

**CRYSTAL PLACE, RESUBDIVISION OF LOT 2,**  
**RESUBDIVISION OF LOT 15**

Engineering Comments: Must comply with all stormwater and flood control ordinances. Any work performed in the right-of-way will require a right-of-way permit.

Traffic Engineering Comments: Driveway numbers, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All commercial projects shall comply with the 2003 International Fire Code and Appendices B through G as adopted by the City Of Mobile on July 6, 2004. All One- or Two-Family residential developments shall comply with Appendices B, C and D of the 2003 International Fire Code as adopted by the City of Mobile on July 6, 2004.

The plat illustrates the proposed one-lot, 0.3± acre subdivision which is located at the Northwest corner of Crystal Court South and Crystal Drive. The subdivision is served by public water and sanitary facilities.

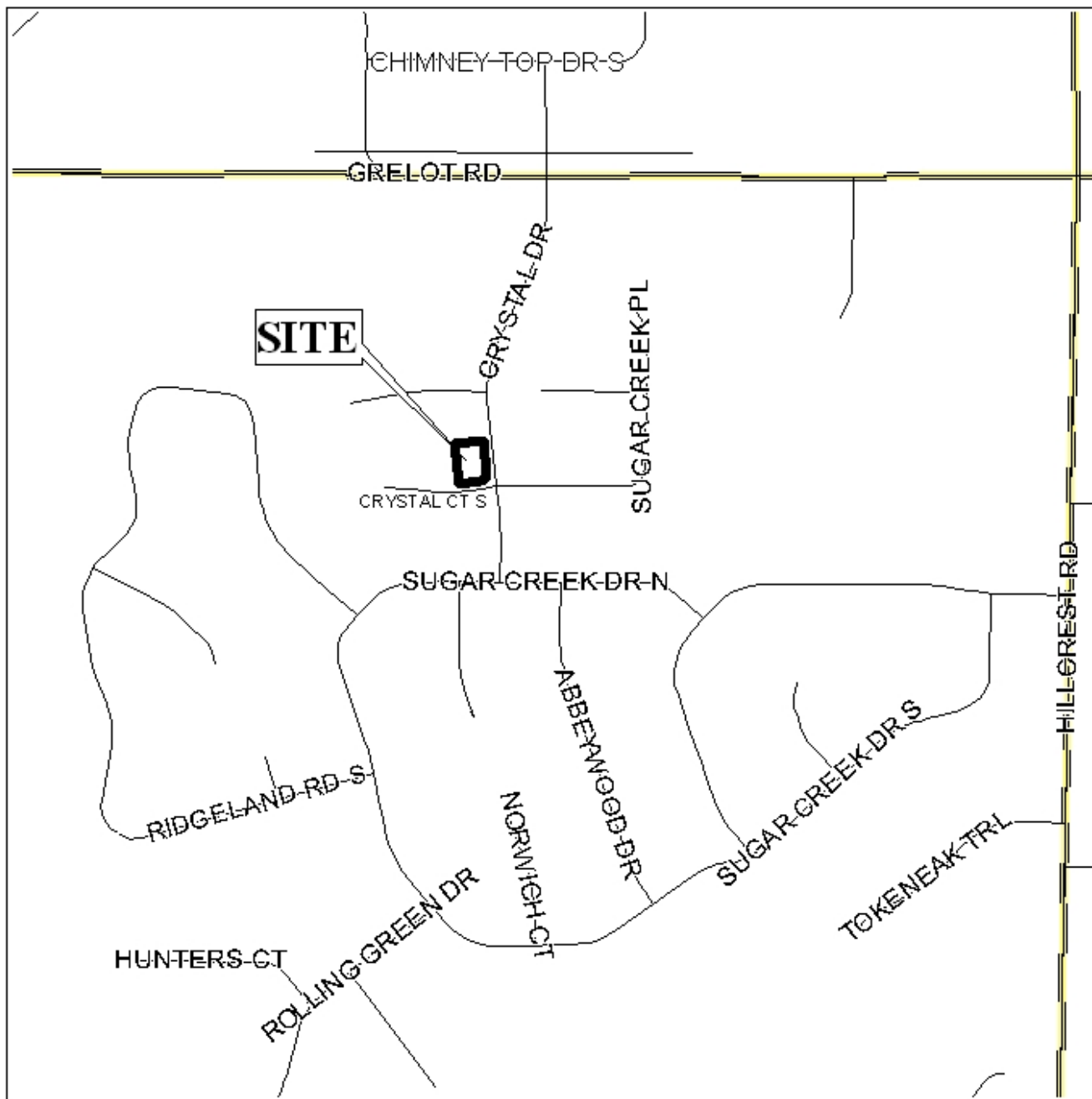
The purpose of this application is to remove a condition of the original subdivision, which denied the lot direct access to Crystal Drive. The site has frontage on Crystal Drive and Crystal Court South, both of which have 50-foot rights-of-way.

