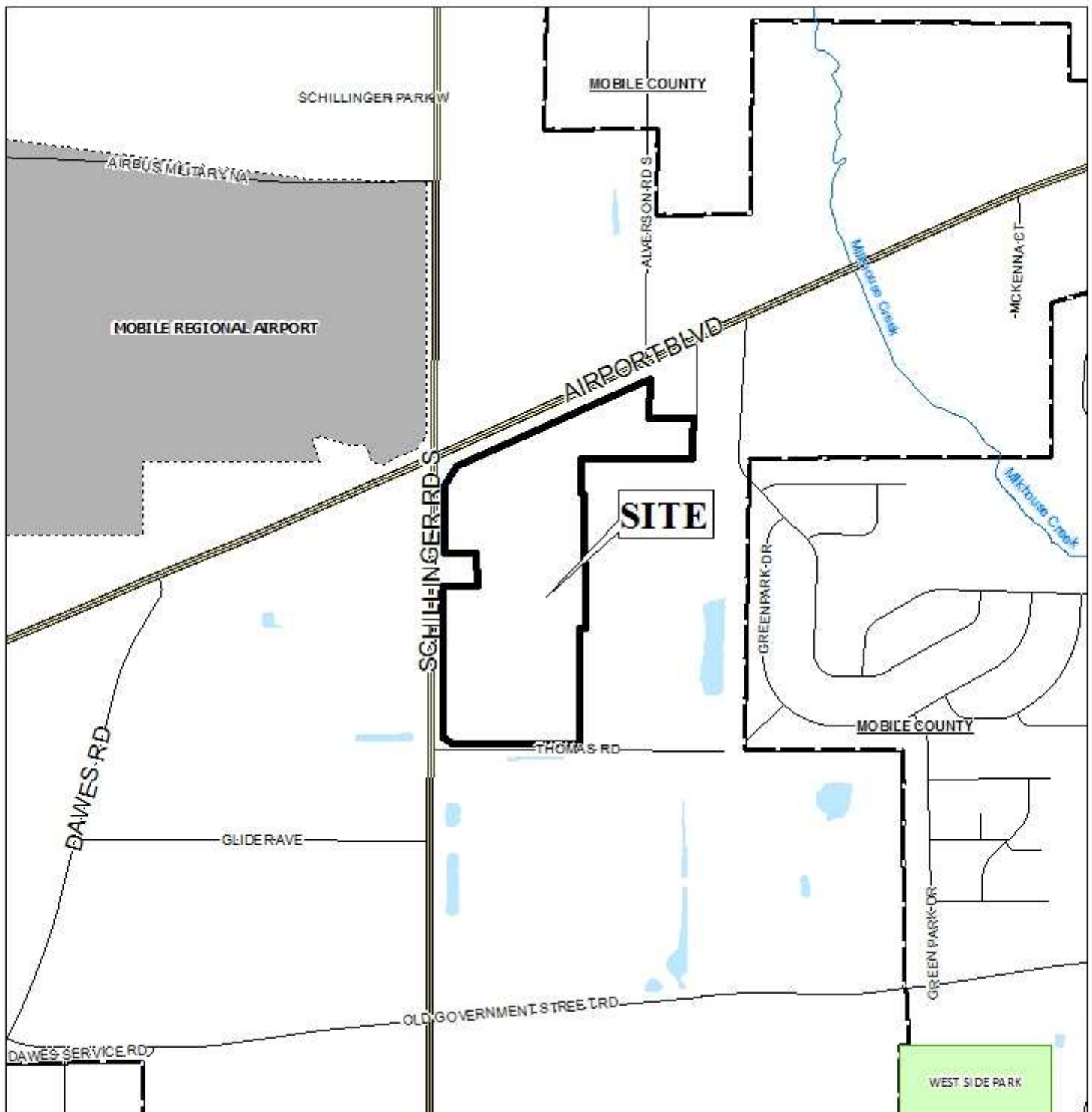
- 1) Provision of a revised Traffic Impact Study to both Traffic Engineering and the Planning Section of Urban Development, and acceptance of the findings by Traffic Engineering prior to any new construction or site development;
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activity. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 5. Add a note to the PUD Site Plan stating that the proposed development must comply with all Engineering Department Policy Letters. 6. Victoria Drive will need to be improved to a street standard as approved by the City Engineer and Traffic Engineer based on the traffic study (24' curb and gutter section minimum). 7. Revise Landscape Area "A" detail to keep any "pond" areas outside of the Public ROW. 8. All dumpsters, including outside compactors, must meet the requirements of Engineering Policy Letter dated 5-13-2009 related to car washes and dumpster pads by isolating, collecting, and transporting storm water runoff to the Sanitary Sewer system onsite.);

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- 11) Provision of a revised PUD site plan depicting any changes required by departmental or Planning Commission revisions prior to the request for new construction permits; and
- 12) Full compliance with all other municipal codes and ordinances, including the provision of a sidewalk along all street frontages, or the submission of a Sidewalk Waiver request prior to any request for new construction permits.

