

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: March 17, 2016****DEVELOPMENT NAME**

Johnny's RV Park Subdivision

LOCATION

3741, 6021, 6049 and 6075 Middle Road and 5684 & 5688
U.S. Highway 90 West
(East side of Middle Road, 400'± North of Plantation Road,
extending to the East side of U.S. Highway 90 West)

**CITY COUNCIL
DISTRICT**

District 4

PRESENT ZONING

B-3, Community Business District

AREA OF PROPERTY

3 Lots / 12.9 ± Acres

CONTEMPLATED USE

Planned Unit Development Approval to allow multiple
buildings on a single building site along with shared access
and parking between building sites.

**TIME SCHEDULE
FOR DEVELOPMENT**

None provided

**ENGINEERING
COMMENTS***ADD THE FOLLOWING NOTES TO THE PUD SITE**PLAN:*

- 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).*
- 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.*
- 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.*
- 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land*

Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.

5. *The proposed development must comply with all Engineering Department design requirements and Policy Letters.*

TRAFFIC ENGINEERING

COMMENTS

Each lot is limited to one curb cut to Middle Road, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. ALDOT approval is required for any changes to the right-of-way of US Highway 90. Parking and backing into the right-of-way is not recommended. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).

Revised for the March 17th meeting:

As required by the City of Mobile Fire ordinance, the IFC 2012 sections 503 & Appendix D fire access roads are required and shall meet the requirements set by the Code.

"20 ft. wide, paved asphalt or concrete."

REMARKS

The plat illustrates the proposed 11.8± acre, 2-lot subdivision which is located on the East side of Middle Road, 400'± North of Plantation Road, and is in Council District 4. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create two legal lots of record from three legal lots of record and a single metes-and-bounds parcel. Two of the lots included in the current application were approved at the Planning Commission's December 21, 2006 meeting when the site was in the Planning Jurisdiction.

The site has frontage onto Middle Road, a minor street with asphalt wing curb and gutter. Middle Road is illustrated as having a compliant, existing 50' right-of-way, making no dedications necessary.

The 25-foot minimum building setback line, required in Section V.D.9. of the Subdivision Regulations, is shown on the preliminary plat, and should be retained on the Final Plat, if approved.

The proposed Lot 1 appears to be occupied by an RV repair facility, with a small area used as an RV park, although there is no business license history for its operation. The proposed subdivision will result in the proposed Lot 1 being occupied by multiple buildings; therefore a Planned Unit Development application should be submitted. Based on aerial photos of the site, it also appears that the RV facility has aggregate surfacing, and may extend onto a portion of an adjacent lot not owned by the applicant. If the RV facility does extend onto adjacent property, the Subdivision application should be revised to include the entire RV facility, with any additional mailing labels and fees required. It should also be noted that an RV facility typically requires Planning Approval in a B-3, Community Business District; therefore a Planning Approval application should be submitted if the existing RV park portion is to be expanded or continued in use.

The proposed Lot 2 is currently occupied by a single-family dwelling and three mobile homes for 25 years or more according to non-conforming documentation on file with the Planning & Zoning Department from 2013.

The proposed lot sizes are provided in square feet and acres, and meet the minimum required lot size of 7,200 square feet in Section V.D.2. of the Subdivision Regulations. If approved, this information should be retained on the Final Plat.

As a means of access management, both lots should each be limited to one curb-cut each to Middle Road, with driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Based upon the preceding, the application is recommended for Holdover to the March 17th meeting, with revisions due by February 26th to address the following:

- 1) revision of the Subdivision application to include all property the RV facility occupies with additional mailing labels and fees as appropriate;
- 2) submittal of a Planned Unit Development application due to multiple buildings and cross property access; and
- 3) submittal of a Planning Approval application, if the existing RV park aspect is to be expanded or continued.

Revised for the March 17th meeting:

The application was heldover from the February 18th meeting to allow the applicant to revise the proposed Subdivision to include all property the existing RV facility occupies, to submit a Planned Unit Development to allow multiple buildings on a single building site, and submittal of a Planning Approval application for the potential RV park.

