

**PLANNED UNIT DEVELOPMENT  
STAFF REPORT****Date: March 1, 2012****DEVELOPMENT NAME**

EGM Properties, LLC

**LOCATION**

1617 Industrial Park Circle and 3748 Industrial Park Drive  
(North side of Industrial Park Drive, 525'± West of Varner  
Drive and extending West to the East side of Industrial  
Park Circle, 175'± North of Industrial Park Drive)

**CITY COUNCIL  
DISTRICT**

District 4

**PRESENT ZONING**

I-1, Light Industry District

**AREA OF PROPERTY**

2 Lots / 3.6 ± Acres

**CONTEMPLATED USE**

Planned Unit Development Approval to amend a  
previously approved Planned Unit Development to allow  
multiple buildings on a single business site, and shared  
access and parking between two building sites.

**TIME SCHEDULE  
FOR DEVELOPMENT**

Immediate

**ENGINEERING****COMMENTS**

1) Any proposed development will need to be in conformance with the Storm Water Management and Flood Control Ordinance. 2) The site will need to provide drainage calculations that take into account the amount of accumulated impervious area added to the site since 1984. 3) A complete set of construction plans for the site work (including drainage, utilities, grading, storm water systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work. 4) The surface grading for the existing (and/or proposed) dumpster pad(s) (and/or car wash drains) must be minimized and directed to a surface drain that is connected to the sanitary sewer system. The drainage from any dumpster pads cannot discharge to the storm sewer collection system. 5) Revise the Note on the Site Plan states that states "NO WORK WILL BE PERFORMED IN THE CITYOF MOBILE R/W". The plan shows the proposed construction of a 4' wide sidewalk along Industrial Park Circle and Industrial Park Drive.

*Revised for the April 5<sup>th</sup> meeting:*

*1. Any proposed development will need to be in conformance with the Storm Water Management and Flood Control Ordinance.*

2. *The site will need to provide drainage calculations that take into account the amount of accumulated impervious area added to the site since 1984.*
3. *A complete set of construction plans for the site work (including drainage, utilities, grading, storm water systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work.*
4. *The surface grading for the existing (and/or proposed) dumpster pad(s) (and/or car wash drains) must be minimized and directed to a surface drain that is connected to the sanitary sewer system. The drainage from any dumpster pads cannot discharge to the storm sewer collection system.*
5. *Any work to be performed in the ROW (driveway, curbcuts, sidewalks, landscaping, irrigation, utilities, etc) will require a ROW permit from the Engineering Department.*

**TRAFFIC ENGINEERING****COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT****COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

**REMARKS**

The applicant is requesting Planned Unit Development approval to amend a previously approved Planned Unit Development to allow multiple buildings on a single business site, and shared access and parking between two building sites.

The applicant proposes to create access between two existing lots, and expand an existing building with a 2,400 square foot warehouse addition. One of the existing lots was the subject of PUD approval in 2008, thus the addition of access to another lot with an existing building necessitates a new PUD application.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will

change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

The site is developed with three buildings: two have frontage onto Industrial Park Drive, with separate driveways, and the third has frontage onto Industrial Park Circle. Each street is a minor street with adequate right-of-way, thus no dedication will be required.

The proposed warehouse addition appears to extend nearly to the common property line: a zero-foot or a minimum 5-foot setback is allowed in an I-1 district, thus the proposed expansion must either be zero or a minimum of 5-feet from the common property line.

Aerial photos from 2010 indicate that access between the two building sites was added between 2006 and 2010 (with additional possibly unpermitted paving), thus the application at hand would legitimize the access, but move it to a different location. The proposed point of access between the two sites may put a corner of the expanded warehouse at risk of damage by trucks and other large vehicles making a turn.

The aerial photos also indicate that various storage containers and tanks are kept on the site and that the large storage containers appear to be placed on landscape areas. No outside storage or containers are indicated on the submitted site plan. The site plan should be revised to depict outside storage areas, and any storage containers that are essentially permanently kept on the site.

It appears that the storm water detention area on the existing PUD site is being used for trailer storage: storage of any items in the storm water detention area may reduce the storm water compliance of the facility. Revision of the site plan to depict a barrier between the parking area and the storm water facility may be necessary to prevent parking in the storm water facility.

