

**PLANNING APPROVAL,
PLANNED UNIT DEVELOPMENT &
SUBDIVISION STAFF REPORT****Date: December 3, 2015**

<u>NAME</u>	Inner Peace Subdivision
<u>SUBDIVISION NAME</u>	Inner Peace Subdivision
<u>LOCATION</u>	2354 & 2410 Eloong Drive (East terminus of Eloong Drive)
<u>CITY COUNCIL DISTRICT</u>	District 3
<u>PRESENT ZONING</u>	R-1, Single-Family Residence District
<u>AREA OF PROPERTY</u>	1 Lot / 6.72± Acres
<u>CONTEMPLATED USE</u>	Planning Approval to allow a meditation center in an R-1, Single-Family Residential District, Planned Unit Development approval to allow multiple buildings on a single building site, and Subdivision approval to create one legal lot of record.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	None provided

ENGINEERING**COMMENTS**

Subdivision: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Add a correct vicinity map.
- C. Add a north arrow.
- D. The Preliminary Subdivision Plan has numerous lines shown that do not seem to indicate existing or proposed lot or parcel lines. Please clarify and correct.
- E. Label all of the Lot(s) for the proposed subdivision.
- F. The legal description provided does not seem to coincide with the written bearings and distances provided on the map. Review and revise the written legal description and/or written bearings and distances.
- G. It is recommended to revise the Subdivision Name to include "Resubdivision of ..." to include the existing subdivision lots being resubdivided.

- H. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
- I. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the Southwest and Northwest corners of the proposed subdivision where it is located within the existing roadway (Eloong Drive).
- J. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation.
- K. Show and label each and every Right-Of-Way, easement, and exception.
- L. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- M. Provide the Surveyor's Certificate and Signature.
- N. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- O. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- P. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 26 - #90) the Lot(s) will receive the following historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control. Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application.
- Q. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- R. It is required that the applicant provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures.
- S. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Planned Unit Development: According to the FEMA flood map information, this property is located within a Special Flood Hazard Area. You will need to show and label the flood hazard area(s) on your plat and plans. Also, you will need to list the Minimum Finished Floor Elevation (MFFE) for each lot.

ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

- 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
- 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.

3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

Lot is limited to one curb cut to Eloong Drive, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. Required parking spaces must be delineated with bumper stops if gravel surface is approved. The owner/developer is responsible for ADA accessibility, which should require asphalt/concrete surface for the designated space(s) and the path to the building with any future development.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

Regarding Fire access Roads and fire water supplies the following apply. Other requirements not listed here may also apply. This is only some of the requirements of the City of Mobile fire code requirements, but it should be helpful in site planning.

IFC 2012

SECTION 503 FIRE APPARATUS ACCESS ROADS

503.1 Where required.

Fire apparatus access roads shall be provided and maintained in accordance with Sections 503.1.1 through 503.1.3.

507.5 Fire hydrant systems.

Fire hydrant systems shall comply with Sections 507.5.1 through 507.5.6.

507.5.1 Where required.

Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.

SECTION D101 GENERAL

D101.1 Scope.

Fire apparatus access roads shall be in accordance with this appendix and all other applicable requirements of the International Fire Code.

SECTION D102 REQUIRED ACCESS**D102.1 Access and loading.**

Facilities, buildings or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds (34 050 kg).

SECTION D103 MINIMUM SPECIFICATIONS**D103.1 Access road width with a hydrant.**

Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet (7925 mm), exclusive of shoulders (see Figure D103.1).

D103.4 Dead ends.

Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) shall be provided with width and turnaround provisions in accordance with Table D103.4.

REMARKS

The applicant is requesting Planning Approval to allow a meditation center in an R-1, Single-Family Residential District, Planned Unit Development approval to allow multiple buildings on a single building site, and Subdivision approval to create one legal lot of record. Religious facilities require Planning Approval when located in R-1 districts.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

It is very important to note that the Planning Approval and Planned Unit Developments are site plan specific; therefore any future changes to the overall site plan must be submitted for PA and PUD review. Additionally, if the scope of operations for the meditation center or the site plan is changed from what is approved by the Planning Commission, a new application for Planning Approval will be required.

The applicant wishes to modify an existing residential property to accommodate a religious meditation center. The site is currently occupied by two dwelling units, a greenhouse and a boat

house; and the applicant proposes the construction of two 2,000 square foot cottages with four bedrooms each, a 600 square foot restroom facility, a 2,400 square foot meditation center, and associated parking.

The proposed two four-bedroom cottages which are in addition to retaining two existing dwellings on the site for a total of 4 dwelling units are to be used to house transient religious clergymen. This is considered an accessory use to the primary function of the site as a religious meditation facility; however it should be noted that if the dwelling units were to be occupied by a person not associated with the religious nature of the site, that would be a violation of the Zoning Ordinance.

