

DOWNERS ROCK SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: MAWSS has **No** water or sewer services available.

The preliminary plat illustrates the proposed 2-lot, 33.9± acre subdivision which is located on the South side of Three Notch Kroner Road, 820'± East of Winkler Court. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by well water and individual septic systems.

The purpose of this application is to create two legal lots of record from one metes-and-bounds parcel. Currently, there is an existing residence and garage on the proposed Lot 1, and the proposed Lot 2 consists of an existing shed.

The proposed lots front Three Notch Kroner Road. Three Notch Kroner Road is a Major Collector street without curb and gutter. As a Major Street, this street requires a 100' wide right-of-way width. The right-of-way width is depicted as 80' on the preliminary plat, and should be revised on the Final Plat to reflect a distance of 50' from the centerline of Three Notch Kroner Road.

The proposed Lot 2 creates an irregular-shaped lot condition in which the proposed lot forms a "panhandle" or "flag lot" shape with only 49'± of frontage. "Panhandle" or "flag lot" shaped lots are generally not allowed, but permitted only in those locations where varied and irregularly shaped lot designs are common and the informality of design is consistent with other lots in the vicinity; or where unusual circumstances such as an odd shaped lot exists; or separate disparate uses exist on a single lot; or where there are natural or pre-existing man-made barriers which may cause an undue hardship on the land owner; or in the case of a family division. No justification was provided by the applicant for the request. It should be noted that there are other Planning Commission approved flag-shaped lots located within the vicinity of the subject site; however, none appear to be as extreme as the proposed Lot 2.

The 25' minimum front building setback line is not depicted on the preliminary plat for each proposed lot. The Final Plat, if approved, should be revised to indicate the 25' minimum front building setback line along Three Notch Kroner Road for each proposed lot, where each lot is a minimum of 60' in width.

The proposed lots meet the 40,000 square foot minimum lot requirements for lots served by individual water and septic systems. The lot size information is depicted in both square feet and in acres on the preliminary plat and should be retained on the Final Plat, if approved.

As a means of access management, a note should be placed on the Final Plat, if approved, stating that each lot is limited to the one curb cut each to Three Notch Kroner Road, with any changes to the size, design and location of the curb-cuts to be approved by Mobile County Engineering and conform to AASHTO standards.

This site is located in the County; therefore, any lots which are developed commercially and adjoin residentially-developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note should be placed on the Final Plat, if approved.

Based upon the preceding, this application is recommended for Holdover to the December 7, 2017 meeting with revisions due by November 23rd to address the following:

- 1) Submission of a justification for the flag lot and its proposed configuration.

Revised for the December 21st meeting:

The application was heldover from the November 16th meeting to allow the applicant to submit justification for a flag lot and its proposed configuration. The applicant decided to revise the plat to include Lot 1 and Lot 3 from Downers Grove Subdivision, Resubdivision of Lot1 as a part of the newly proposed four lot Downers Rock Subdivision. The revised four lot subdivision will replace the previously proposed two lot subdivision and thus, no justification for a flag lot is required.

The proposed lots meet the minimum lot size requirements and are labeled in square feet and acres. However, the proposed lots are identified as parcels instead of lots. The plat should be revised to depict each lot with an associated lot number as well as the total square footage in square feet and acres.

The proposed lots front Three Notch Kroner Road. Three Notch Kroner Road is a Major Collector street without curb and gutter. As a Major Street, this street requires a 100' wide right-of-way width. The right-of-way width is depicted as 90' on the preliminary plat, with a note illustrating 10' of dedication to Mobile County. The additional dedication will result in a total of 50' of right-of-way from the centerline.

The plat depicts a 35' minimum building setback line. The 35' minimum building setback line should be retained on the Final Plat, if approved.

As a means of access management, a note should be placed on the Final Plat stating that Lot 1 will be limited to two curb-cuts to Three Notch Kroner Road, and Lots 2 through 4 will be limited to one curb-cut each to Three Notch Kroner Road, with any changes to the size, design and location of the curb-cuts to be approved by Mobile County Engineering and conform to AASHTO standards.

This site is located in the County; therefore, any lots which are developed commercially and adjoin residentially-developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note should be placed on the Final Plat, if approved.

