

ROBERSON/KNIGHT ESTATES SUBDIVISION **(FORMERLY KNIGHT TRACT SUBDIVISION)**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has **NO** water or sewer services available.

The plat illustrates the proposed 2-lot, 1.0± acre subdivision which is located on the South side of Three Notch Road, 2/10± mile West of Ben Hamilton Road, and is located within the Planning Jurisdiction. The applicant states that the subdivision is served by both public water and individual septic tanks.

The purpose of this application is to create two legal lots of record from one metes and bounds parcel.

The submitted preliminary plat illustrates that there are a couple of existing residences on the proposed Lot 1, and one existing residence on the East side of the proposed Lot 2 that also partially sits on the adjacent Lot 2 of Roberson Estates and another metes and bounds parcel.

The preliminary plat should be revised to illustrate the existing dwelling that sits partially on the proposed Lot 2 as being located entirely on a single lot. This will require the submission of a revised preliminary plat, additional mailing labels, and additional application fees.

The applicant has requested the Subdivision application be heldover until the August 2, 2012 meeting in order to make the necessary corrections to the preliminary plat to illustrate the residence on the proposed Lot 2 located entirely on one legal lot of record.

Based upon the preceding, this application is recommended for Holdover until the August 2, 2012 meeting so that the applicant can submit additional information by July 12, 2012 and comply with the following:

- 1) revision of the plat to illustrate the residence on the proposed Lot 2 entirely on one legal lot of record; and
- 2) submittal of additional mailing labels and application fees.

Revised for the August 2, 2012 meeting:

The application was heldover from the July 5, 2012 meeting at the applicant's request to allow the applicant time to revise the site plan and submit additional mailing labels and fees. The applicant submitted a request to rename the subdivision to Roberson-Knight Estates and that the application be heldover until the October 4, 2012 meeting to allow time to make the needed corrections to the subdivision.

Based upon the preceding, this application is recommended for Holdover until the October 4, 2012 meeting so that the applicant can submit additional information by September 13, 2012 and comply with the following:

- 1) revision of the plat to illustrate the residence on the proposed Lot 2 entirely on one legal lot of record; and*
- 2) submittal of additional mailing labels and application fees.*

Revised for the October 4, 2012 meeting:

The application was heldover from the August 2, 2012 meeting at the applicant's request to allow the applicant time to revise the site plan and submit additional mailing labels and fees. The applicant has since submitted a revised site plan as well as additional mailing labels and fees.

The currently proposed plat illustrates a 3-lot, 3.2± acre subdivision. The revised plat illustrates that all structures will be located on a singular piece of property with the currently proposed configuration, with the exception of a single shed that has a note that says "shed to be moved off of property line".

The lot sizes are labeled in square feet and acres on the preliminary plat. This information should be retained on the Final Plat, if approved.

The site is located on Three Notch Road, which is a major street. As a major street, there should be a 100' right-of-way. The plat depicts the right-of-way for Three Notch Road as 80', and illustrates a 10' wide strip of land to be dedicated to provide 50' from the centerline.

A 25' minimum building setback line is indicated on the preliminary plat and should also be illustrated on the Final Plat.

As a mean of access management, a note should be placed on the Final Plat limiting each lot to one curb cut to Three Notch Road, with the size, design, and location of the curb cut to be approved by Mobile County Engineering and conform to AASHTO standards.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. The note regarding this requirement should also appear on the Final Plat, if approved.