The site plan illustrates existing asphalt driveways and an existing gravel driveway on the site, however it should be noted that none of the existing driveways meet the minimum required width of 24' for two-way traffic. The applicant has submitted a variance application to allow the use of gravel surfacing which will be heard at the Board of Zoning Adjustment's November 2, 2015 meeting. Per Fire Department comments, the site plan should be revised to reflect 26' wide driveways paved with asphalt or concrete, unless the surfacing variance is approved.

Because the site is transitioning from a residential use to a commercial use, the site should be required to fully comply with all landscaping and tree planting requirements. The site plan indicates that the site will have ample amounts of landscape area; however no trees are illustrated on the site plan. The applicant states that there are 24" or larger trees on the site; but none of them are illustrated on the site plan. The site plan should be revised to reflect this requirement, if approved.

The site plan depicts a 10' wide vegetated residential buffer around the perimeter of the site, but as none of the existing vegetation is illustrated on the site plan, staff is unable to verify if this buffer is adequate to comply with Section 64-4.D.1. of the Zoning Ordinance.

The site plan provides parking calculations stating that parking will be provided for 8 dwelling units, and a 1 parking space per 100 square feet ratio was used to determine parking required for the meditation center. It should be noted that because of the religious nature of the proposed facility, the parking requirements should be based on the occupancy of the structure. If the structure will have a total occupancy load of more than 50 individuals (excluding hallways and bathrooms), the International Building Code classifies the proposed use as assembly. To determine the amount of required parking, the applicant should provide a floor plan of the proposed 2,400 square foot meditation center. The floor plan should illustrate restrooms and hallways, and their square footage. It should also illustrate areas used for meditation and if there will be fixed seating (or designated space per person), or standing room. Even though the applicant may anticipate only 30 individuals at one time, since the approvals are for the use and the site, not a particular entity, the staff and Planning Commission should also consider that another entity with higher attendance may occupy the property at some future date. Therefore, calculations should be based on maximum capacity or occupancy load. Based on the number of proposed parking spaces, the applicant will be required to submit a photometric site plan at the time of permitting to insure that the site will comply with the requirements of 64-6.A.8. of the Zoning Ordinance.

No dumpsters are illustrated on the site plan, nor is a note stating the site will use curb-side pickup. It should be noted that any dumpsters on site should be connected to sanitary sewer and have a dumpster enclosure compliant with Section 64-4.D.9. of the Zoning Ordinance.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

Regarding the Subdivision, the site plan does not provide the proposed lot size in square feet or acres. It should be noted that the lot size exceeds the minimum requirements of Section V.D.2. of the Subdivision Regulations. If approved, the lot size should be provided on the Final Plat in square feet and acres.

The site fronts onto Eloong Drive, a minor road without curb and gutter, and an unopened right-of-way associated with Park Place. The right-of-way width illustrated for Eloong Drive is 40-feet, making dedication necessary to provide 30' from the centerline of Eloong Drive. The site is located at a bend in Eloong Drive, making dedication of the curb radii necessary per Section V.D.16. of the Subdivision Regulations. Due to the fact that the site is located at the terminus an unopened portion of Park Place, dedication may not be necessary despite the sub-standard width of the associated right-of-way.

It should be noted that the vicinity map on the preliminary plat indicates the wrong site, and should be revised to show the correct location of the subject property, if approved.

The 25' minimum setback is not illustrated on the preliminary plat, and should be provided along all frontages, if approved.

Access for the proposed lot should be limited to the existing curb-cut onto Eloong Drive with any changes to the size, design and location to be approved by Traffic Engineering, and should comply with AASHTO standards.

RECOMMENDATION

Subdivision: The request is recommended for Holdover until the November 19, 2015 meeting, so that the following revisions can be made by November 2, 2015:

- 1) dedication to provide 30' from the centerline of Eloong Drive;
- 2) dedication of curb radii along Eloong Drive;
- 3) revision of the driveways to reflect a minimum width of 26' per Fire Department comments;
- 4) compliance with Engineering comments (*The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:*
A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes,

legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Add a correct vicinity map. C. Add a north arrow. D. The Preliminary Subdivision Plan has numerous lines shown that do not seem to indicate existing or proposed lot or parcel lines. Please clarify and correct. E. Label all of the Lot(s) for the proposed subdivision. F. The legal description provided does not seem to coincide with the written bearings and distances provided on the map. Review and revise the written legal description and/or written bearings and distances. G. It is recommended to revise the Subdivision Name to include "Resubdivision of ..." to include the existing subdivision lots being resubdivided. H. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information. I. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the Southwest and Northwest corners of the proposed subdivision where it is located within the existing roadway (Eloong Drive). J. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation. K. Show and label each and every Right-Of-Way, easement, and exception. L. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. M. Provide the Surveyor's Certificate and Signature. N. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. O. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. P. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 26 - #90) the Lot(s) will receive the following historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control). Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application. Q. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. R. It is required that the applicant provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures. S. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);

