

**SUBDIVISION AND
PLANNED UNIT DEVELOPMENT
STAFF REPORT**

Date: January 9, 2020

DEVELOPMENT NAME

David Kirby

SUBDIVISION NAME

Old Government Park Subdivision Lot 1

LOCATION

7960 Old Government Street Road
(North side of Old Government Street Road, 555'± East of Dawes Road, extending to the South side of Glider Avenue).

**CITY COUNCIL
DISTRICT**

District 6

AREA OF PROPERTY

2.1± Acres

CONTEMPLATED USE

Planned Unit Development to allow multiple buildings on a single building site, and shared access between two lots.

**TIME SCHEDULE
FOR DEVELOPMENT**

Upon approval

**ENGINEERING
COMMENTS**

ADD THE FOLLOWING NOTES TO THE PROPOSED

SITE PLAN (Plan Sheet No. C3):

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
4. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by

the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy.

5. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
6. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

Revised for the March 19th meeting:

Planned Unit Development

1. *Provide a title for the plan sheet that was submitted – PUD SITE PLAN.*
2. *Provide a north arrow, a scale/graphic scale, a legend, and a vicinity map.*
3. *Show and label the location of the south gate.*
4. *Show and label the proposed fencing along the property line (east and west) south of Building 2, around the detention pond, and connecting to the proposed single slide gate at the south end.*
5. **ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:**
 - a. *Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).*
 - b. *A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.*
 - c. *Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.*
 - d. *Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the*

Engineering Department issuing their approval for a Final Certificate of Occupancy.

- e. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.*
- f. The proposed development must comply with all Engineering Department design requirements and Policy Letters.*

TRAFFIC ENGINEERING

COMMENTS

Site is limited to one curb cut per street frontage, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. The PUD site plan illustrates the front setback on Glider Avenue as all asphalt surface; this should be corrected to reflect the proper landscaping and paved areas. The driveway radius cannot extend across adjacent property frontage (Glider Ave) unless written consent is provided from the adjacent property owner as part of the permit.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site may require a tree removal permit.

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).

REMARKS The applicant is requesting Planned Unit Development to allow multiple buildings on a single building site, and shared access between two lots.

The site is comprised of one tax parcel, thus a Subdivision application is required. The applicant wishes to build a commercial storage facility for RVs, boats, automobiles, etc. The site is zoned appropriately for the use, but the applicant is proposing a configuration consisting of five separate buildings with access across the lots, making the current Planned Unit Development (PUD) application necessary.

The site has been given a Low Density Residential (LDR) land use designation, per the Future Land Use Plan and Map, adopted on May 18, 2017 by the Planning Commission. The Future Land Use Plan and Map complements and provides additional detail to the Development

Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This designation applies to existing residential neighborhoods found mostly west of the Beltline or immediately adjacent to the east side of the Beltline.

The primary land use in the LDR districts is residential and the predominant housing type is the single-family housing unit, detached or semi-detached, typically placed within a street grid or a network of meandering suburban streets. The density in these districts ranges between 0 and 6 dwelling units per acre (du/ac).

These neighborhoods may also contain small-scale, low-rise multi-unit structures at appropriate locations, as well as complementary retail, parks and civic institutions such as schools, community centers, neighborhood playgrounds, and churches or other religious uses if those uses are designed and sited in a manner compatible with and connected to the surrounding context. The presence of individual ancillary uses should contribute to the fabric of a complete neighborhood, developed at a walkable, bikeable human scale.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

In pursuit of these purposes, the objectives to be met by a PUD are as follows: a) to encourage innovative and diversified design in building form and site development; b) flexibility, to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations; c) to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for re-development; d) to preserve and protect as urban amenities the natural features and characteristics of land; e) to encourage the provision of common open space through efficient site design; and, f) to encourage optimum use of available public utilities, streets and community facilities.

PUD approval is site-plan specific, thus any changes to the site plan will require approval by the Planning Commission. Also, PUD approvals expire within one (1) year if no permits for the development are obtained or an extension granted.

The site is entirely surrounded by properties zoned B-3, Community Business District.