The purpose of the original condition was to limit curb cuts to corner lots, and the restriction applied to the main street in the development. This is done for two reasons: to reduce traffic complications in the subdivision resulting from excess curb cuts; and to increase the land area available for landscaping.

The present application does not indicate whether they will seek access to both streets, which would not be recommended. However, substitution of one point of access (on Crystal Drive) for another (on Crystal Court South) would be appropriate.

Based on the preceding, the plat is recommended for Tentative Approval subject to the following condition: 1) the placement of a note on the final plat stating that the site is limited to a single curb cut to be approved by Traffic Engineering.

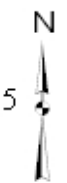
# LOCATOR MAP



APPLICATION NUMBER 1 DATE October 19, 2006

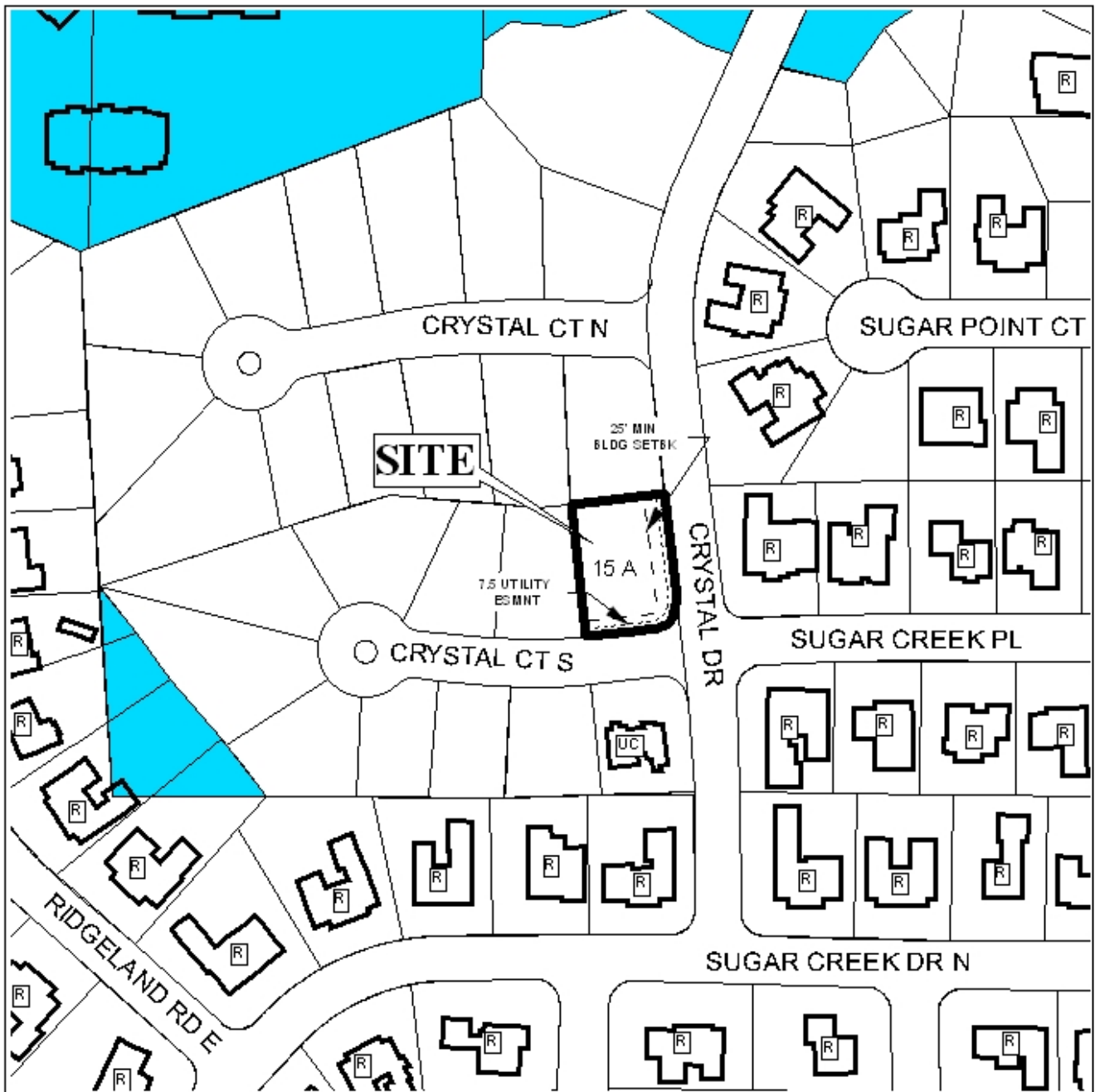
APPLICANT Crystal Place Subdivision, Resubdivision of Lot 2, Resubdivision of Lot 15

REQUEST Subdivision



NTS

# CRYSTAL PLACE SUBDIVISION, RESUBDIVISION OF LOT 2, RESUBDIVISION OF LOT 15



APPLICATION NUMBER 1 DATE October 19, 2006

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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