- 5) compliance with Traffic Engineering comments (Lot is limited to one curb cut to Eloong Drive, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. Required parking spaces must be delineated with bumper stops if gravel surface is approved. The owner/developer is responsible for ADA accessibility, which should require asphalt/concrete surface for the designated space(s) and the path to the building with any future development.);
- 6) illustration of all trees 24" or larger on the site with species identified;
- 7) illustration of full compliance with tree planting and landscape area requirements;

- 8) depiction of trees making up proposed residential buffer to insure it complies with Section 64-4.D.1. of the Zoning Ordinance;
- 9) depiction of the 25-foot minimum building setback line along all frontages; and
- 10) provide square feet and acres of proposed lot size.

Planned Unit Development: The request is recommended for Holdover until the November 19, 2015 meeting, so that the following revisions can be made by November 2, 2015:

- 1) dedication to provide 30' from the centerline of Eloong Drive;
- 2) dedication of curb radii along Eloong Drive;
- 3) provision of the floor plan of the proposed 2,400 square foot meditation facility with the occupancy loads provided (excluding hallways and bathrooms);
- 4) revision of the driveways to reflect a minimum width of 26' per Fire Department comments;
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- 7) compliance with Fire Department comments (*Regarding Fire access Roads and fire water supplies the following apply. Other requirements not listed here may also apply. This is only some of the requirements of the City of Mobile fire code requirements, but it should be helpful in site planning. IFC 2012 SECTION 503 FIRE APPARATUS ACCESS ROADS 503.1 Where required. Fire apparatus access roads shall be provided and maintained in accordance with Sections 503.1.1 through 503.1.3. 507.5 Fire hydrant systems. Fire hydrant systems shall comply with Sections 507.5.1 through 507.5.6. 507.5.1 Where required. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. SECTION D101 GENERAL D101.1 Scope. Fire apparatus access roads shall be in accordance with this appendix and all other applicable requirements of the International Fire Code. SECTION D102 REQUIRED ACCESS D102.1 Access and loading. Facilities, buildings or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds (34 050 kg). SECTION D103 MINIMUM SPECIFICATIONS D103.1 Access road width with a hydrant. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet (7925 mm), exclusive of shoulders (see Figure D103.1). D103.4 Dead ends. Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) shall be provided with width and turnaround provisions in accordance with Table D103.4.);*
- 8) illustration of all trees 24" or larger on the site with species identified;
- 9) illustration of full compliance with tree planting and landscape area requirements;
- 10) depiction of vegetation making up proposed residential buffer to insure it complies with Section 64-4.D.1. of the Zoning Ordinance;
- 11) depiction of the 25-foot minimum building setback line along all frontages; and
- 12) provide square feet and acres of proposed lot size.

Planning Approval: The request is recommended for Holdover until the November 19, 2015 meeting, so that the following revisions can be made by November 2, 2015:

- 1) dedication to provide 30' from the centerline of Eloong Drive;
- 2) dedication of curb radii along Eloong Drive;
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- 5) compliance with Engineering comments (*The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Add a correct vicinity map. C. Add a north arrow. D. The Preliminary Subdivision Plan has*

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- 6) compliance with Traffic Engineering comments (Lot is limited to one curb cut to Eloong Drive, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. Required parking spaces must be delineated with bumper stops if gravel surface is approved. The owner/developer is responsible for ADA accessibility, which should require asphalt/concrete surface for the designated space(s) and the path to the building with any future development.);
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Fire hydrant systems. Fire hydrant systems shall comply with Sections 507.5.1 through 507.5.6. **507.5.1 Where required.** Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. **SECTION D101 GENERAL D101.1 Scope.** Fire apparatus access roads shall be in accordance with this appendix and all other applicable requirements of the International Fire Code. **SECTION D102 REQUIRED ACCESS D102.1 Access and loading.** Facilities, buildings or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds (34 050 kg). **SECTION D103 MINIMUM SPECIFICATIONS D103.1 Access road width with a hydrant.** Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet (7925 mm), exclusive of shoulders (see Figure D103.1). **D103.4 Dead ends.** Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) shall be provided with width and turnaround provisions in accordance with Table D103.4.);

- 8) illustration of all trees 24" or larger on the site with species identified;
- 9) illustration of full compliance with tree planting and landscape area requirements;
- 10) depiction of vegetation making up proposed residential buffer to insure it complies with Section 64-4.D.1. of the Zoning Ordinance;
- 11) depiction of the 25-foot minimum building setback line along all frontages; and
- 12) provide square feet and acres of proposed lot size.