The applicant did not revise the Subdivision, nor was a Planning Approval application submitted. The applicant did, however, submit a Planned Unit Development application which includes the entire RV facility.

The applicant states that this is a storage facility only for inventory of RVs, however, there are at least nine concrete slabs with associated electricity and sewage connections making the site potentially able to be used as an RV park, which would require Planning Approval in a B-3, Community Business District. In order to prevent the use as an RV park without appropriate approvals, the electric and sewer connections should be removed from the concrete slabs.

The submitted site plan illustrates the proposed Lot 1 as having shared access and parking with two legal lots of record that front onto U.S. Highway 90 West. There are two existing structures on the proposed Lot 1 that are to be removed from the site, as well as a new 9,000 square foot building to be constructed. The applicant states that there are several warehouses on the site, but does not specify which building are warehouses, how many warehouse employees there are, or if there is any office space on site, making it difficult for staff to determine if the minimum amount of required parking is to be provided.

The majority of the site is currently surfaced with gravel, and the applicant wishes to expand the gravel surfacing into a currently undeveloped area on the South of the site. A variance application has been submitted to allow the use of gravel surfacing on the site, and will be heard at the Board of Zoning Adjustment's April 4, 2016 meeting. It should be noted, however, that the extent of aggregate surfacing shown of the Planned Unit Development site plan differs from the area depicted on the site plan submitted with the variance application.

The proposed gravel area on the South of the site has 56 parking spaces illustrated, however, because gravel surfacing does not allow for striping to identify parking spaces, bumper stops should be provided, if the area will indeed be allowed to be surfaced with gravel.

No information is provided on the site plan regarding tree planting and landscape area. Because of the proposed redevelopment of Lot 1, the lot should be required to fully comply with landscaping and tree planting requirements, with the exception of perimeter trees along the interior property line shared with the Planned Unit Development. The lots fronting U.S. Highway 90 West should be required to fully comply with landscaping and tree planting requirements at such a time as they are redeveloped by 50% or more.

The proposed site plan does not indicate a dumpster on the site. If approved, the site plan should be revised to indicate either a dumpster connected to sanitary sewer and an enclosure in compliance with Section 64-4.D.9. of the Zoning Ordinance, or placement of a note stating that curb-side pickup will be utilized.

RECOMMENDATION

Subdivision: *The Subdivision request is recommended for Tentative Approval, subject to the following conditions:*

- 1) retention of the 25' minimum building setback line;*
- 2) retention of the lot sizes in square feet and acres;*

- 3) *placement of a note on the site plan stating that both lots should each be limited to one curb-cut each to Middle Road, with driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;*
- 4) *full compliance with the Traffic Engineering comments (Each lot is limited to one curb cut to Middle Road, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. ALDOT approval is required for any changes to the right-of-way of US Highway 90. Parking and backing into the right-of-way is not recommended. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 5) *full compliance with Engineering comments (The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Label the existing parcels listed in the written legal description. C. Clarify or correct the written legal description to include the resubdivision of Farm 55. D. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. E. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 20 - #92) the Lot(s) will receive the following historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control). Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application. F. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. G. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. H. Remove the County Engineer's signature block from the Plat. As you know the County Engineer no longer signs plats within the municipal limits of the City of Mobile. I. Provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures. J. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature);*
- 6) *compliance with Fire Department comments (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code);*
- 7) *compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).);and*
- 8) *completion of the Planned Unit Development application process prior to the signing of the Final Plat.*

Planned Unit Development: *The Planned Unit Development request is recommended for Holdover to the April 21st meeting, with revisions due by March 31st to address the following:*

- 1) *revision of the site plan to indicate the use of each building as well as the number of warehouse employees;*