Based on the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1. revision of the plat to depict each lot with an associated lot number as well as the total square footage in square feet and acres;*
- 2. retention of the 35' minimum building setback lines;*
- 3. dedication to provide 50' from centerline of Three Notch Korner, as depicted;*
- 4. placement of a note on the Final Plat stating Lot 1 will be limited to two curb-cuts to Three Notch Kroner Road, and Lots 2 through 4 will be limited to one curb-cut each to Three Notch Kroner Road, with any changes to the size, design and location of the curb-cuts to be approved by Mobile County Engineering and conform to AASHTO standards;*
- 5. placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;*
- 6. compliance with Engineering comments: "Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits."; and*
- 7. compliance with Fire comments: "Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC)".*

Revised for the January 18th meeting:

The application was heldover from the December 21, 2017 meeting at the applicant's request. The applicant has revised the plat to reconfigure the layout and create additional lots. The previous application request was to allow 4 legal lots of record whereas the current application is to allow 5 legal lots of record.

Each lot number is depicted, and meets the minimum lot size requirements and is labeled in square feet and acres. However, Lots 2 and 3 appear to exceed the recommended width to depth ratio of the Subdivision Regulations. Thus, a waiver of Sections V.D.1. and V.D.3. of the Subdivision Regulations will be required, if approved. Lot 3 is also labeled twice on the plat. The plat should be revised to remove one of the "Lot 3" labels.

Lot 3 is oddly shaped, and there is a concern that an attempt could be made to further subdivide Lot3. While Lot 3 has 185 ± feet of frontage, the front 2.2 ± acres of the lot are nearly separated

from the remaining 7.1 ± acres by a 70± foot wide constriction of the lot. As such, no future subdivision should be allowed until additional frontage is provided to an improved street frontage.

The revised plat depicts a 35' minimum building setback line. The 35' minimum building setback line should be retained on the Final Plat, if approved.

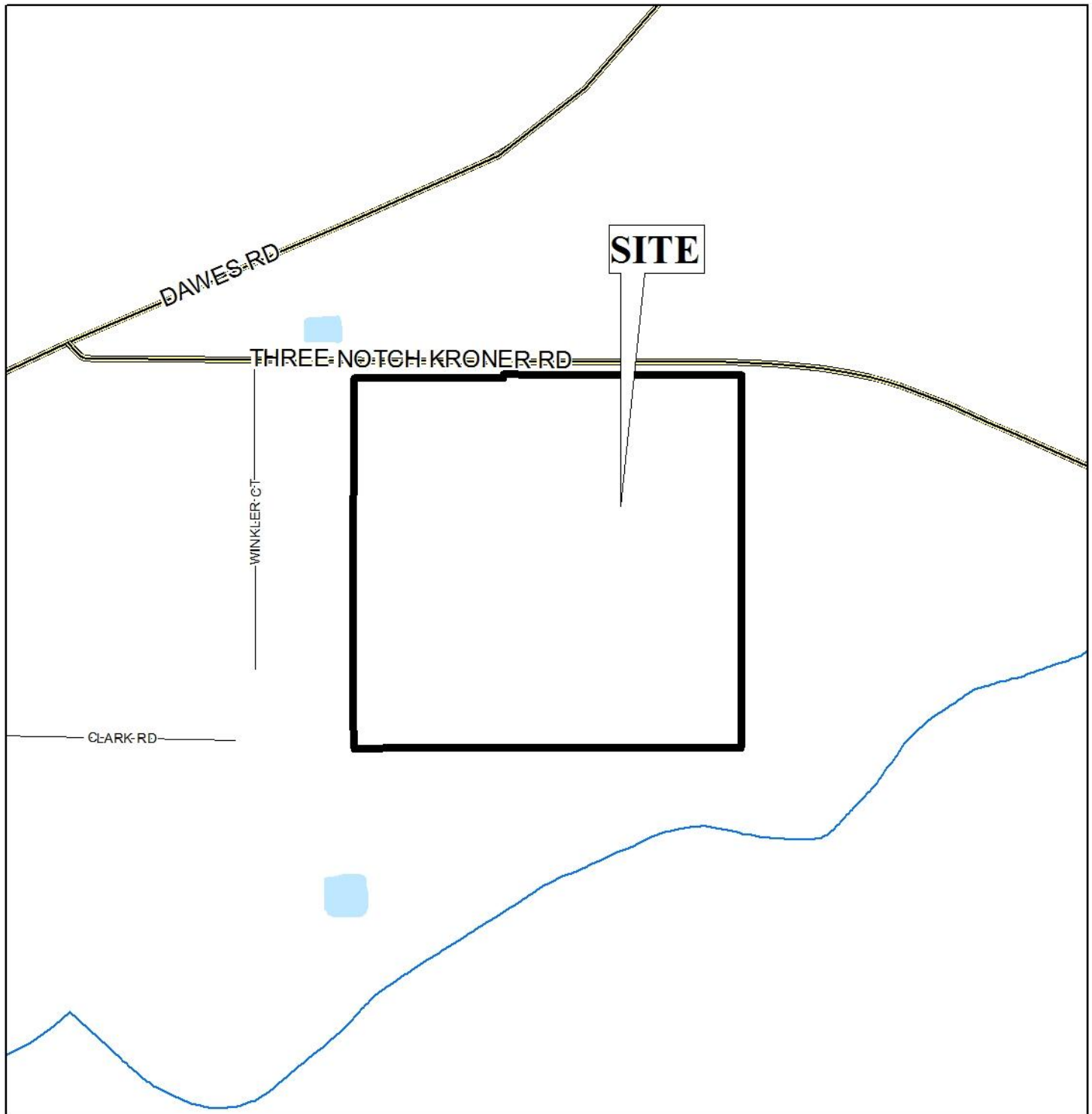
As a means of access management, a note should be placed on the Final Plat stating that Lot 1 is limited to 2 curb-cuts to Three Notch Kroner Road and Lots 2 through 5 are limited to one curb-cut each to Three Notch Kroner Road, with any changes to the size, design and location of the curb-cuts to be approved by Mobile County Engineering and conform to AASHTO standards.