Revised for the December 3rd meeting:

These applications were heldover from the October 15th meeting to allow the applicant to make revisions to all three applications based on the above comments. A revised Subdivision plat and site plans were received.

Most of the revisions required by the holdover were addressed. However, the driveway was only modified to a 20' width from the street entrance to the parking area for the two proposed cottages or about 240' into the site. For the remainder of the driveway, approximately 80' is proposed to remain gravel, and the remaining 330'± to be the existing asphalt. However, the existing 10' width is proposed for this 410' stretch, well below the 26' required by the Fire Department.

Pertaining to the Planning Approval to allow the meditation center, the applicant submitted documents indicating Internal Revenue Service recognition as a 501(c)(3) tax exempt public charity organization. However, the legal counsel of the Planning Commission and Board of Zoning Adjustment has determined that there are other tests that a church must go through with the IRS to be classified as a church/religious organization and documentation supporting such has not been furnished to staff. Simply because meditation is part of a religion does not make the building a church or the owner a religious organization. The allowance of a meditation center within a residential district would, therefore, not be a determination to be made via

Planning Approval, but rather, by a Use Variance through the Board of Zoning Adjustment. The Planning Approval request should, therefore, be denied by the Planning Commission or withdrawn by the applicant.

With regard to the Planned Unit Development Approval to allow the multiple buildings on a single building site, since the use of the site as a church or religious organization is not valid as per legal counsel's determination, the allowance of the multiple buildings associated with such an activity would be a moot point. Again, a Variance through the Board of Zoning Adjustment would be required to allow the multiple dwellings on the property (beyond those already existing as legal nonconforming) since it is zoned R-1, Single-Family Residential. Therefore, the Planned Unit Development Approval request should also be denied by the Planning Commission or withdrawn by the applicant.

As the proposed one-lot Subdivision is structured for the proposed institutional use and not as a single-family residential Subdivision, and as the proposed institutional use is recommended for denial, it would follow that the Subdivision should also be denied by the Planning Commission or withdrawn by the applicant.

RECOMMENDATION

Subdivision: Based on the preceding, this application is recommended for denial for the following reasons:

- 1) the Subdivision is structured for an institutional use which is not approvable via the Planning Approval process; and*
- 2) the Engineering, Traffic Engineering and Fire Department comments are not applicable to a single-family residential site.*

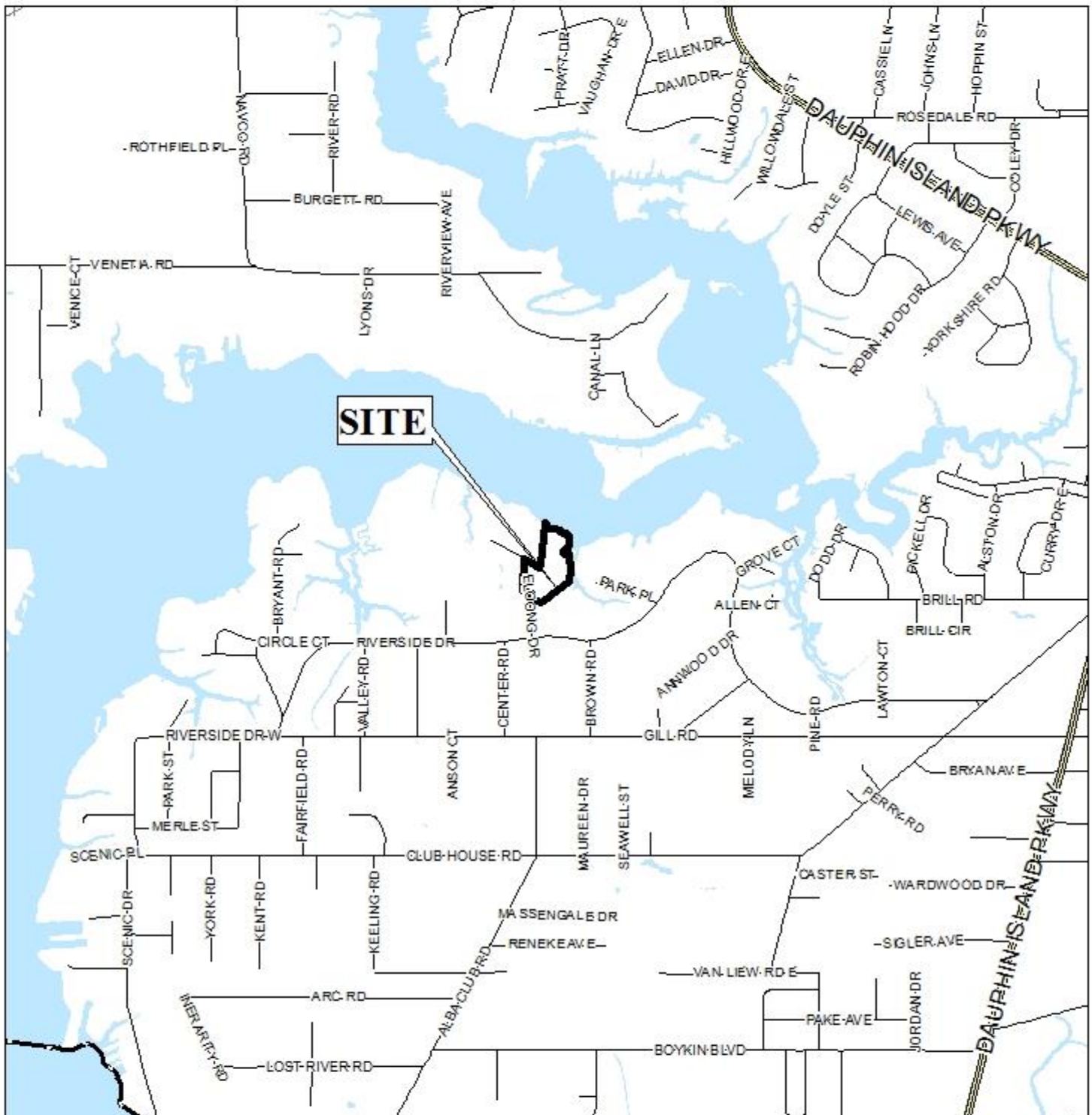
Planned Unit Development: Based on the preceding, this application is recommended for denial for the following reasons:

