

ELIZA JORDAN CORNER SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).

MAWSS Comments: MAWSS has No water or sewer services available. Both water and sewer could be made available by extending both mains approximately 3350 feet. A Capacity application would have to be certified by Volkert Engineering Inc.

The plat illustrates the proposed 2-lot, 133.9 ± acre subdivision which is located at the Northwest corner of Eliza Jordan Road South and Airport Boulevard, in the Planning Jurisdiction. The applicant states that the subdivision is served by public water and sanitary sewer systems.

The purpose of this application is to create two legal lots of record from three existing metes-and-bounds parcels. It should be noted that no further resubdivision of proposed Lot 1 is planned at this time, but proposed Lot 2 is the subject of the accompanying Burlington & Sierra Master Plan Subdivision due to a pending sales transaction for that property.

The site fronts Airport Boulevard and Eliza Jordan Road South which are both components of the Major Road Plan with planned 100' rights-of-way. As the current right-of-way width along both frontages is 80', dedication sufficient to provide 50' from the centerline of each would be required. A 25' corner radius dedication would also be required at the intersection of Airport Boulevard and Eliza Jordan Road South. The 25' minimum building setback line should be revised on the Final Plat so as to be measured from any required street frontage dedication.

Both lots are labeled with their sizes in square feet and acres on the preliminary plat and meet the minimum size requirements of the Subdivision Regulations. However, the plat should be revised to indicate the lot sizes in both square feet and acres after any required street frontage dedications or a table should be furnished on the Final Plat providing the same information, if approved.

Access management is a concern along both street frontages. Lot 1 should be limited to two curb cuts to Airport Boulevard and two curb cuts to Eliza Jordan Road South, with the size, design and location of all curb cuts to be approved by Mobile County Engineering. As Lot 2 is proposed to be developed as Burlington & Sierra Master Plan Subdivision, a note should be required on the Final Plat stating that Lot 2 is limited to one curb cut to Airport Boulevard and one curb cut to Eliza Jordan Road South, with the size, design and location of all curb cuts to be approved by Mobile County Engineering. Lot 2 is bordered on the West by Thornburg Drive, a

private street, and access to this should be denied, as well as access to Calvert Road North. On the North, Lot 2 fronts the South terminus of Creekstone Drive which is a residential street; therefore, access to Creekstone Drive should be denied if Lot 2 is developed commercially. If Lot 2 is developed residentially via resubdivision, connection to Creekstone Drive is required.

This site is located in Mobile County, thus a note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

The site will have to comply with the City of Mobile storm water and flood control ordinances. A note regarding this requirement should appear on the Final Plat.

It has been brought to staff's attention that property owners to the West of the site dispute the West boundary line of the Subdivision as encroaching into Thornburg Drive (private street) and into a recorded easement for ingress and egress. They claim adverse possession to a fence line within the Subdivision boundary running parallel with the West boundary. Therefore, this application should be heldover until the November 19th meeting to allow all parties involved to resolve the situation.

RECOMMENDATION Due to the dispute of the West boundary line of the proposed Subdivision, this application is recommended for holdover to the November 19th meeting to allow all parties involved to resolve the situation.

Revised for the November 19th meeting:

This application was heldover from the October 15th meeting to allow all parties involved in the dispute of the West boundary line of the proposed Subdivision to resolve the situation. The applicant has submitted a revised plat which still retains the position of the West boundary line but which provides a 20' easement for ingress and egress to the land-locked properties to the West.

None of the other deficiencies identified on the plat were addressed on the revised plat. Dedication to provide 50' from the centerlines of Airport Boulevard and Eliza Jordan Road South must be provided. A 25' corner radius dedication must be provided at the intersection of Airport Boulevard and Eliza Jordan Road South. The 25' minimum building setback line should be revised on the Final Plat so as to be measured from any required street frontage dedication.

The plat should be revised to indicate the lot sizes in both square feet and acres after any required street frontage dedications or a table should be furnished on the Final Plat providing the same information, if approved.

A note should be placed on the Final Plat stating that Lot 1 is limited to two curb cuts to Airport Boulevard and two curb cuts to Eliza Jordan Road South, with the size, design and location of all curb cuts to be approved by Mobile County Engineering. And a note should be placed on the Final Plat stating that Lot 2 is limited to one curb cut to Airport Boulevard and one curb cut to Eliza Jordan Road South, with the size, design and location of all curb cuts to be approved by

Mobile County Engineering. A note should be placed on the Final Plat stating that access to Creekstone Drive is denied if Lot 2 is developed commercially. However, a note should be placed on the Final Plat stating that if Lot 2 is developed residentially via resubdivision, connection to Creekstone Drive is required. As the plat has been revised to include a 20' easement for ingress and egress to the land-locked properties along the West border, a note should be placed on the Final Plat stating that access to the 20' easement is denied for Lot 2 as is access to Calvert Road North.