- 2) *revision of the site plan to illustrate full compliance with tree plantings and landscaped area with the exception of perimeter trees along the interior property line shared with the Planned Unit Development for the proposed Lot 1;*
- 3) *illustration of bumper stops for the proposed gravel parking spaces on the South of the site or explain need;*
- 4) *indicate either a dumpster connected to sanitary sewer and an enclosure in compliance with Section 64-4.D.9. of the Zoning Ordinance, or placement of a note stating that curb-side pickup will be utilized;*
- 5) *compliance with Engineering comments (ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.);*
- 6) *compliance with Traffic Engineering comments (Each lot is limited to one curb cut to Middle Road, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. ALDOT approval is required for any changes to the right-of-way of US Highway 90. Parking and backing into the right-of-way is not recommended. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 7) *compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).);*
- 8) *compliance with Fire Department comments (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC). As required by the City of Mobile Fire ordinance, the IFC 2012 sections 503 & Appendix D fire access roads are required and shall meet the requirements set by the Code. "20 ft. wide, paved asphalt or concrete."); and*
- 9) *depiction of aggregate areas to coincide with the Board of Zoning Adjustment site plan.*

Revised for the April 21st meeting:

The Planned Unit Development application was heldover at the Planning Commission's March 17th agenda, to allow the applicant to make revisions to the site plan. The applicant's proposed subdivision was granted tentative approval, subject to the completion of the Planned Unit Development process.

While a revised site plan (without supporting narrative) was submitted which illustrates some of the requested revisions, the two lots fronting U.S. Highway 90 West are no longer illustrated on the plan as part of the PUD, nor was any information provided to indicate the use of each building as well as the number of warehouse employees. The two lots fronting U.S. Highway 90 West must be included in the PUD if cross-access and RV storage/parking will continue, or the site plan should depict blocking of cross-access.

The site plan was revised to illustrate full compliance with tree plantings and overall landscape area; however, it appears that the site will be significantly short on front landscape area, with only 41.3% of required front landscape area proposed to be provided. While there is some flexibility permitted in the PUD process, the proposed 9,000 square foot warehouse near Middle Road could be moved further away from the street to allow for a greater level of compliance, if not full compliance, with all landscape area requirements. Also, while the site plan indicates an overabundance of overall landscape areas, it should be noted that most, if not all, of the area included in this calculation appears to be surfaced with gravel. While areas with gravel surfacing may be counted as landscape area, it should be separated from the rest of the project site with either curbing or bumper stops to prevent it from also being used as parking, storage, or maneuvering.

Finally, it appears that the illustrated asphalt drive, which will connect Lot 1 with the U.S. Highway 90 West lots, is still shown to be a sub-standard width for fire access, and should be revised to be no less than 20' wide.