Information provided regarding tree and landscaping compliance indicates that the site will meet all requirements of the Zoning Ordinance, however, aerials indicate that the trees depicted on "Parcel A," as well as some of the landscape areas, do not reflect the as-built condition.

As for parking, it appears that the 61 proposed parking spaces will exceed the minimum required. It appears that some of the parking bumpers depicted on the site plan have been removed, and that the fence that separated the "Parcel A" parking and driveway to the rear building has been removed: the site plan should be revised to reflect the actual parking and fence conditions of the site.

It should also be pointed out that the depicted handicap parking may not comply with the requirements of the Americans with Disabilities Act, in that at least one space must be van-accessible, and must have an access aisle of a width complying with van-accessible requirements. The site plan should be revised to depict compliance with any applicable requirements of the Americans with Disabilities Act.

The 25-foot setback is not shown along the Industrial Park Circle frontage, but should be depicted on the revised PUD site plan.

The site plan depicts a new sidewalk along Industrial Park Circle. A sidewalk should be required as part of the proposed building expansion.

**RECOMMENDATION**

**Planned Unit Development:** Based upon the preceding, this application is recommended for Holdover until the April 5<sup>th</sup> meeting, with revisions due by March 16<sup>th</sup>, so that the following revisions to the site plan can be made:

- 1) Revision of the site plan to depict a zero or 5-foot setback from the common property line of the proposed building addition;
- 2) Revision of the site plan to depict a 25-foot building setback line from Industrial Park Circle;
- 3) Revision of the site plan to depict any storage structures or outside storage areas in use, so that staff can determine if they impact circulation, parking or landscape areas;
- 4) Revision of the site plan to accurately depict the “as-built” condition of existing tree, landscape, parking and fencing for the site, or the “as will be built” condition;
- 5) Revision of the site plan to depict and label a barrier sufficient to prevent parking in the storm water detention area; and
- 6) Revision of the site plan to depict handicap parking and other site improvements to comply with any applicable requirements of the Americans with Disabilities Act.

***Revised for the April 5 meeting:***

*A revised site plan was submitted, addressing all issues identified by staff. The size of the proposed warehouse expansion has increased from 2,400 square feet to 2,480 square feet, to bring the warehouse to the common lot line.*

*The “Parcel B” site will not have adequate parking on-site, thus additional parking spaces are being added to “Parcel A” to satisfy parking requirements. It appears, however, that combined the two sites will be short of parking. Parcel B needs 15 spaces, while Parcel A needs 44 spaces, for a total of 59 spaces: a combined total of 57 spaces are being provided. The site plan should be revised to add 2 more spaces, in a manner that will not compromise circulation, Fire access or increase the amount of pavement.*

*Lighting of the site and parking areas must comply with Sections 64-4.A.2. and 64-6.A.3.c. of the Zoning Ordinance.*