- 1) multiple buildings cannot be allowed for an unapproved use; and*
- 2) a Use Variance to allow multiple buildings and multiple dwellings (beyond those already existing as legal nonconforming) in an R-1, Single-Family Residential District would be the appropriate application required.*

Planning Approval: Based on the preceding, this application is recommended for denial for the following reasons:

- 1) legal counsel of the Planning Commission has determined that there are tests that a church must go through with the Internal Revenue Service (IRS) to be classified as a church/religious organization and documentation supporting such has not been furnished to staff; and*
- 3) the allowance of a meditation center within a residential district would not be a determination to be made via Planning Approval, but rather, by a Use Variance through the Board of Zoning Adjustment.*

LOCATOR MAP



APPLICATION NUMBER 1 DATE December 3, 2015

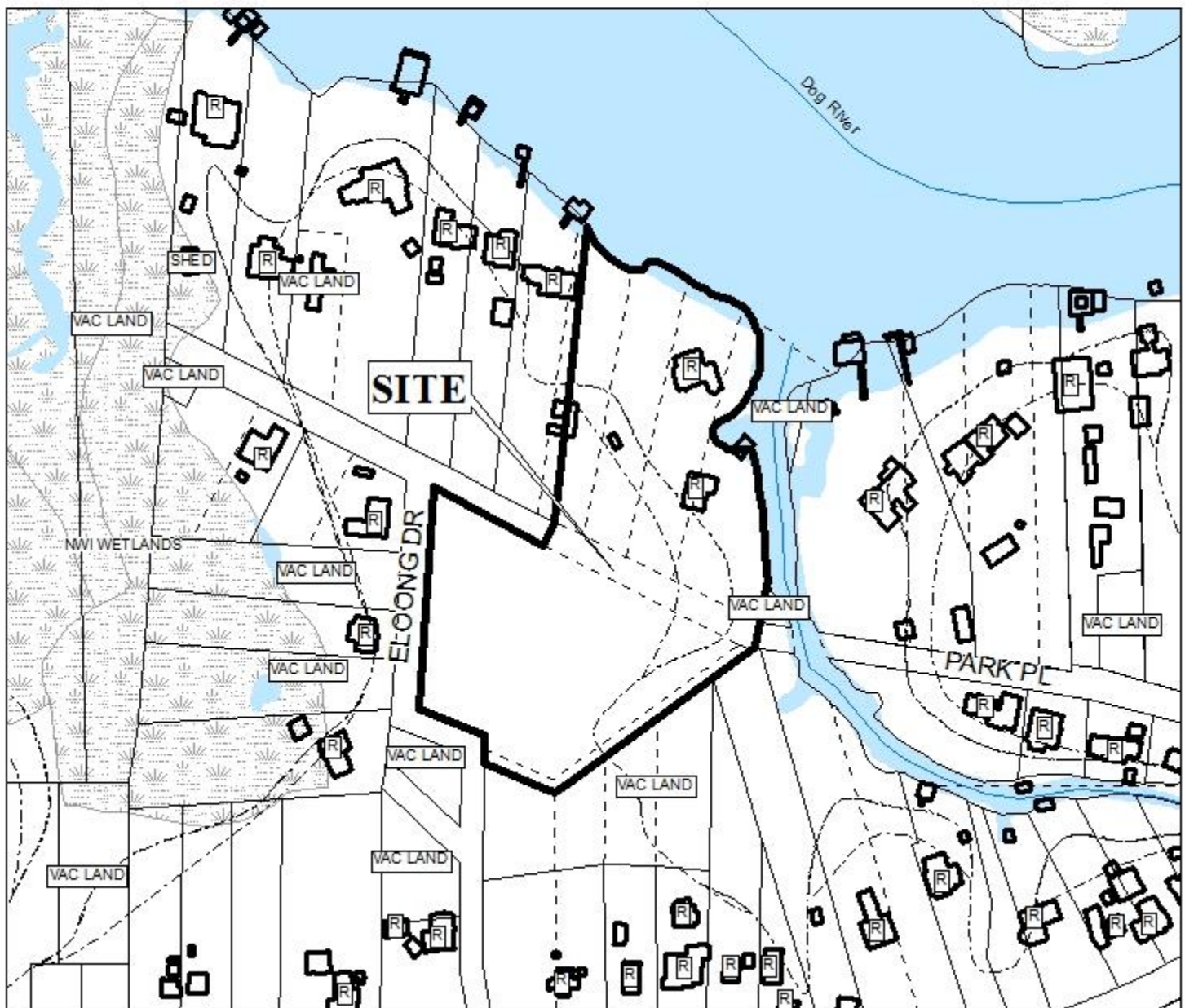
APPLICANT Inner Peace Subdivision

REQUEST Subdivision, PUD, Planning Approval



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units.

APPLICATION NUMBER 1 DATE December 3, 2015

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SITE PLAN



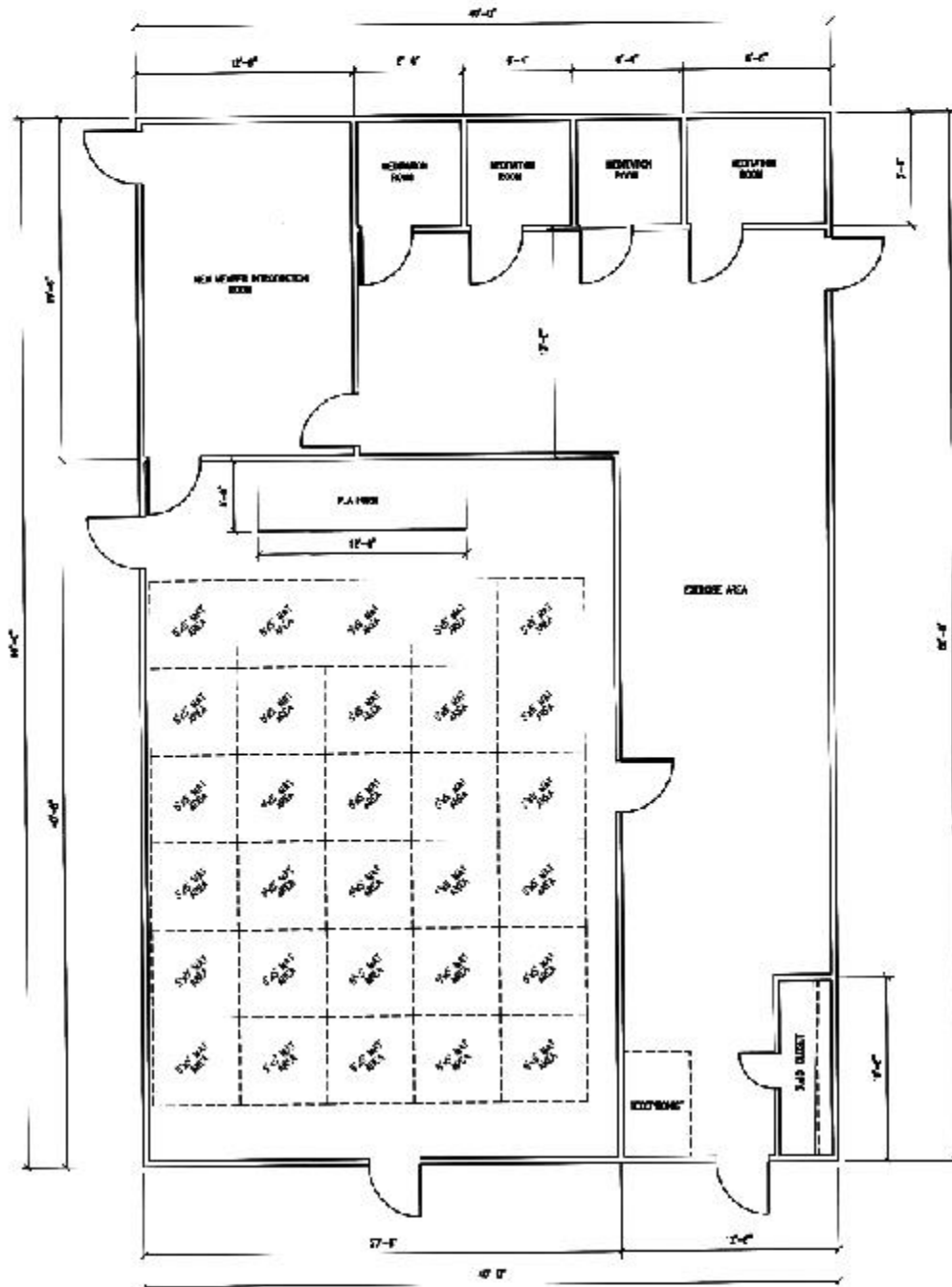
The site plan illustrates the existing gravel and asphalt drives, existing buildings, proposed gravel parking facilities, proposed asphalt drive, proposed buildings, and proposed vegetation strip.

