

PLANNING APPROVAL STAFF REPORT**Date: June 4, 2015****NAME**

Cowles, Murphy, Glover & Associates

LOCATION1437 Cochrane Causeway
(West side of Cochrane Causeway, 1000'± South of the
South terminus of the Cochrane-Africatown Bridge)**CITY COUNCIL
DISTRICT**

District 2

PRESENT ZONING

I-2, Heavy Industry

AREA OF PROPERTY

16.1± Acres

CONTEMPLATED USEPlanning Approval to amend a previously approved
Planning Approval to amend the scope of operations at an
existing bulk fuel storage facility to include storage of
sulphuric acid in an I-2, Heavy Industry District.**TIME SCHEDULE
FOR DEVELOPMENT**

Not provided

**ENGINEERING
COMMENTS**

No comments.

**TRAFFIC ENGINEERING
COMMENTS**

No comments.

**URBAN FORESTRY
COMMENTS**

No comments.

**FIRE DEPARTMENT
COMMENTS***All projects within the City Limits of Mobile shall comply
with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire
Code).***REMARKS**The applicant is requesting Planning Approval to amend a
previously-approved Planning Approval to amend the scope of operations at an existing bulk fuel
storage facility to include storage of sulphuric acid in an I-2, Heavy Industry District. The
Zoning Ordinance requires Planning Approval for hazardous materials storage in an I-2, Heavy
Industry District.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

It is very important to note that the Planning Approval review is site plan specific; therefore *any* future changes to the site plan or to the scope of operations for the facility, as approved, by current or future applicants must be submitted for Planning Approval.

The applicant states *“ARC Terminals proposes to store liquid bulk chemicals in existing tanks at 1437 Cochrane Causeway, Mobile, AL 36602. No tanks or any other construction is proposed in this permit submittal. A MSDS of the chemical has been attached with the planning approval submittal as well as the ADEM permit.”*

The subject site was developed sometime after 1975 with two storage tanks. Planning Approvals and Planned Unit Developments (PUD) approved in 2008, 2010 and 2013 allowed for expansions of the facilities to the current configuration. As there will not be any physical change or expansion to the current configuration, no PUD is required with this application. The applicant only proposes to change from oil storage to chemical storage in all of the existing tanks on the site.

In conjunction with this application, the applicant has also made application to the Alabama Department of Environmental Management (ADEM) for the proposed use and has received that agency's draft permit, with the permit to be in effect July 1, 2015. Any approval of this application should be subject to the applicant obtaining all necessary State and Federal permits required.

According to the Material Safety Data Sheet (MSDS) submitted, sulphuric acid is considered irritating, corrosive and toxic, and its storage within a populated area would be of public concern. However, the subject site is far-removed from any residential use or built-up area and is an area devoted to petroleum and chemical product storage and transportation.

The site plan does not indicate a dumpster in compliance with Section 64-4.D.9. of the Zoning Ordinance. Therefore, the site plan should be revised to indicate dumpster compliance, or a note should be placed on the site plan stating that no dumpster will be utilized, and refuse collection will either be curb-side or via private can collection services.

RECOMMENDATION

Planning Approval: Based on the preceding, this application is recommended for Approval, subject to the following conditions:

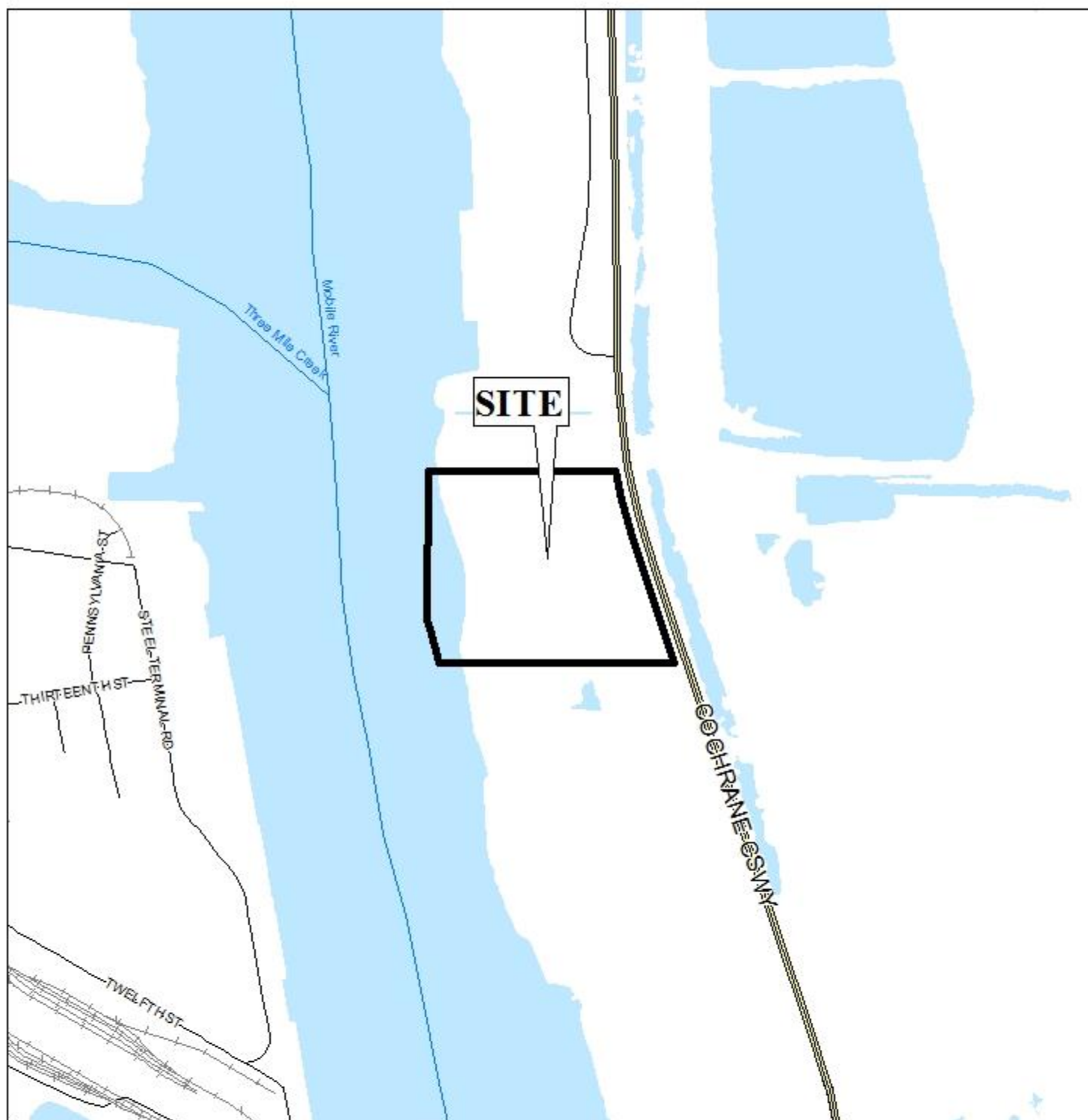
- 1) the applicant obtaining all State and Federal permits required for the proposed use, and submission of copies of such to the Planning Division of the Urban Development Department;

- 2) revision of the site plan to indicate a dumpster, in compliance with Section 64-4.D.9. of the Zoning Ordinance, or the placement of a note on the site plan stating that no dumpster will be utilized and refuse collection will either be curb-side or via private can collection services;
- 3) placement of a note on the site plan stating that any use of the site other than that of this approval, or any physical changes to the site, will require a new Planning Approval application;
- 4) compliance with the Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
- 5) submission to Planning of a revised site plan; and
- 6) full compliance with all municipal codes and ordinances.

Revised for the June 4th meeting:

This application was heldover from the May 7th meeting by the Commission pending the report from the Above Ground Storage Tank subcommittee. However, as that report will not be presented to the Commission until its June 11th business meeting, this application is recommended for holdover to the June 18th meeting to allow the Commission time to review that report as it relates to this application. It should also be noted that the applicant has submitted revised Planning Approval and Planned Unit Development applications for the site for the June 18th meeting.