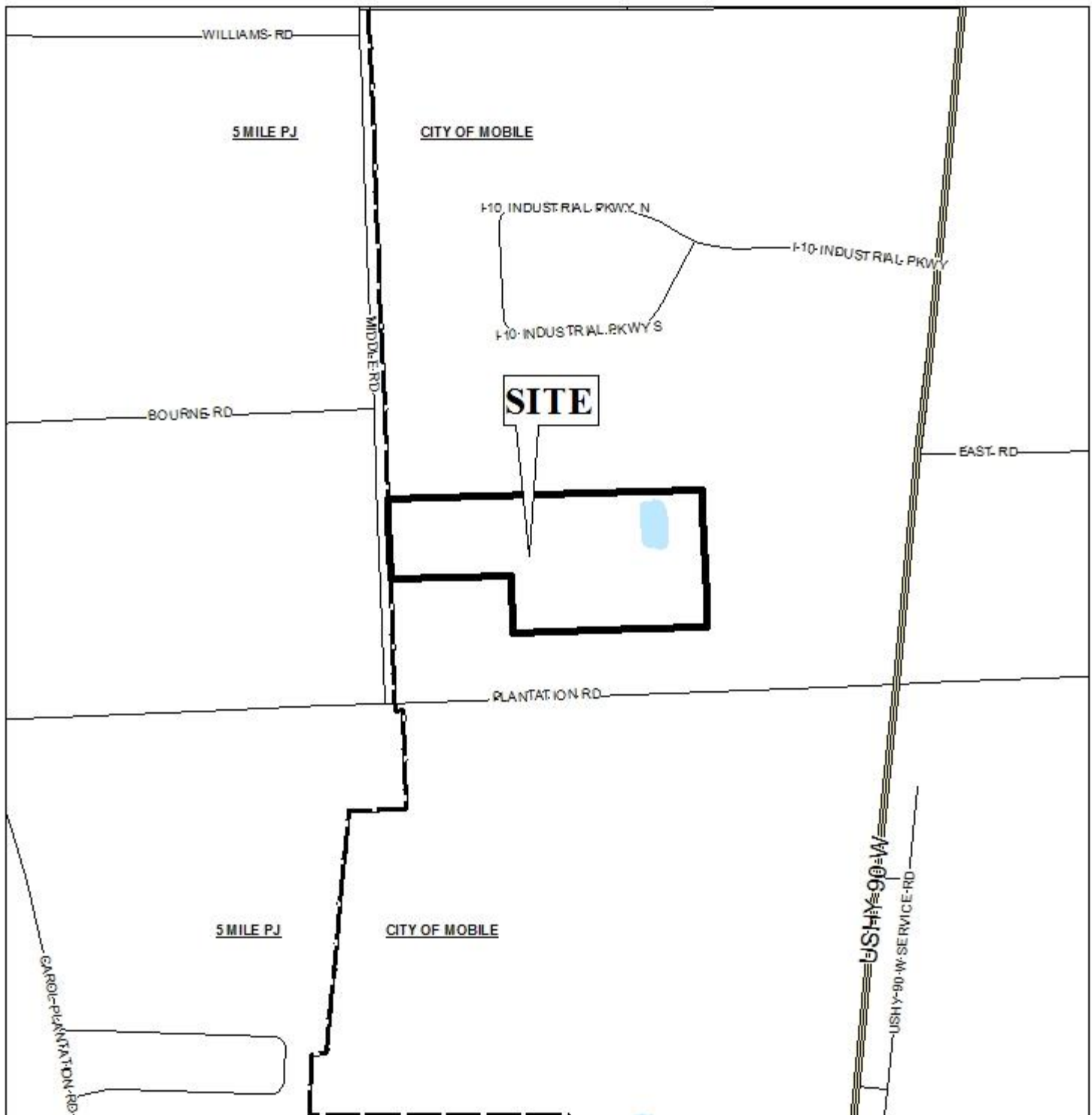
As revised, the PUD site plan still has numerous deficiencies. Staff cannot, therefore, recommend approval.

RECOMMENDATION

The Planned Unit Development request is recommended for Denial due to the following:

- 1) the site plan does not illustrate the inclusion of the two lots on U.S. Highway 90 West;*
- 2) the applicant did not provide the use of each building or the number of warehouse employees;*
- 3) the site plan indicates that less than half of the required front landscape area will be provided; and*
- 4) the asphalt drive illustrated on the site plan is sub-standard width for fire access.*