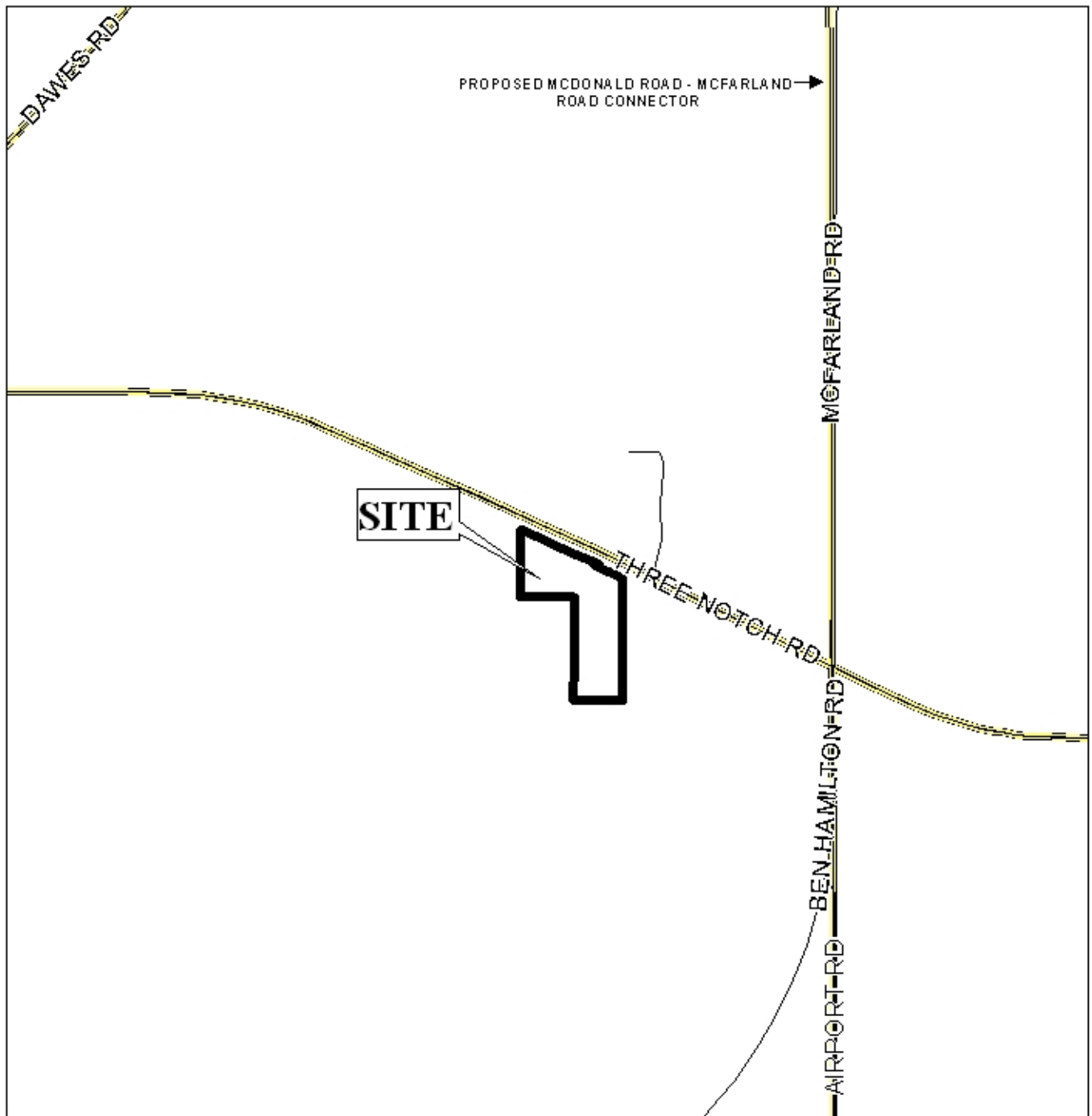
The site must comply with the City of Mobile storm water and flood control ordinances. Therefore, a note stating “Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.” should be placed on the Final Plat.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note reflecting this requirement should appear on the Final Plat.

Based upon the preceding, this application is recommended for tentative approval, subject to the following conditions:

- 1) dedication to provide 50' from the centerline of Three Notch Road;*
- 2) retention of the 25' minimum building setback line from Three Notch Road;*
- 3) retention of the lot size, in square feet and acres, or provision of a table on the Final Plat with the same information;*
- 4) show that the shed on the property line with the note “shed to be moved off of property line” has been moved off of the property line;*
- 5) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;*
- 6) placement of a note on the Final Plat stating the site must comply with the City of Mobile storm water and flood control ordinances: (Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.);*
- 7) compliance with Fire Department comments (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
- 8) placement of a note on the Final Plat limiting each lot to one curb cut to Three Notch Road, with the size, design, and location of the curb-cut to be approved by Mobile County Engineering and conform to AASHTO standards; and*
- 9) placement of a note on the Final Plat stating that approval of all applicable federal, state, and local agencies is required for endangered, threatened, or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.*