LOCATOR MAP



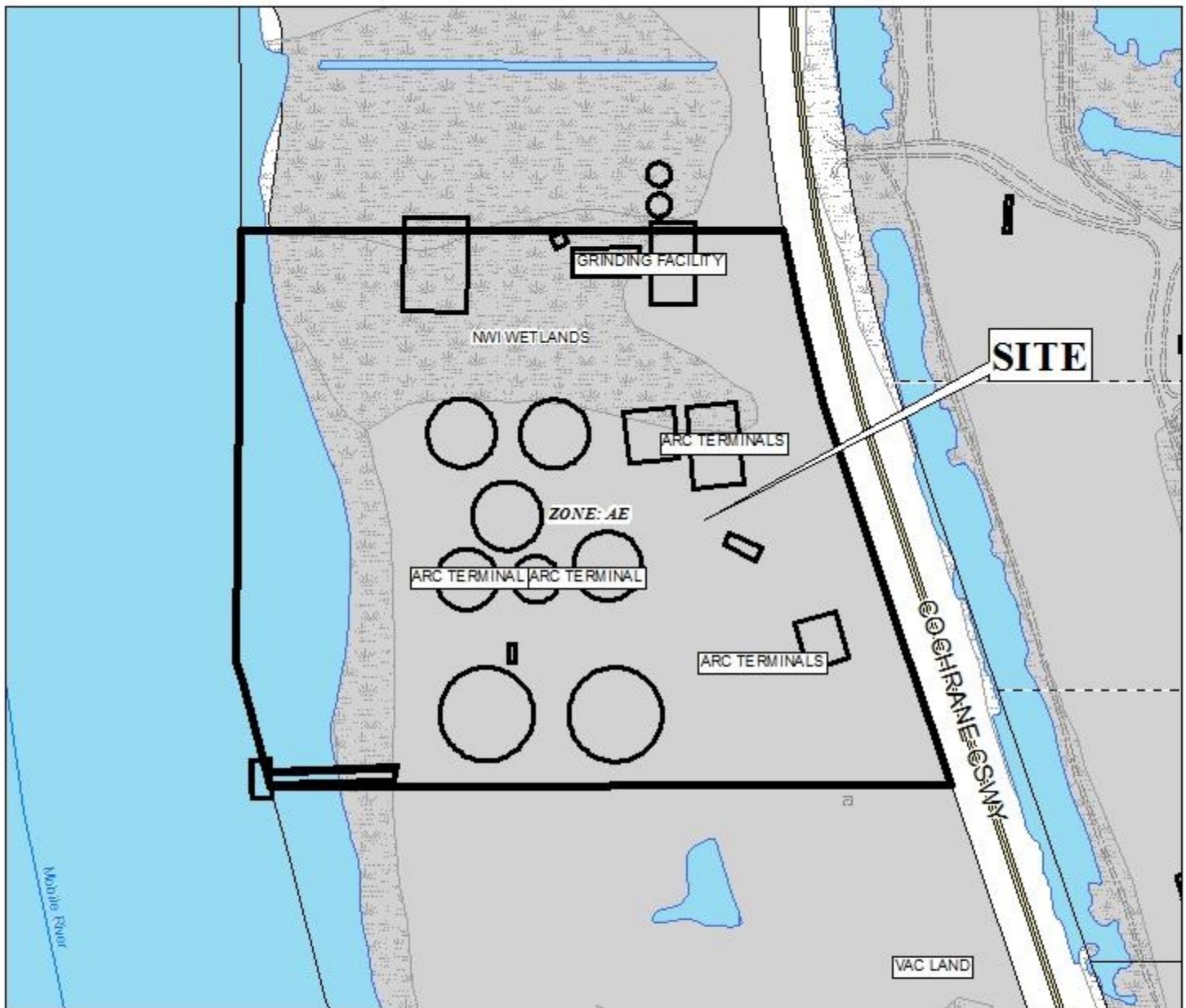
APPLICATION NUMBER 1 DATE June 4, 2015

APPLICANT Cowles, Murphy, Glover & Associates

REQUEST Planning Approval



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by industrial units.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