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DETAIL SITE PLAN

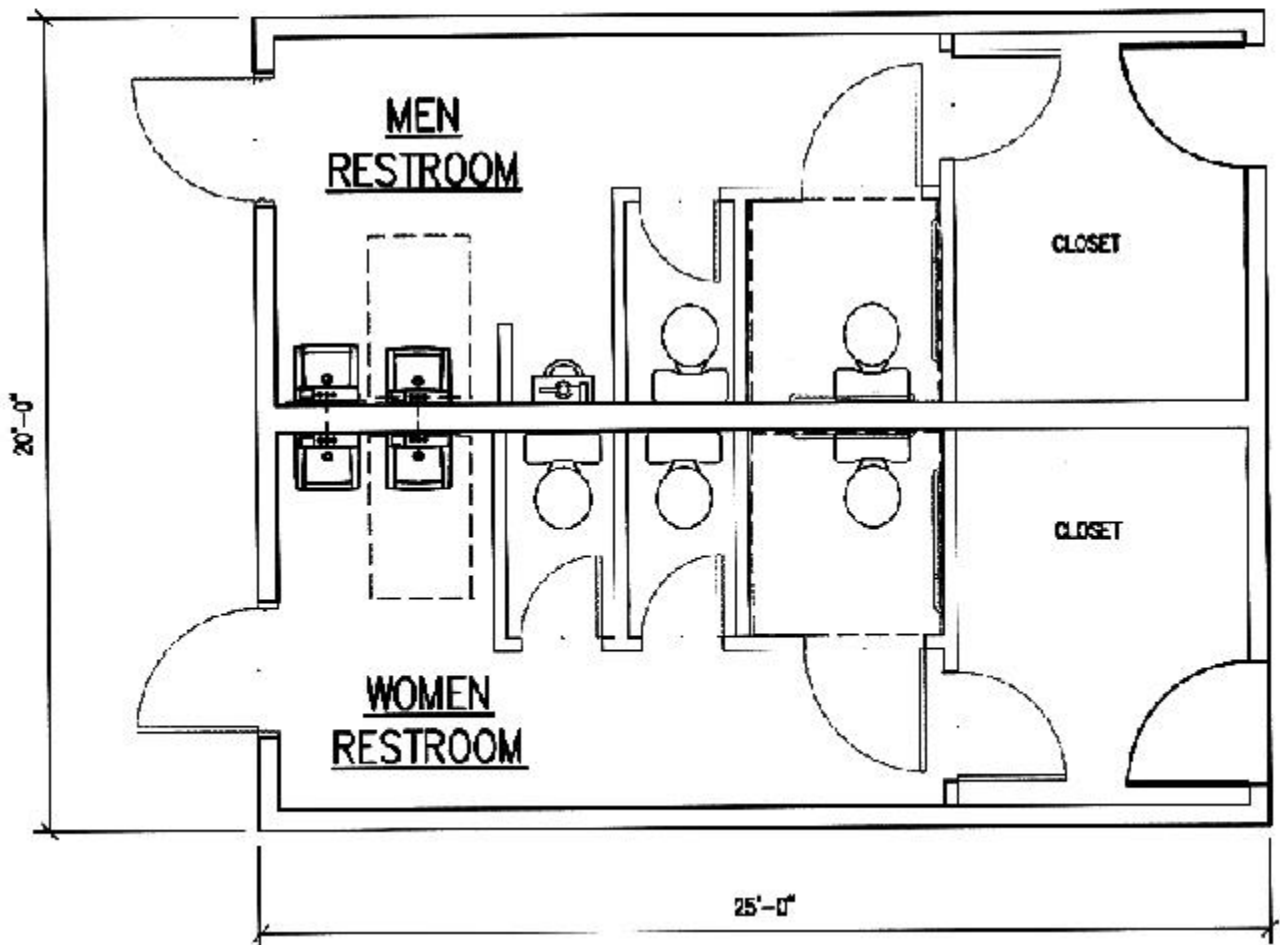


MEDITATION HALL FLOOR PLAN
SCALE: 1/4" = 1'-0"