This site is located in the County; therefore, any lots which are developed commercially and adjoin residentially-developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note should be placed on the Final Plat, if approved.

Based on the preceding, and with a waiver of Sections V.D.1. and V.D.3. of the Subdivision Regulations, the application is recommended for Tentative Approval, subject to the following conditions:

- 1. placement of a note on the Final Plat stating that there shall be no future subdivision of Lot 3 until additional frontage is provided to an improved street frontage;*
- 2. removal of one of the "Lot 3" labels on the plat;*
- 3. retention of the 35' minimum building setback lines;*
- 4. dedication to provide 50' from centerline of Three Notch Korner, as depicted;*
- 5. placement of a note on the Final Plat stating that Lot 1 is limited to 2 curb-cuts to Three Notch Road and Lots 2 through 5 are limited to one curb-cut each to Three Notch Kroner Road, with any changes to the size, design and location of the curb-cuts to be approved by Mobile County Engineering and conform to AASHTO standards;*
- 6. placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;*
- 7. compliance with Engineering comments: "Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits."; and*
- 8. compliance with Fire comments: "Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC)".*

LOCATOR MAP



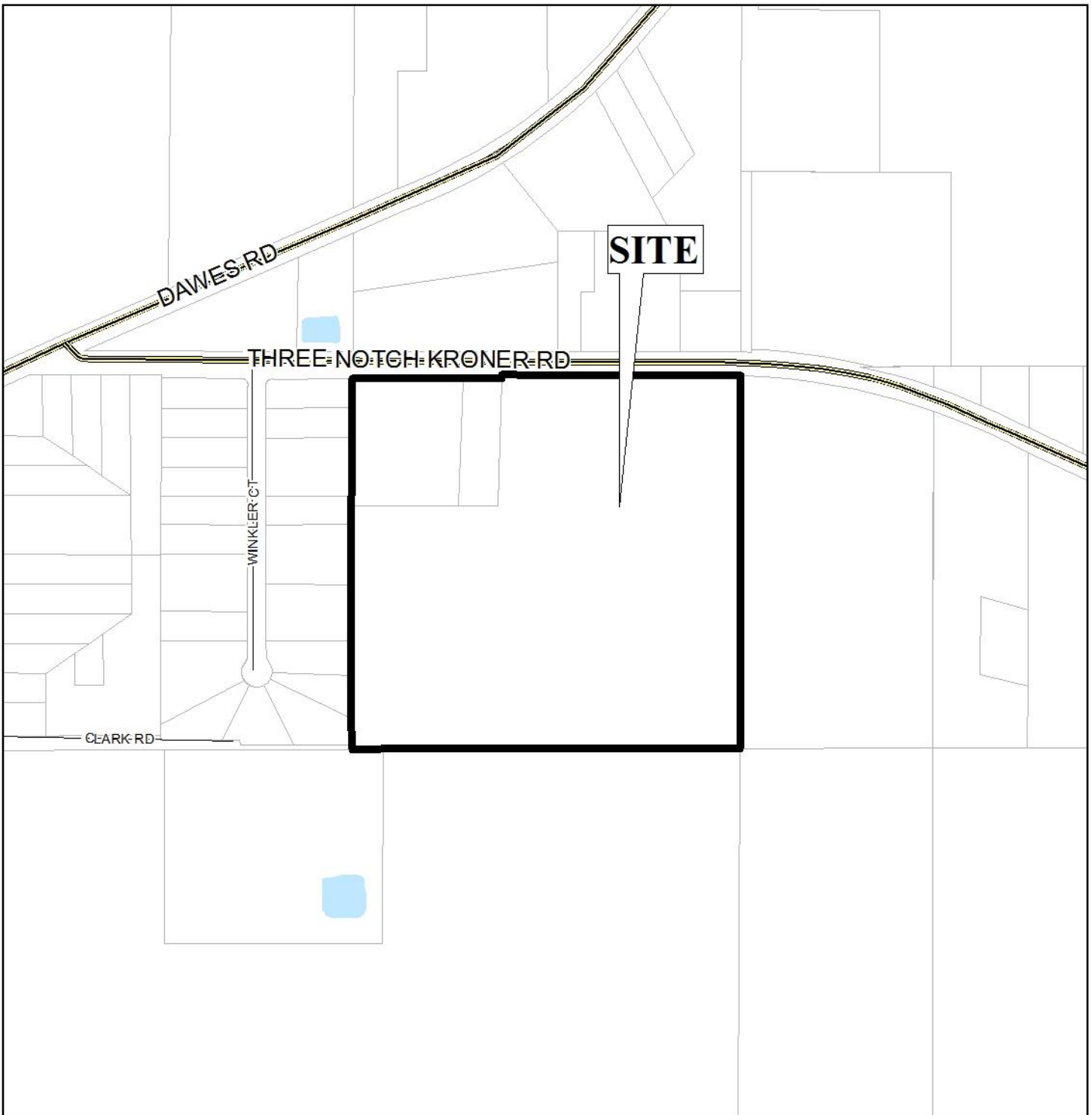
APPLICATION NUMBER 1 DATE January 18, 2018