The applicant states:

The existing site is 2.08 acres in size and is zoned B3. The site has been cleared and grubbed except for three remaining oaks.

The project will consist of constructing five commercial storage facilities and the infrastructure to support those facilities. The intended use of the facility is to store RV's, boats, automobiles, and etc. The facility will not contain any office space.

Phase I will consist of constructing the two southern most buildings on the proposed site plan. Water, sewer, and drainage for the entire site will be installed during this phase. We anticipate starting the project upon receiving the construction permit and taking four months to complete.

Phase II consists of constructing the remaining three buildings, any remaining asphalt, and providing permanent vegetation. Phase II will commence upon completion of Phase I and is anticipated to take six months to complete.

The site plan depicts five buildings ranging in size from 5,040 square feet to 7,200 square feet, for a total of 28,411 square feet. There is also a dumpster to have an enclosure with sanitary sewer connection, and gated entries along both street frontages. It should be noted that both gates will provide approximately 25' of queuing space, which would typically be sufficient for passenger vehicles; however, due to the nature of the proposed business, increased queuing space should be provided to allow full-size RVs and vehicles with trailers can pull out of the right-of-way while opening the gates.

It should be noted that there is to be no office space in the proposed development. With no office space, there is no parking requirement, and the site plan does not depict any parking spaces. The site plan does indicate sidewalks along both street frontages, which should be retained on the site plan, if approved.

B-3, Community Business Districts allow for a 0' side yard setback, which the applicant is proposing for four of the structures. It should be noted that there are Building and Fire Code requirements that must be observed for structures less than 5' from an adjacent property line.

As this will be the first commercial development of this property, full compliance with tree planting is required. The site plan states that the site will have a compliant amount of overall landscaped area, but will be short approximately 3,976 square feet of front landscape area. The site plan does provide tree planting calculations, acknowledging what the requirements are, but does not depict them on the site plan, making it difficult for staff to determine if there is sufficient landscaped area to support all required trees. Given the size of the property, it seems

as if the site plan could be redesigned in such a way as to comply with landscape area requirements.

The site plan does show compliant 24' wide access for two-way traffic throughout the majority of the site. However, there is a live oak tree that is proposed to remain next to Building 5, which reduces the access aisle width to 16' wide. Furthermore, there may not be sufficient landscape area around the tree to insure it continues to thrive. Right Tree Right Place (RTRP) provides guidance on landscape area that should be made available to trees to remain on the site. RTRP states that live oaks should have a minimum of 204 square feet of landscaped area, which is at least 15' wide. The applicant should coordinate with Urban Forestry staff to make sure any trees to remain on the site will thrive.

RECOMMENDATION

Planned Unit Development: Staff recommends the application be Heldover to the February 20, 2020, with revisions due by January 21st to address the following:

- 1) Submittal of a 1-lot Subdivision application;
- 2) Revision of the site plan to provide full compliance with total and front landscape area requirements;
- 3) Revision of the site plan to provide sufficient queuing space to allow full-size RVs and vehicles with trailers can pull out of the right-of-way;
- 4) Revision of the site plan to illustrate compliant tree plantings;
- 5) Coordination with Urban Forestry to provide sufficient minimum area for any trees to remain on site, and revision of the site plan to reflect this; and
- 6) Revision of the site plan to provide a compliant 24' wide access aisle for two-way traffic throughout the site.

Revised for the February 6th meeting:

The application was heldover by the Planning Commission at its January 9th meeting to allow the applicant to submit a 1-lot Subdivision and revise the PUD site plan to address several non-compliant aspects. A Subdivision application has been submitted, but no revised PUD site plans have been received.

The subject site has frontage on both Old Government Street Road and Glider Avenue, both minor streets without curb and gutter, thus requiring a 60' right-of-way. Old Government Street Road is shown as having an existing compliant right-of-way making no dedication necessary; whereas Glider Avenue is shown as having an existing right-of-way width of 50', thus requiring dedication to provide 30' from the centerline.

The preliminary plat provides the proposed lot's size in square feet and acres, and exceeds the minimum requirements for a lot served by public water and sanitary sewer. If approved, this information should be retained on the Final Plat, adjusted for any required dedication.