LOCATOR MAP



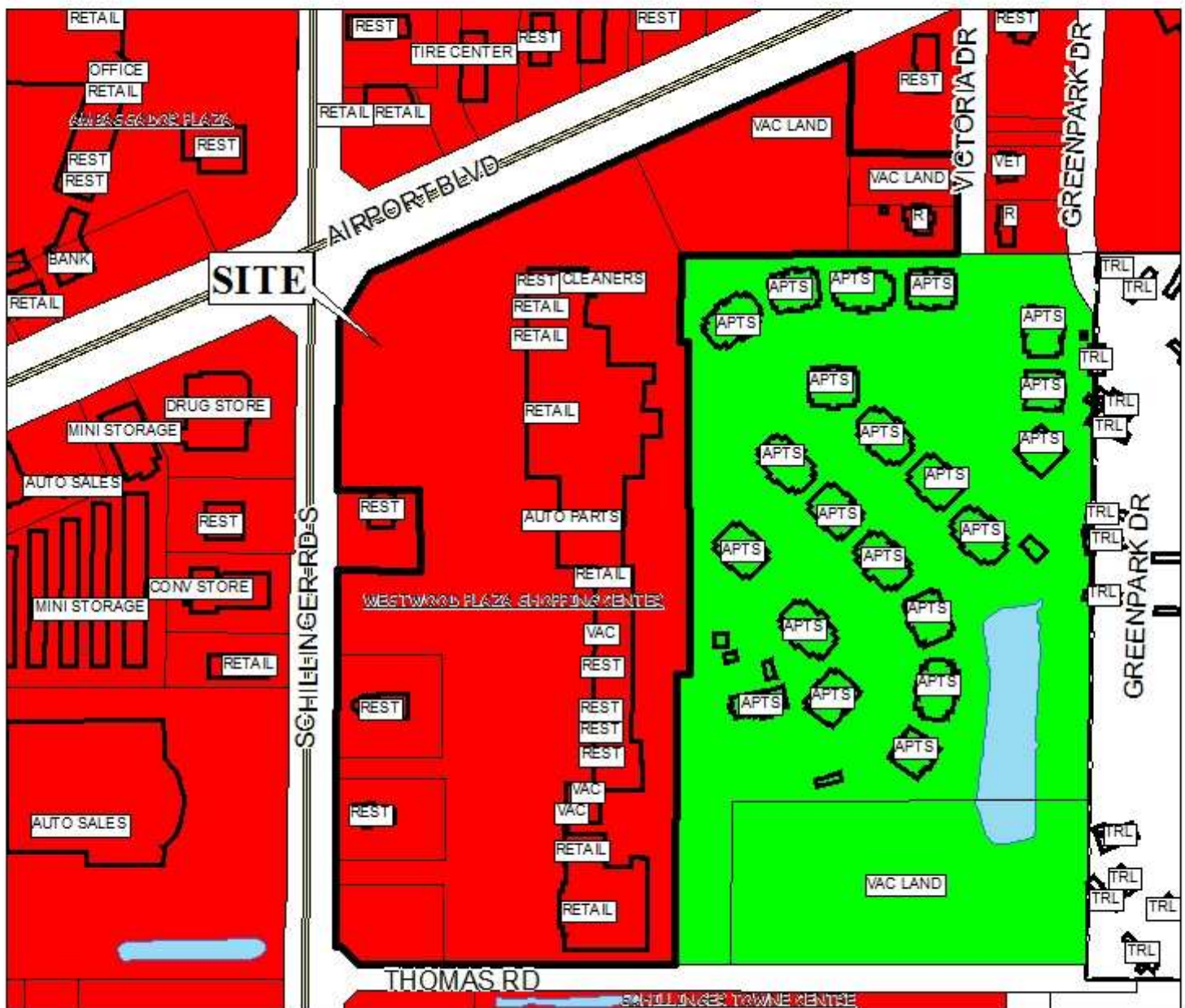
APPLICATION NUMBER 1 DATE April 3, 2014

APPLICANT Westwood Plaza, LLC

REQUEST Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial land use.
Apartments are located to the east of the site.