**RECOMMENDATION**

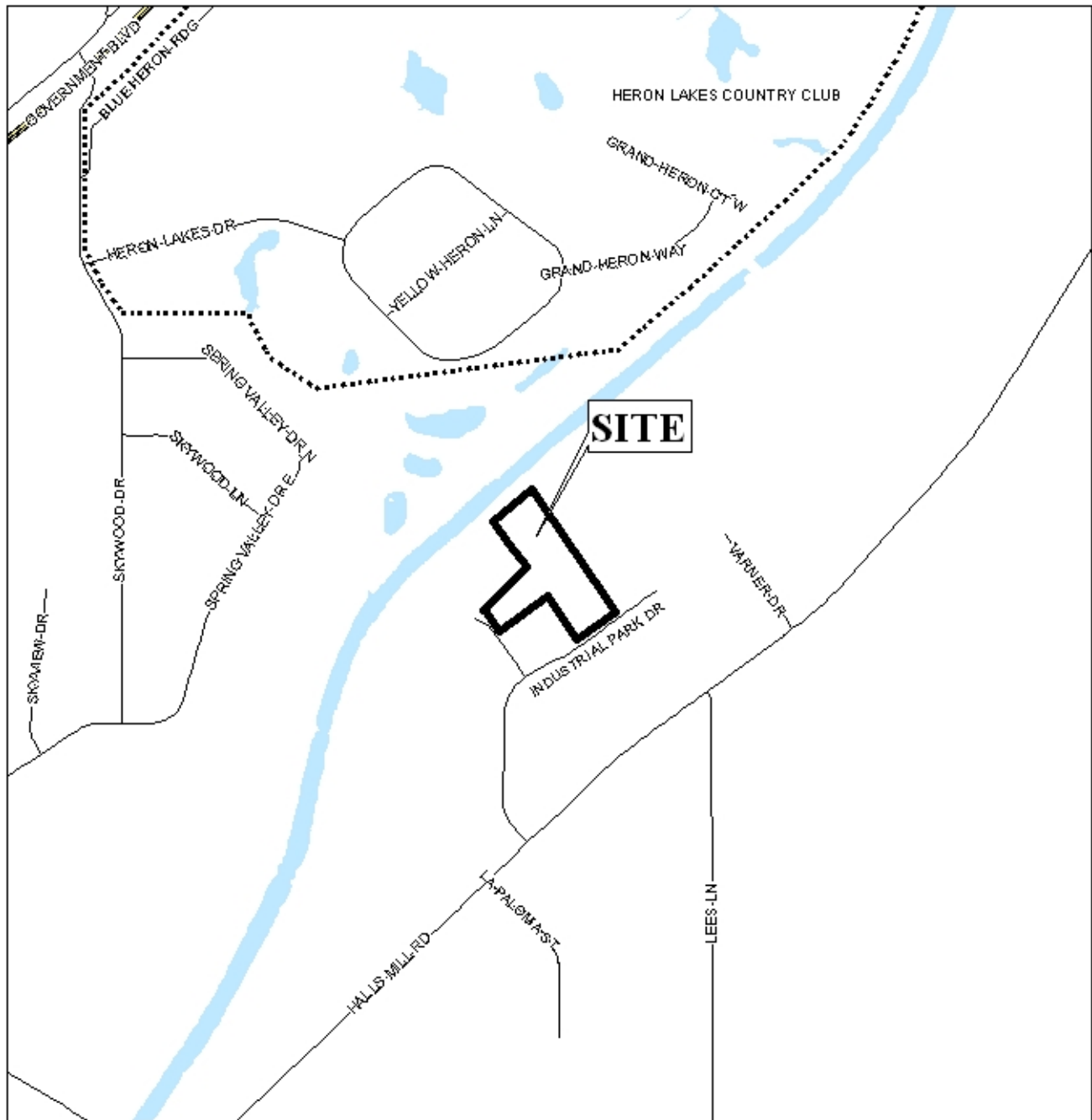
**Planned Unit Development:** Based upon the preceding, this application is recommended for approval, subject to the following conditions:

- 1) Revision of the site plan to depict a total of 59 parking spaces;
- 2) Placement of a note on the site plan stating that site and parking lighting will comply with Sections 64-4.A.2. and 64-6.A.3.c. of the Zoning Ordinance;
- 3) Compliance with revised Engineering comments (1. Any proposed development will need to be in conformance with the Storm Water Management and Flood Control Ordinance. 2. The site will need to provide drainage calculations that take into account the amount of accumulated impervious area added to the site since 1984. 3. A complete set of construction plans for the site work (including drainage, utilities, grading, storm water

*systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work. 4. The surface grading for the existing (and/or proposed) dumpster pad(s) (and/or car wash drains) must be minimized and directed to a surface drain that is connected to the sanitary sewer system. The drainage from any dumpster pads cannot discharge to the storm sewer collection system. 5. Any work to be performed in the ROW (driveway, curbcuts, sidewalks, landscaping, irrigation, utilities, etc) will require a ROW permit from the Engineering Department.);*

- 4) Compliance with Fire comments (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
- 5) Compliance with Traffic Engineering comments (Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards);*
- 6) Compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64));*
- 7) Approval otherwise limited to the site plan, as submitted;*
- 8) Submission of a revised PUD site plan prior to any request for site development permits; and*
- 9) Full compliance with all other municipal codes and ordinances.*