APPLICANT Downer's Rock Subdivision

REQUEST Subdivision



LOCATOR ZONING MAP



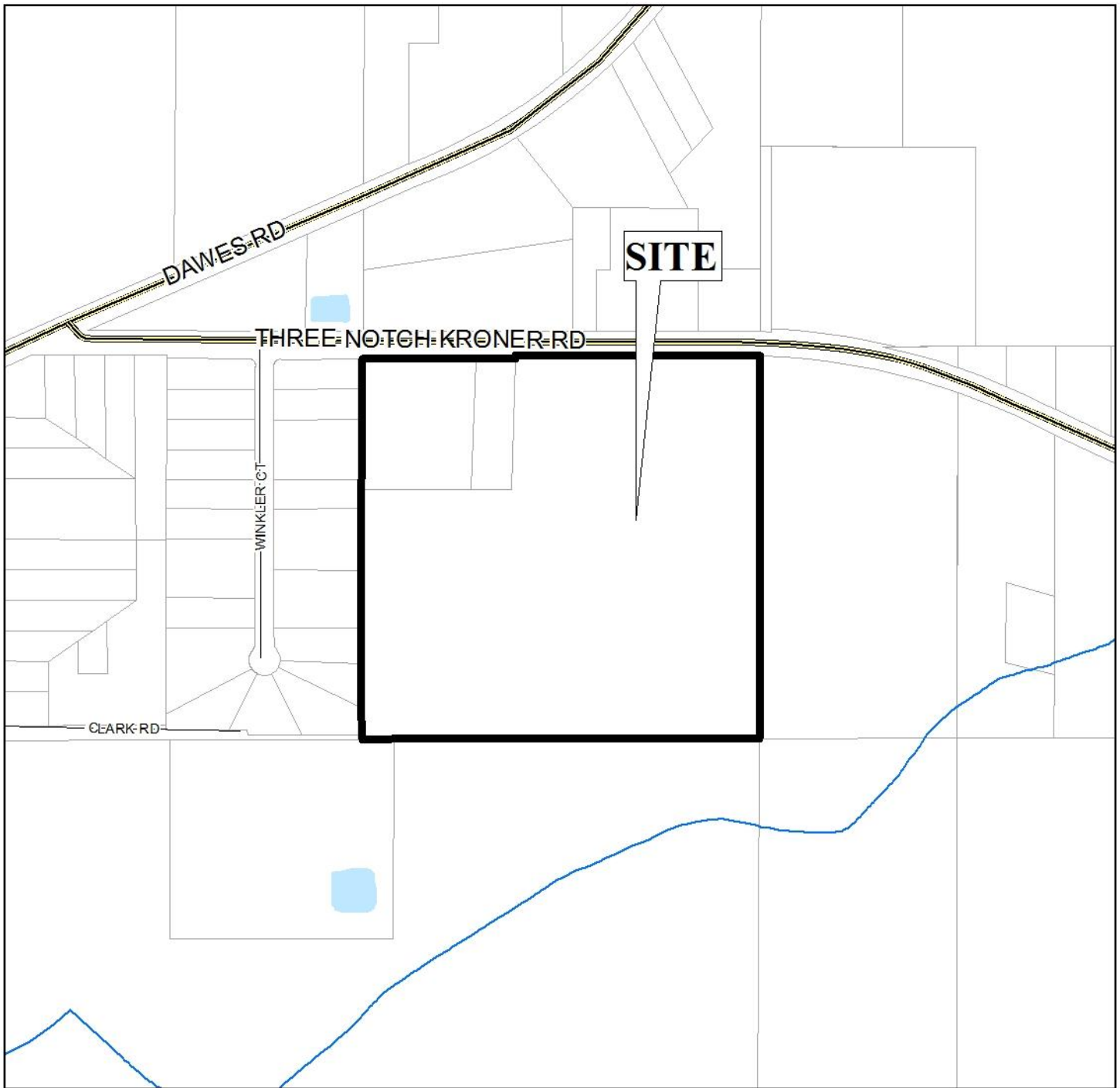
APPLICATION NUMBER 1 DATE January 18, 2018