A note should be required on the Final Plat stating that no structures may be placed or constructed within the 20' easement along the West side of Lot 2.

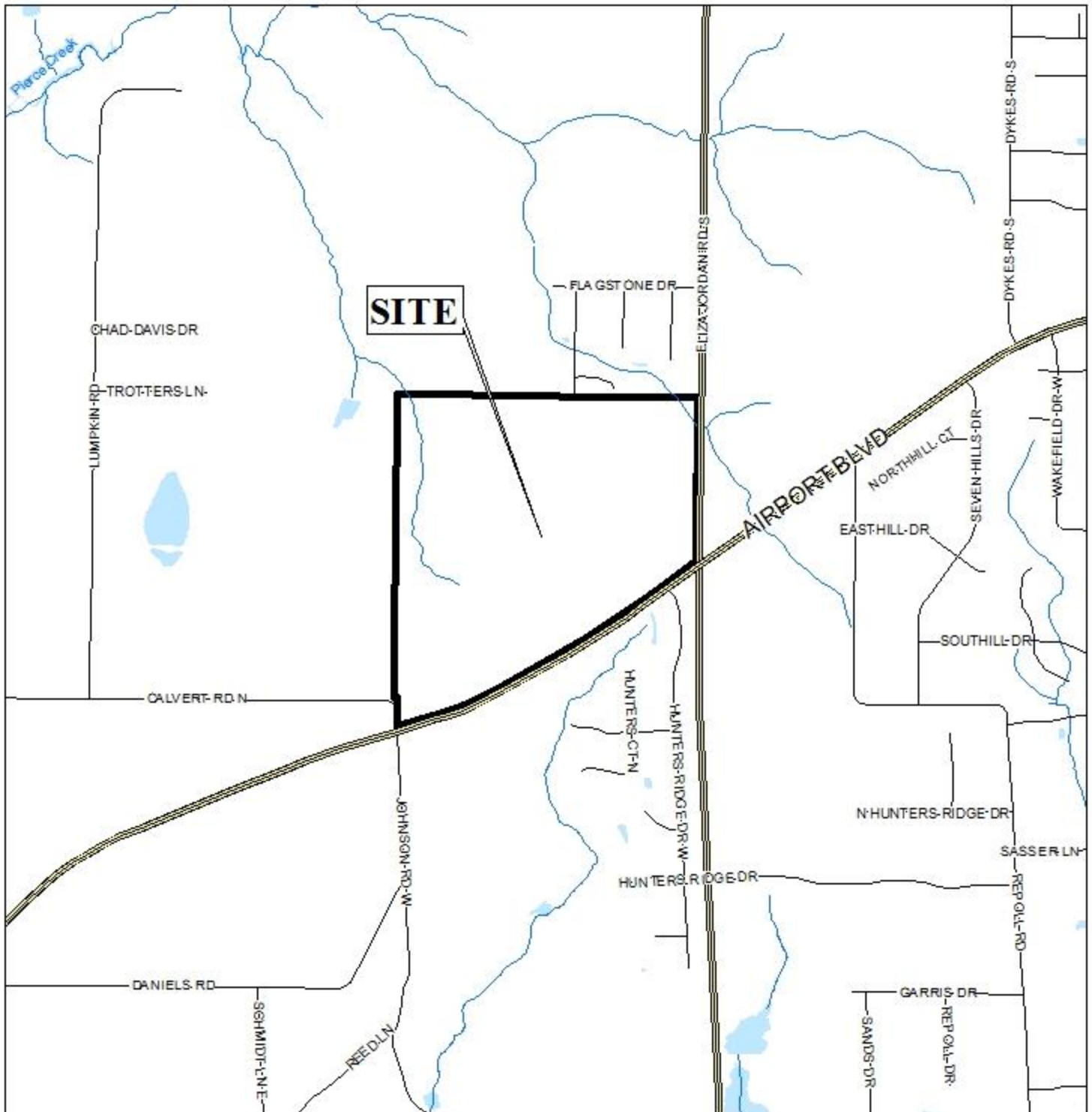
RECOMMENDATION The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) dedication sufficient to provide 50' from the centerline of Airport Boulevard;
- 2) dedication sufficient to provide 50' from the centerline of Eliza Jordan Road South;
- 3) dedication of a 25' corner radius at the intersection of Airport Boulevard and Eliza Jordan Road South;
- 4) revision of the plat to indicate the 25' minimum building setback line as measured from any required frontage dedication;
- 5) revision of the plat to indicate the lot sizes in both square feet and acres after any required frontage dedications, or the furnishing of a table on the Final Plat providing the same information;
- 6) placement of a note on the Final Plat stating that Lot 1 is limited to two curb cuts to Airport Boulevard and two curb cuts to Eliza Jordan Road South, with the size, design and location of all curb cuts to be approved by Mobile County Engineering
- 7) placement of a note on the Final Plat stating that Lot 2 is limited to one curb cut to Airport Boulevard and one curb cut to Eliza Jordan Road South, with the size, design and location of all curb cuts to be approved by Mobile County Engineering;
- 8) placement of a note on the Final Plat stating that access to Creekstone Drive is denied if Lot 2 is developed commercially;
- 9) placement of a note on the Final Plat stating that if Lot 2 is developed residentially via resubdivision, connection to Creekstone Drive is required;
- 10) placement of a note on the Final Plat stating that access to the 20' easement for ingress and egress to the land-locked properties along the West side is denied for Lot 2;
- 11) placement of a note on the Final Plat stating that Lot 2 is denied access to Thornburg Drive (private street) and Calvert Road North;
- 12) placement of a note on the Final Plat stating that no structures may be placed or constructed within the 20' easement along the West side of Lot 2;
- 13) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 14) compliance with Engineering comments: (Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage

facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater); and

- 15) *compliance with the Fire-Rescue Department comments: [Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC)].*

LOCATOR MAP



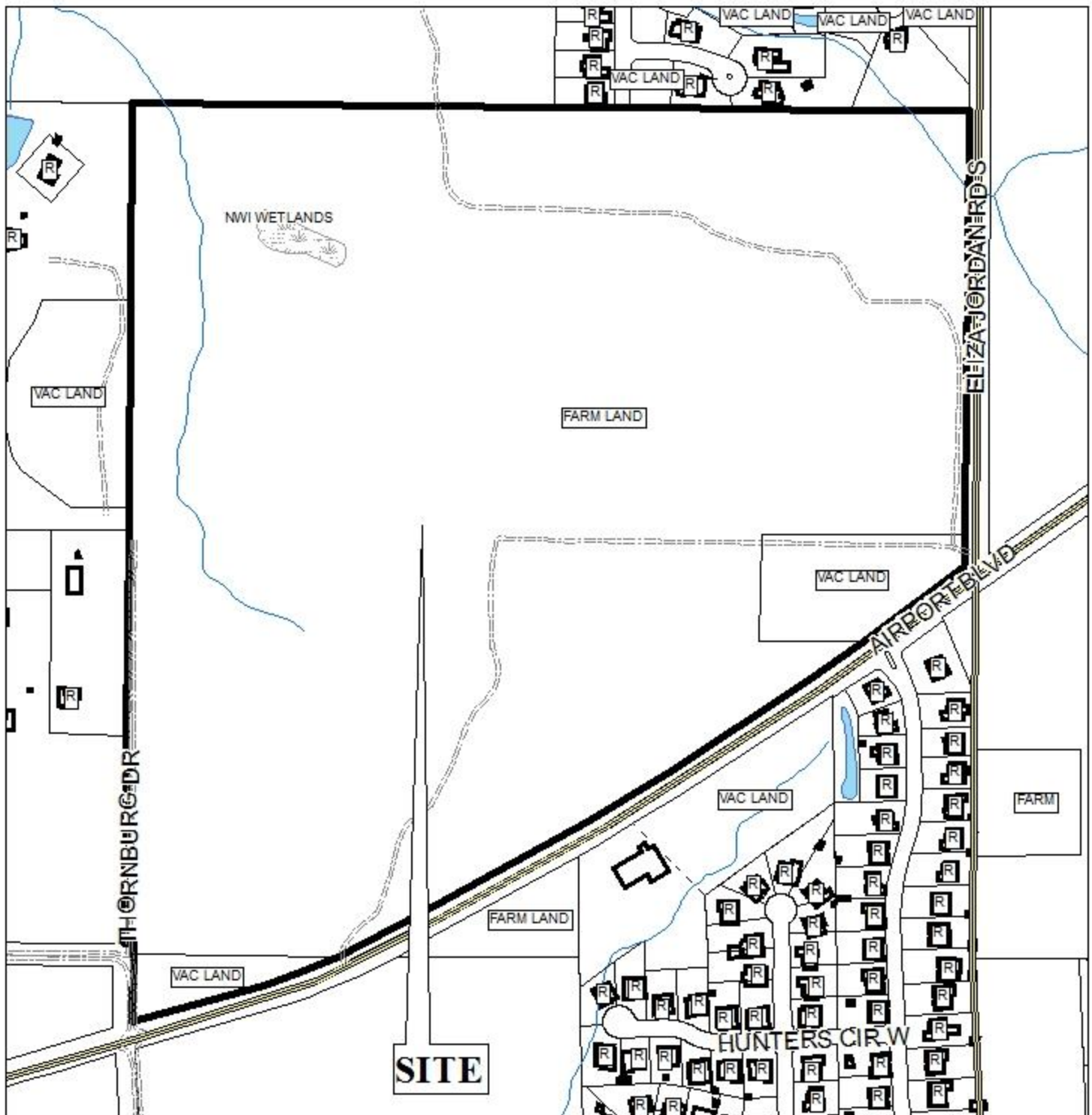
APPLICATION NUMBER 1 DATE November 19, 2015