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DETAIL SITE PLAN



RESTROOM FLOOR PLAN

SCALE: 1/4" = 1'-0"



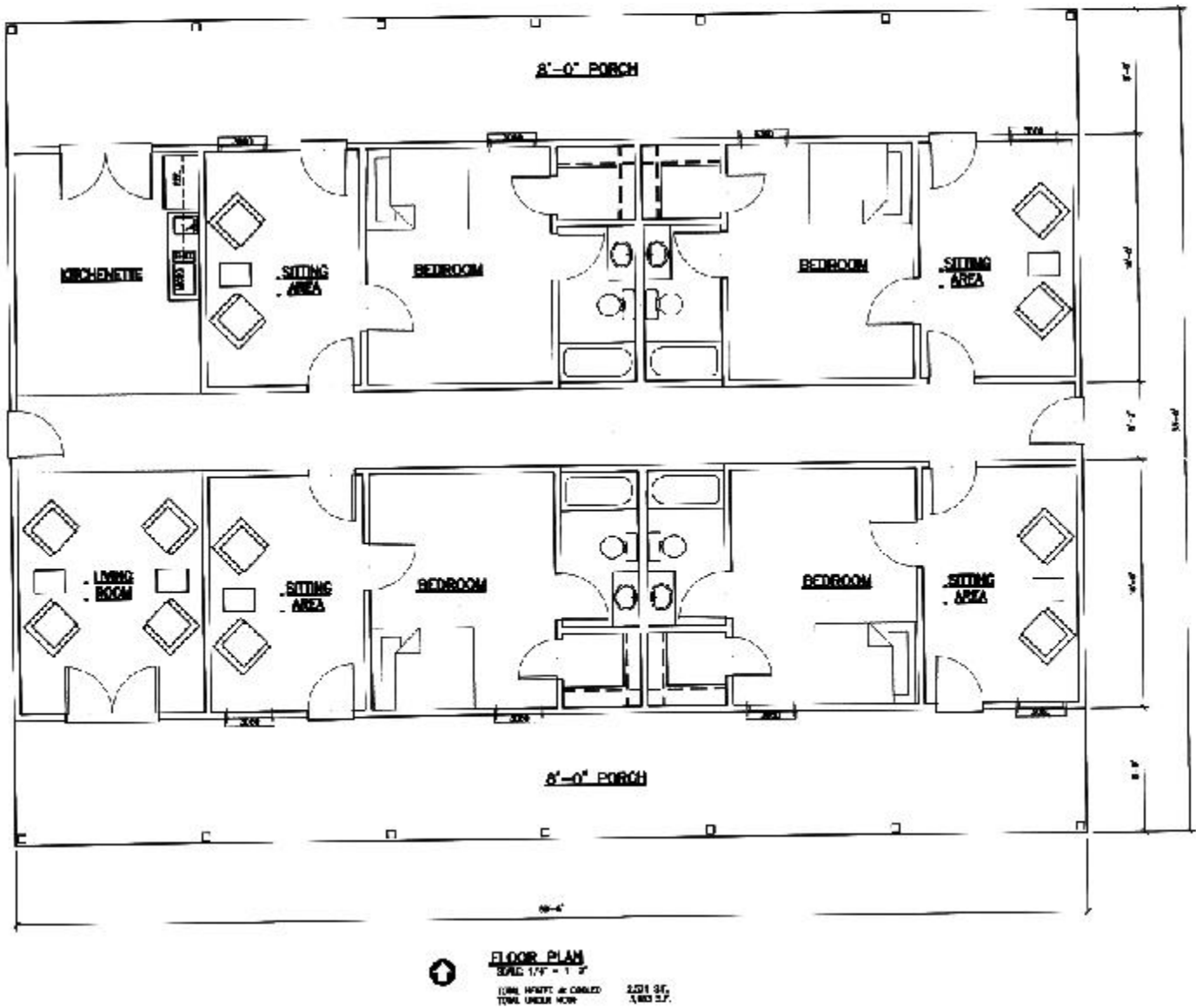
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DETAIL SITE PLAN



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