APPLICANT Downer's Rock Subdivision

REQUEST Subdivision



FLUM LOCATOR MAP



APPLICATION NUMBER 1 DATE January 18, 2018

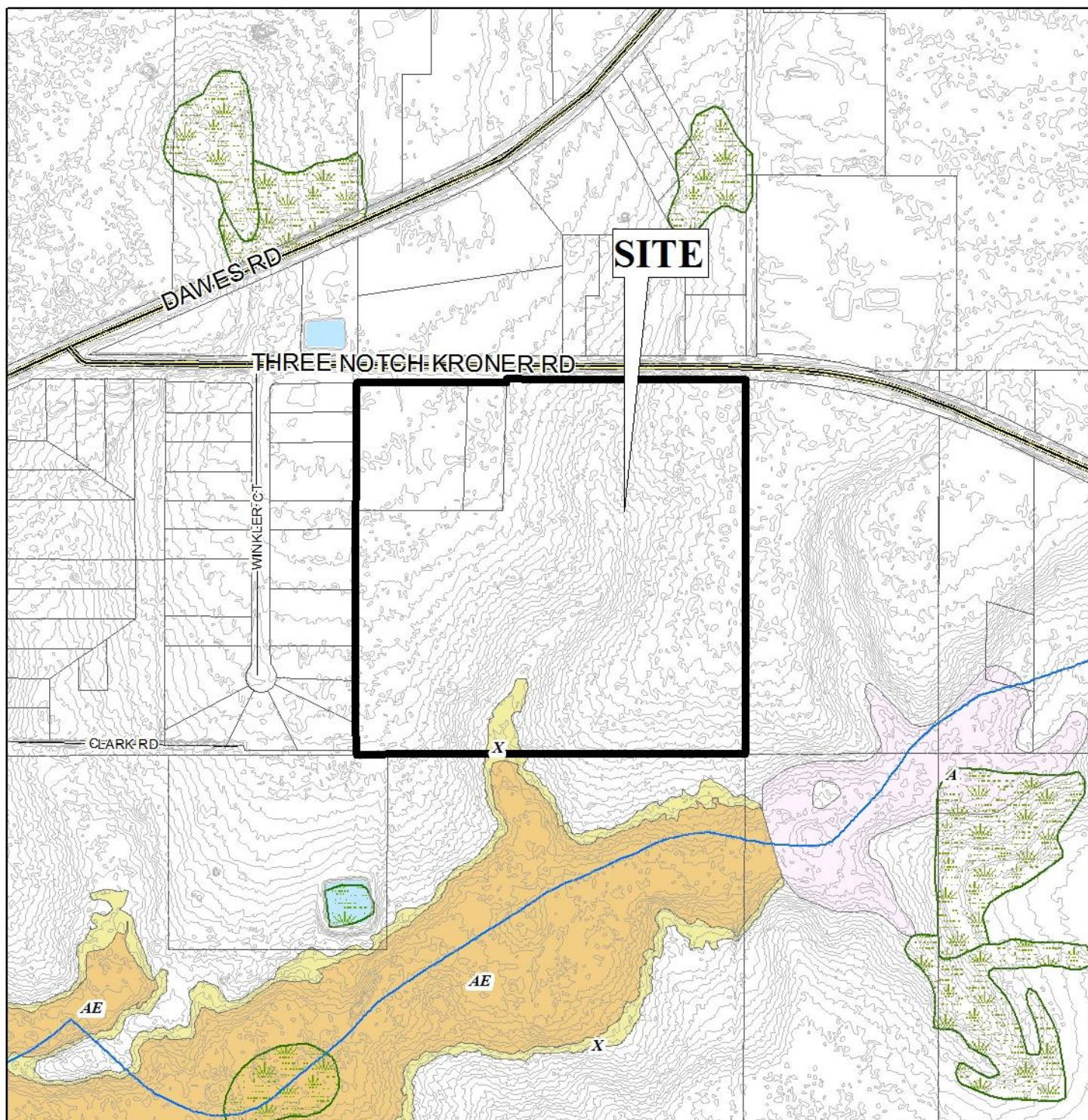
APPLICANT Downer's Rock Subdivision

REQUEST Subdivision

Low Density Residential	Neighborhood Center- Traditional	Downtown Waterfront	Water Dependent