APPLICANT Eliza Jordan Corner Subdivision

REQUEST Subdivision



ELIZA JORDAN CORNER SUBDIVISION

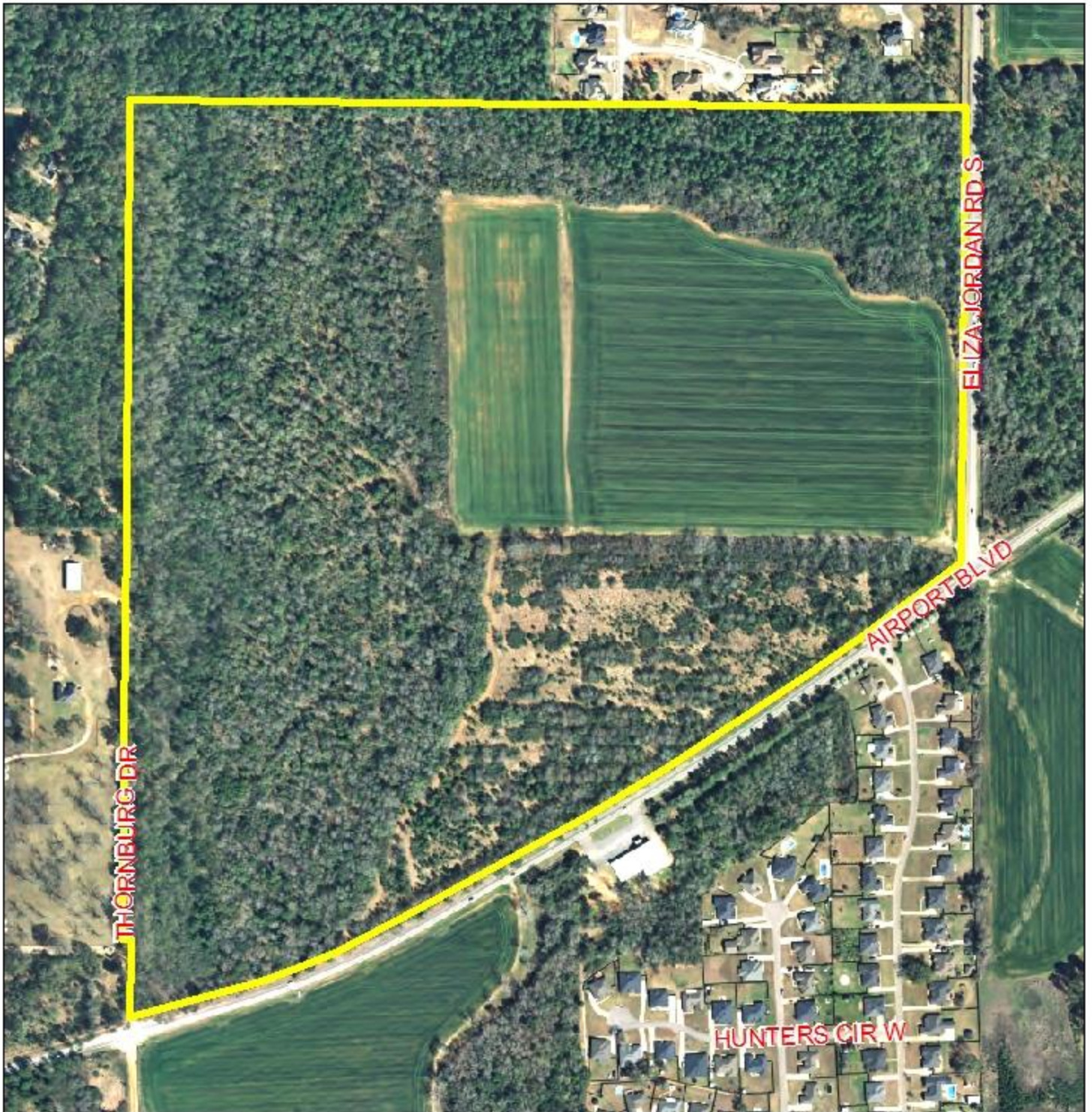


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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