The 25' minimum building setback line is depicted along both street frontages, and should be retained, if approved, and adjusted for dedication.

As the applicant has not submitted any revised information on the PUD, staff cannot recommend it for approval. The site plan had several deficiencies, including queuing spaces and front landscaped area that would be impacted by the dedication requirement along Glider Avenue, in addition to a building and gate located 25 feet from the existing property line, and would need to be relocated to accommodate said dedication.

RECOMMENDATION

Subdivision: *Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:*

- 1) dedication to provide 30' from the centerline of Glider Avenue;*
- 2) retention of the plat to depict the lot size in square feet and acres, or the provision of a chart depicting the same information, adjusted for dedication;*
- 3) retention of the 25-foot minimum building setback line along both street frontages, adjusted for dedication;*
- 4) compliance with Engineering comments: (ADD THE FOLLOWING NOTES TO THE PROPOSED SITE PLAN (Plan Sheet No. C3): A. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). B. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. C. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. D. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy. E. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. F. The proposed development must comply with all Engineering Department design requirements and Policy Letters.);*
- 5) placement of a note on the Final Plat stating the following Traffic Engineering comments: (Site is limited to one curb cut per street frontage, with size, location and*

design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. The PUD site plan illustrates the front setback on Glider Avenue as all asphalt surface; this should be corrected to reflect the proper landscaping and paved areas. The driveway radius cannot extend across adjacent property frontage (Glider Ave) unless written consent is provided from the adjacent property owner as part of the permit.);

- 6) compliance with Urban Forestry comments: "Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.";
- 7) compliance with Fire comments: "All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)";
- 8) full compliance with all municipal codes and ordinances.

Planned Unit Development: Staff recommends the PUD application for denial due to the following reasons:

- 1) the site plan does not provide full compliance with total and front landscape area requirements;
- 2) the site plan does not provide sufficient queuing space to allow full-size RVs and vehicles with trailers to pull completely out of the right-of-way while stopped at the gate;
- 3) the site plan does not illustrate compliant tree plantings; and
- 4) the site plan does not provide a compliant 24' wide access aisle for two-way traffic throughout the site.

Revised for the February 20th meeting:

The applicant requested a holdover at the February 6, 2020 meeting to allow them to address concerns about the site plan, specifically tree planting and landscape area compliance, queuing spaces, and access and maneuvering. A revised site plan has been submitted to staff for review.

A landscaping and tree plan was submitted for review with information regarding requirements and how the site will or will not meet regulations. The proposed site plan has sufficient total landscaped area, but has a severe shortage of front landscaped area, with only approximately 40% of the required amount of front landscaped area being provided. Furthermore, tree plantings are depicted, however it appears that the site is short two overstory and two understory trees.

The site plan does indicate that there will be 60' of queuing space for the gate along Old Government Street, however, approximately 12' of that is located in the right-of-way. All queuing spaces must be provided on private property. Also, a note on the site plan states that a

6' tall privacy fence will be constructed along the 25' setback. It should be noted that the proposed fence is not illustrated on the site plan, and would need to come back farther away from the setback line to connect to the gate. If approved, the fence and gate should specifically be illustrated on the site plan.

The gated access from Glider Avenue has not been relocated, and does not account for the queuing spaces, or for dedication that will be required as a part of the Subdivision application. The dedication requirement will also result in a need to move "proposed building 5" further from the street.

The driveway through the proposed development is still less than 24' wide to accommodate two-way traffic where an existing tree is to be preserved adjacent to "proposed building 5". Furthermore, live oaks should have a minimum of 204 square feet of landscaped area, which is at least 15' wide, in order to thrive. The tree proposed to remain appears to be completely encircled by building and pavement, and will not have anywhere near that much space and therefore may not survive. If the applicant were to alter the site plan indicating that the curb cut to Old Government Street as an entrance only, and Glider Avenue as an exit only, the driveway width would be acceptable for one-way traffic, and the queuing spaces from Glider Avenue would not be a concern. Also, as one-way traffic aisles are only required to be 12' wide, more landscaped area could be made available to the live oak so that it might survive. That alteration would not however, allow the site to comply with tree planting and landscaped areas requirements.