Mixed Density Residential	Traditional Corridor	Light Industry	Parks & Open Space
Downtown	Neighborhood Center- Suburban	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



ENVIRONMENTAL LOCATOR MAP



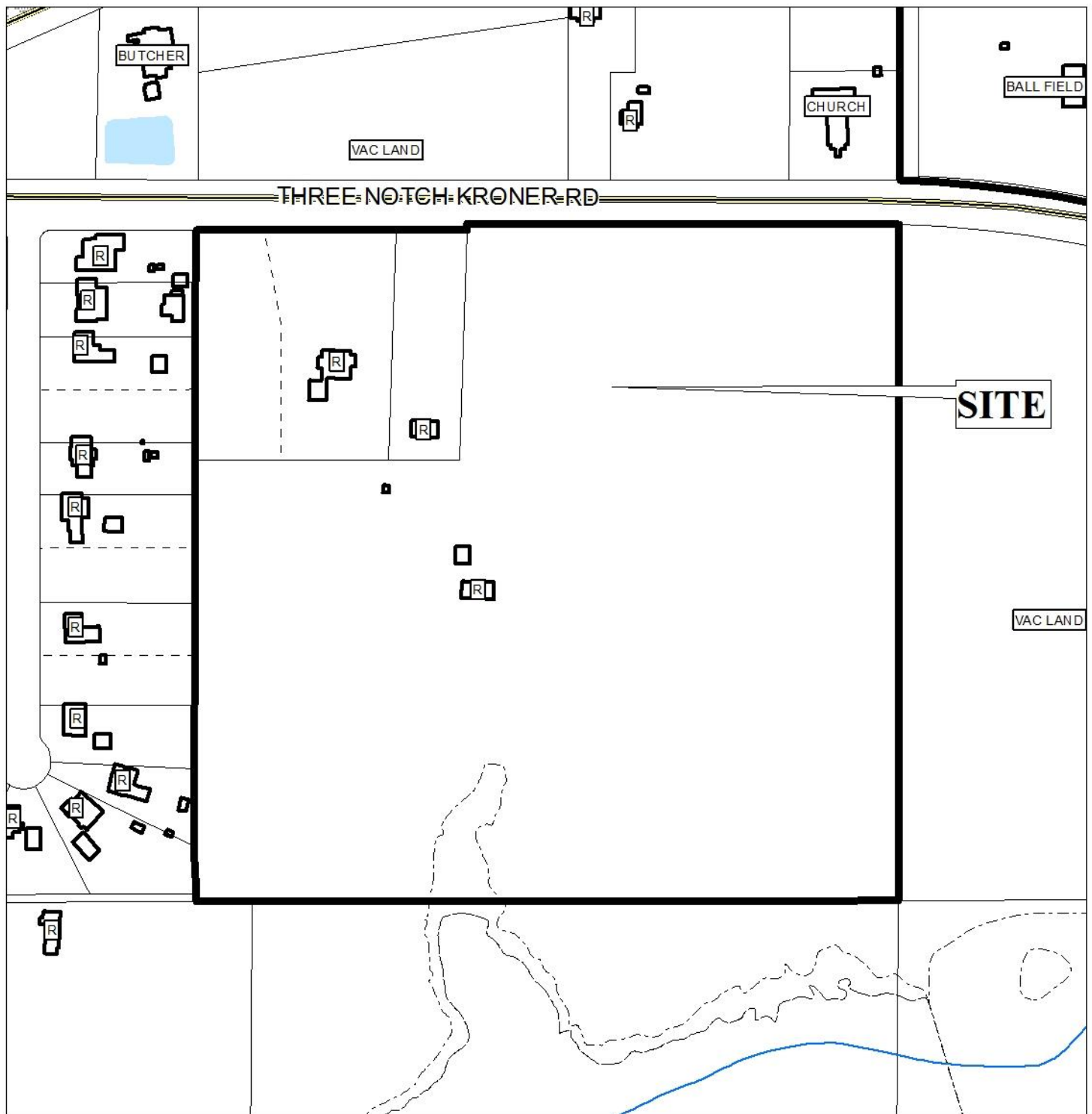
APPLICATION NUMBER 1 DATE January 18, 2018