APPLICATION NUMBER 1 DATE April 3, 2014

APPLICANT Westwood Plaza, LLC

REQUEST Planned Unit Development

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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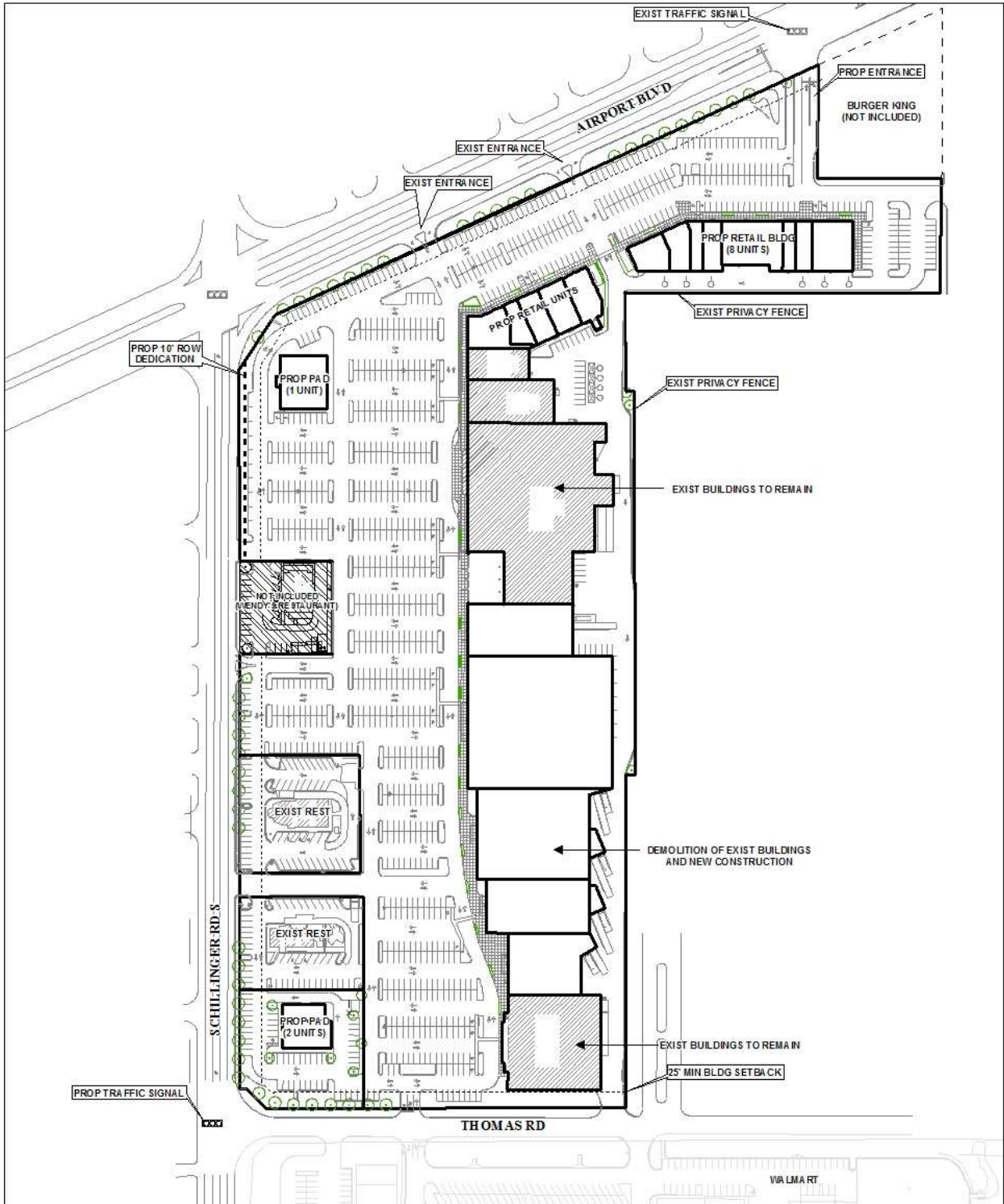
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APPLICANT Westwood Plaza, LLC

REQUEST Planned Unit Development



SITE PLAN



The site plan illustrates the existing development and proposed improvements.

APPLICATION NUMBER 1 DATE April 3, 2014
APPLICANT Westwood Plaza, LLC
REQUEST Planned Unit Development