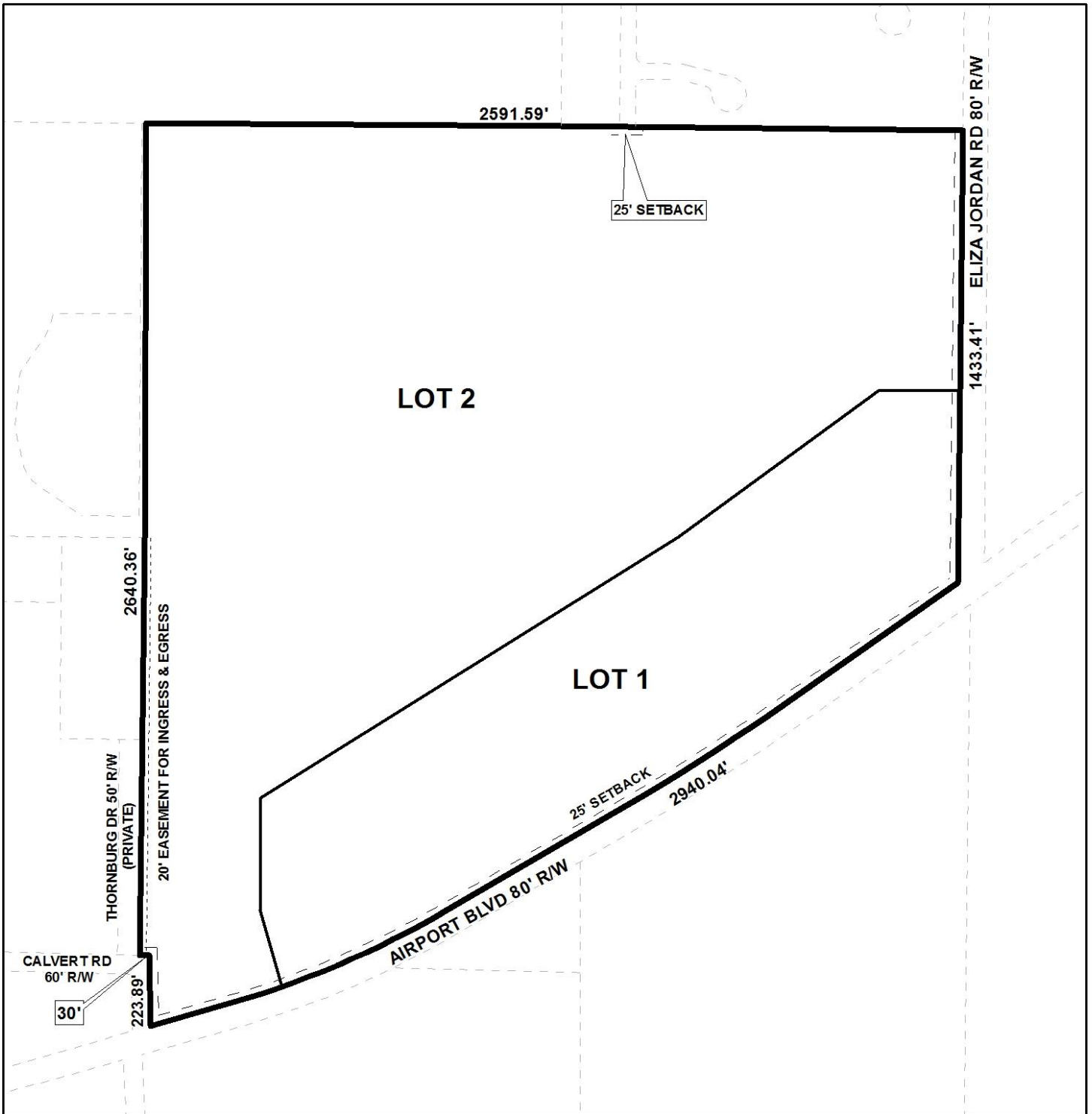
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DETAIL SITE PLAN



APPLICATION NUMBER 1 DATE November 19, 2015

APPLICANT Eliza Jordan Corner Subdivision

REQUEST Subdivision