APPLICANT Downer's Rock Subdivision

REQUEST Subdivision



DOWNER'S ROCK SUBDIVISION

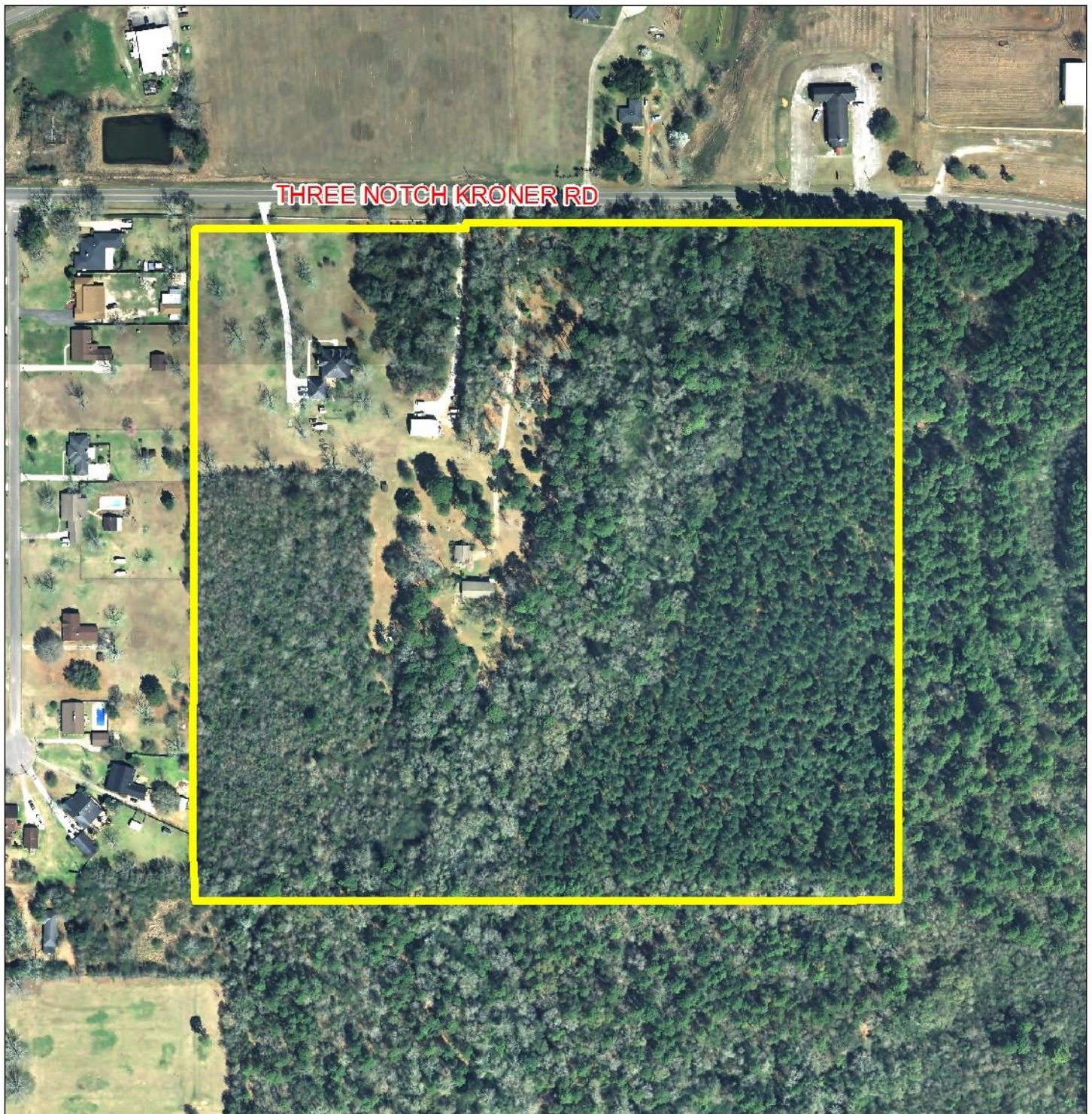


APPLICATION NUMBER 1 DATE January 18, 2018

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