LOCATOR MAP



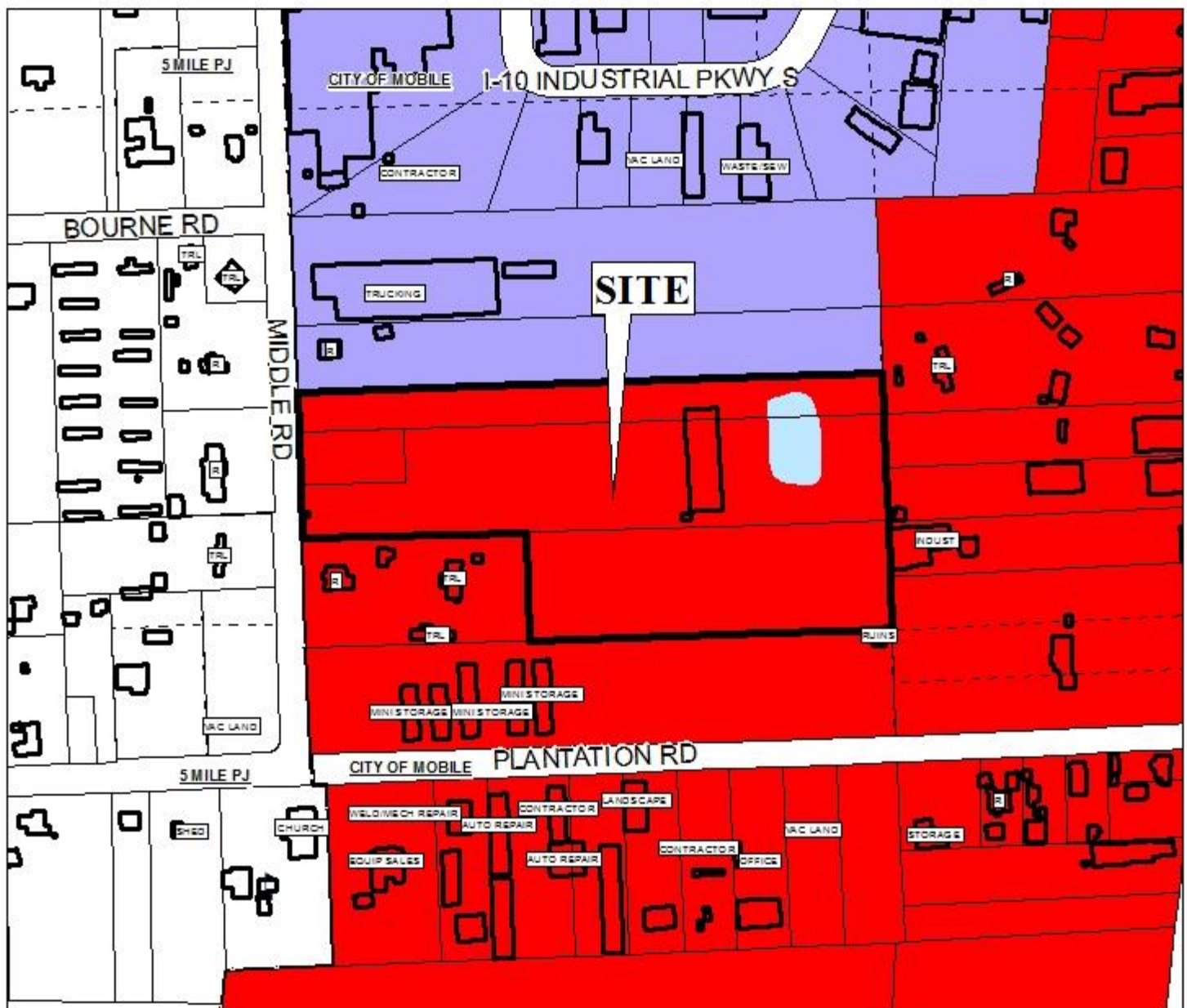
APPLICATION NUMBER 1 DATE April 21, 2016

APPLICANT Johnny's RV Park Subdivision

REQUEST Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units to the west, industrial units to the north, and commercial units to the south.

APPLICATION NUMBER 1 DATE April 21, 2016

APPLICANT Johnny's RV Park Subdivision

REQUEST Planned Unit Development

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units to the west, industrial units to the north, and commercial units to the south.

APPLICATION NUMBER 1 DATE April 21, 2016

APPLICANT Johnny's RV Park Subdivision

REQUEST Planned Unit Development



SITE PLAN



The site plan illustrates the existing buildings, existing drive, setback, proposed building, proposed gravel area, and proposed ditch.

APPLICATION NUMBER 1 DATE April 21, 2016

APPLICANT Johnny's RV Park Subdivision

REQUEST Planned Unit Development



NTS