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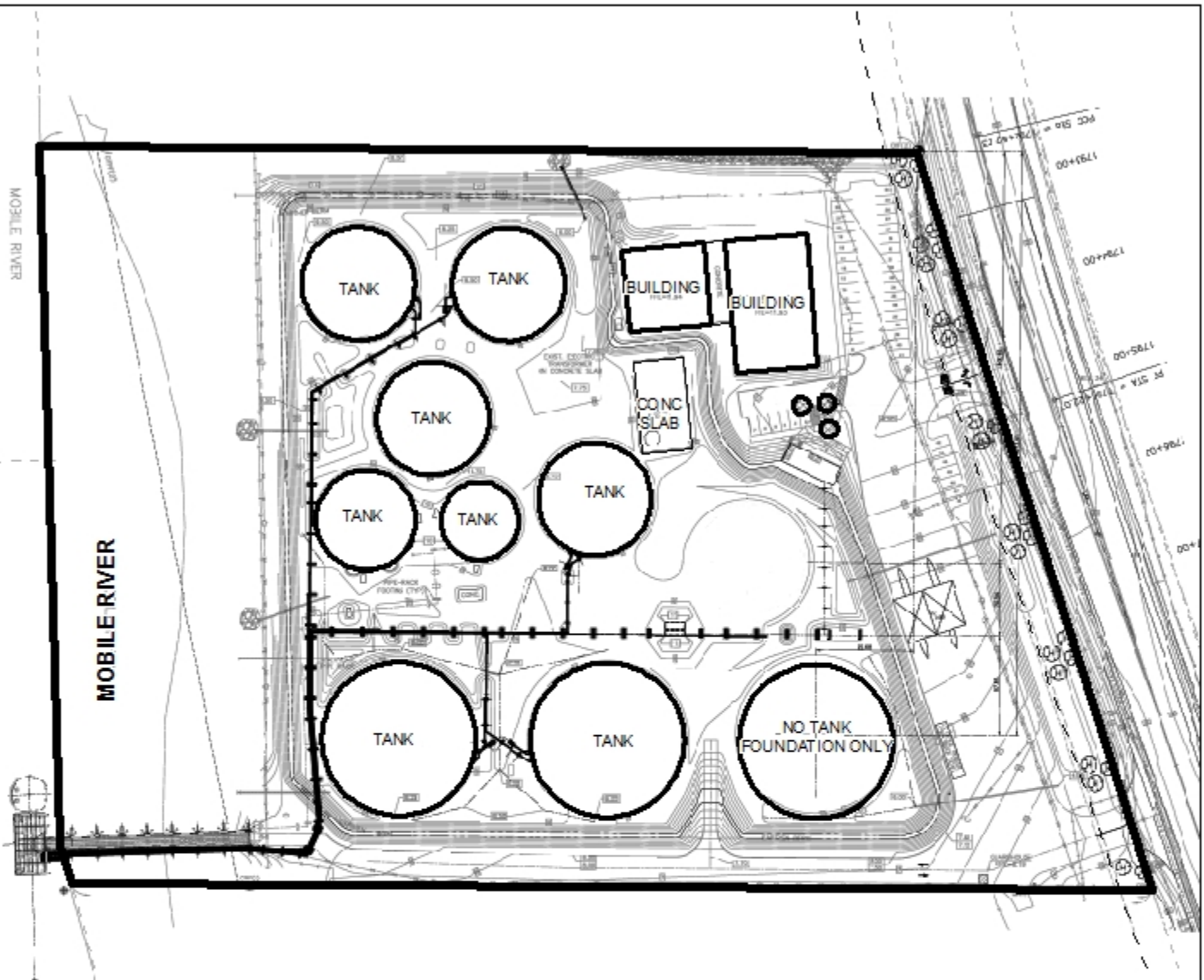
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SITE PLAN



The site plan illustrates the existing tanks and buildings.

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