# LOCATOR MAP



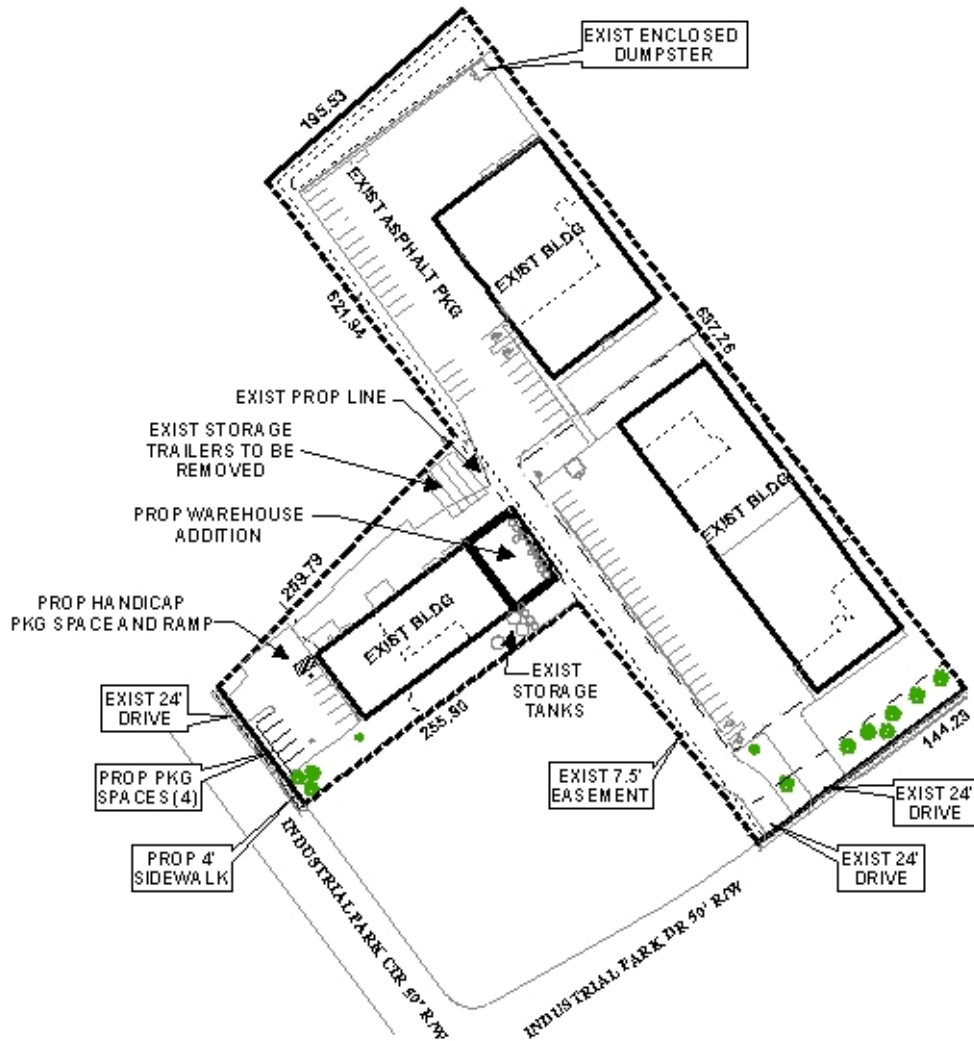
APPLICATION NUMBER 1 DATE April 5, 2012

APPLICANT EGM Properties, LLC

REQUEST Planned Unit Development



# SITE PLAN

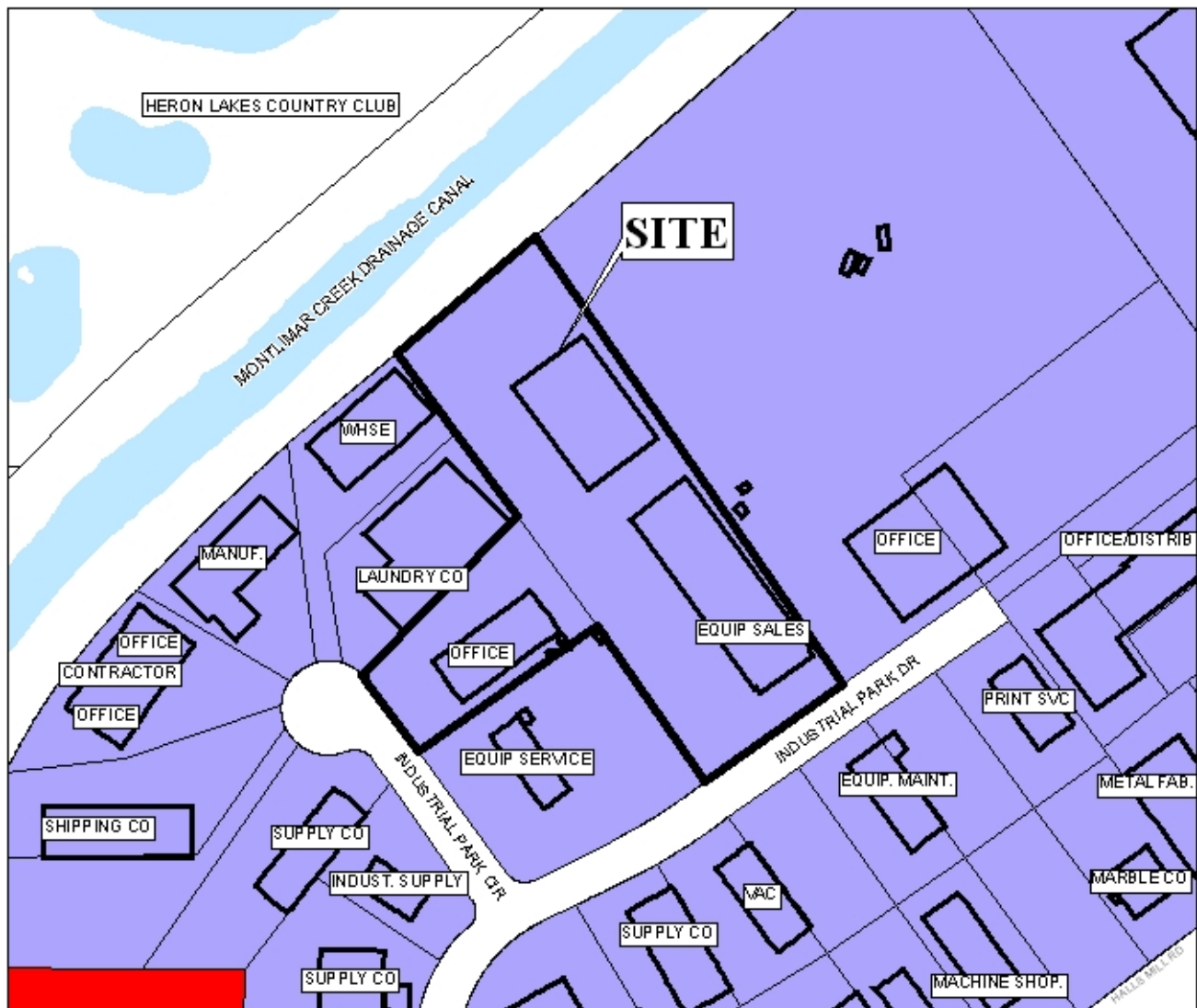


The site plan illustrates the proposed parking expansion and building addition.

APPLICATION NUMBER 1 DATE April 5, 2012  
 APPLICANT EGM Properties, LLC  
 REQUEST Planned Unit Development



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial and industrial land use.

APPLICATION NUMBER 1 DATE April 5, 2012

APPLICANT EGM Properties, LLC

REQUEST Planned Unit Development

LEGEND

|     |     |     |     |     |     |     |     |      |     |     |     |     |     |     |
|-----|-----|-----|-----|-----|-----|-----|-----|------|-----|-----|-----|-----|-----|-----|
| R-1 | R-2 | R-3 | R-A | R-B | H-B | T-B | B-1 | LB-2 | B-2 | B-3 | B-4 | B-5 | I-1 | I-2 |
|-----|-----|-----|-----|-----|-----|-----|-----|------|-----|-----|-----|-----|-----|-----|



NTS



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



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