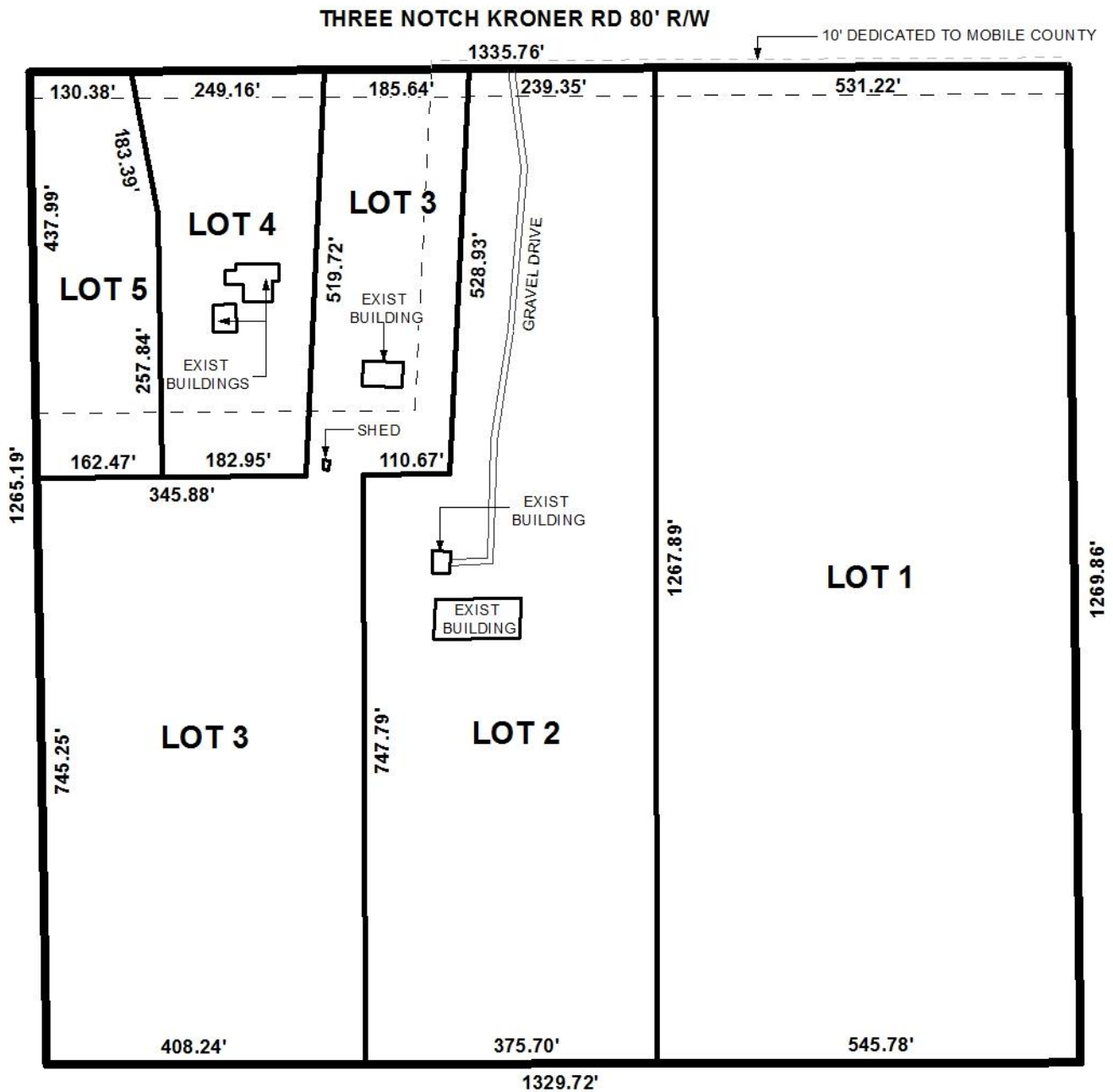
DOWNER'S ROCK SUBDIVISION



APPLICATION NUMBER 1 DATE January 18, 2018



DETAIL SITE PLAN



APPLICATION NUMBER 1 DATE January 18, 2018
APPLICANT Downer's Rock Subdivision
REQUEST Subdivision