LOCATOR MAP



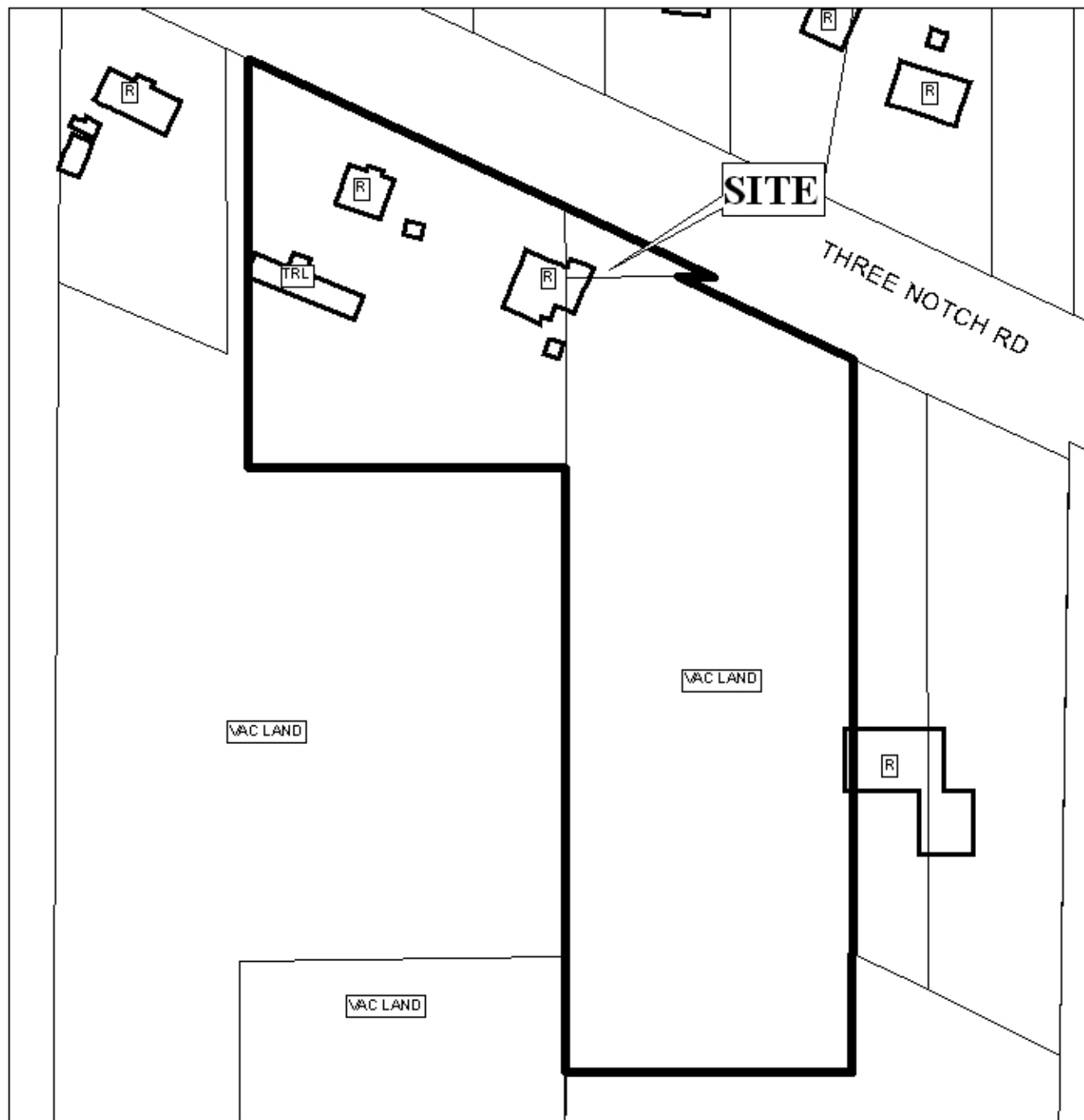
APPLICATION NUMBER 1 DATE October 4, 2012

APPLICANT Roberson/Knight Tract Subdivision (formerly Knight Tract Subdivision)

REQUEST Subdivision



ROBERSON/KNIGHT TRACT SUBDIVISION (FORMERLY KNIGHT TRACT SUBDIVISION)



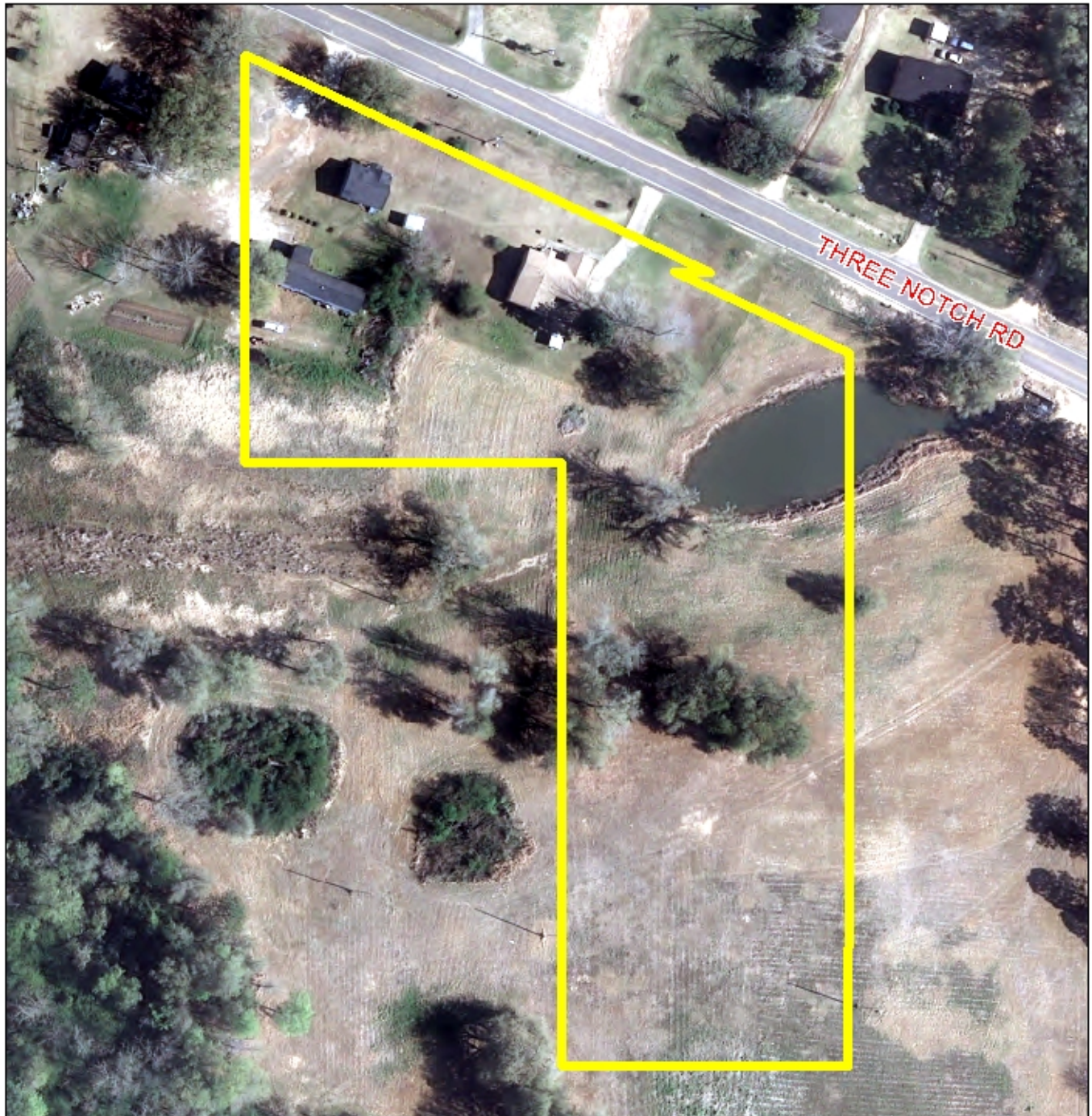
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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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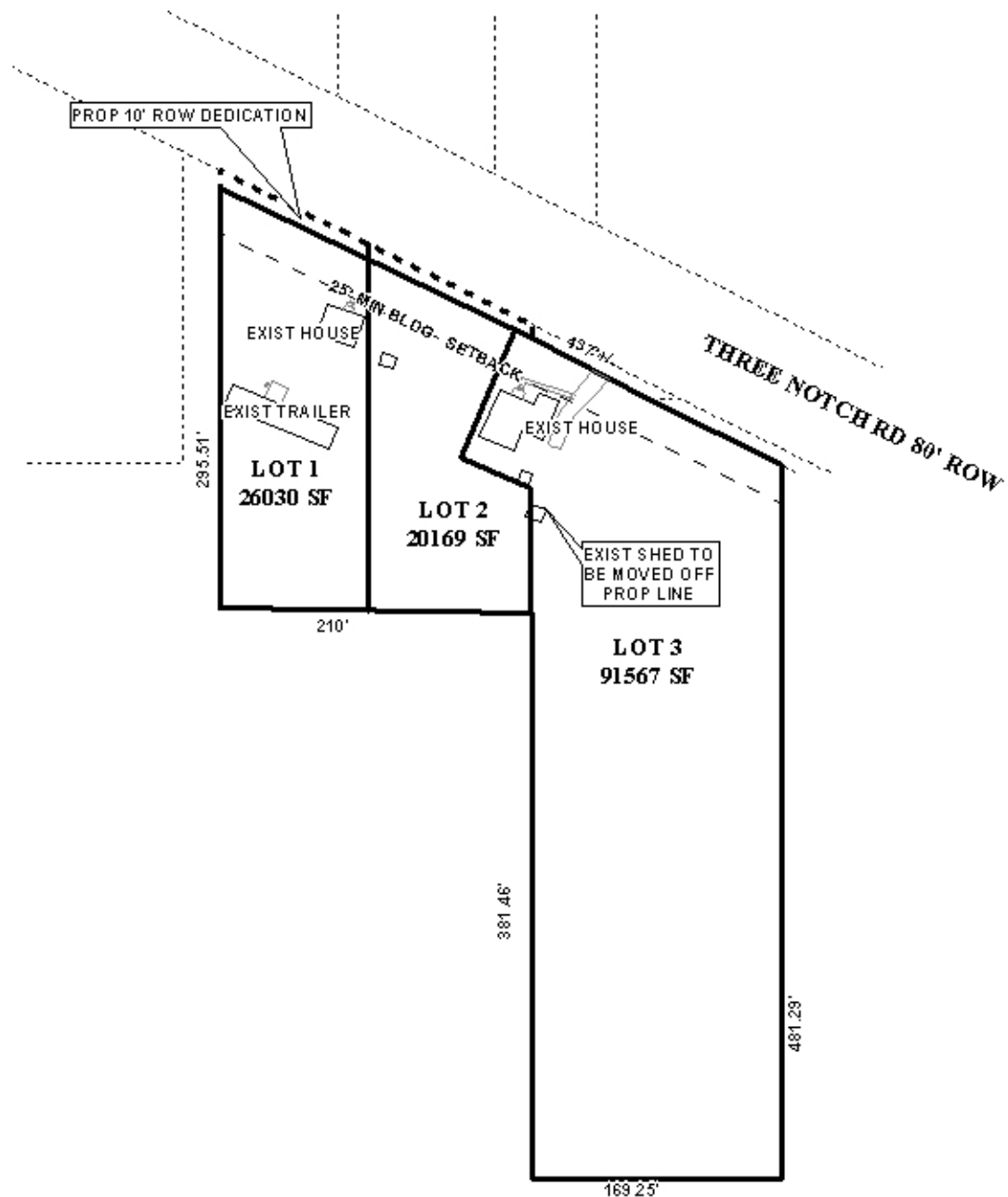
**ROBERSON/KNIGHT TRACT SUBDIVISION
(FORMERLY KNIGHT TRACT SUBDIVISION)**



APPLICATION NUMBER 1 DATE October 4, 2012



DETAIL SITE PLAN



APPLICATION NUMBER 1 DATE October 4, 2012
APPLICANT Roberson/Knight Tract Subdivision (formerly Knight Tract Subdivision)
REQUEST Subdivision