It should be noted that the landscaping and tree plan submitted states that 65 covered parking spaces of various sizes will be provided. There has been no depiction or mention of parking spaces on the site previously, therefore, if approved; the site plan should be revised to clearly indicate where these spaces will be located.

In addition to the previously addressed concerns, there is no scale on the site plan, nor is information provided regarding the proposed parking surface.

RECOMMENDATION

Subdivision: *Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:*

- 1) dedication to provide 30' from the centerline of Glider Avenue;*
- 2) retention of the plat to depict the lot size in square feet and acres, or the provision of a chart depicting the same information, adjusted for dedication;*
- 3) retention of the 25-foot minimum building setback line along both street frontages, adjusted for dedication;*
- 4) compliance with Engineering comments: (ADD THE FOLLOWING NOTES TO THE PROPOSED SITE PLAN (Plan Sheet No. C3): A. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article*

VIII). B. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. C. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. D. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy. E. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. F. The proposed development must comply with all Engineering Department design requirements and Policy Letters.);

- 5) placement of a note on the Final Plat stating the following Traffic Engineering comments: (Site is limited to one curb cut per street frontage, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. The PUD site plan illustrates the front setback on Glider Avenue as all asphalt surface; this should be corrected to reflect the proper landscaping and paved areas. The driveway radius cannot extend across adjacent property frontage (Glider Ave) unless written consent is provided from the adjacent property owner as part of the permit.);
- 6) compliance with Urban Forestry comments: "Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.";
- 7) compliance with Fire comments: "All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)";
- 8) full compliance with all municipal codes and ordinances.

Planned Unit Development: Staff recommends the following Findings of Fact for Denial:

- a. the proposal does not promote the objective of Creative design (to encourage innovative and diversified design in building form and site development), because the proposed gate location would result in vehicles blocking traffic on Glider Avenue;

- b. *the proposal does not promote the objective of Flexibility (to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations), because the site plan can be reconfigured to comply with site development standards;*
- c. *the proposal does not promote the objective of Efficient land use (to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for redevelopment), because the site plan can be reconfigured to comply with Zoning Ordinance requirements;*
- d. *the proposal does not promote the objective of Environment (to preserve and protect as urban amenities the natural features and characteristics of the land), because the proposed site plan has insufficient front landscaped area and room for proposed trees to thrive; and*
- e. *the proposal does not promote the objective of Open space (to encourage the provision of common open space through efficient site design), because the proposed site plan has insufficient front landscaped area.*

Revised for the March 19th meeting:

The Planning Commission holdover these applications at the February 20th meeting to allow the applicant time to revise the proposed site plan to address concerns staff expressed.

A revised site plan has been submitted, and depicts that the site will now comply with both front and total landscape area requirements. A live oak tree previously shown as remaining on the site is now being shown as being removed. It should be noted that a private property tree permit will be required prior to the removal of the tree. Tree planting should be coordinated with staff to insure that each proposed tree has sufficient area to thrive.

Traffic circulation was a concern on previous site plans for the development, but has now been addressed. A gate is depicted on the site plan as 62.1' from the property line along Old Government Street Road, thus providing sufficient queuing spaces for incoming vehicles. Furthermore, the portion of the driveway adjacent to the proposed "Building 5" is proposed to be 12' wide, but is now clearly marked as being one-way only, with a gate at the 25' setback along Glider Avenue (accounting for dedication). There are also a "do not enter" and "exit only" signs depicted at the curb cut on Glider Avenue. Furthermore, it is clearly noted that the driveway through the site will be paved with asphalt.

In addition, several of the buildings have notes associated with the identifying the size and number of parking spaces to be provided in each.

<u>Building Number</u>	<u>Number of Spaces</u>	<u>Dimensions of Spaces</u>
Building 2	2	7' x 30'
	10	12' x 30'
Building 3	12	12' x 30'
Building 4	12	12' x 40'
Building 5	7	12' x 50'

RECOMMENDATION

Subdivision: Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) dedication to provide 30' from the centerline of Glider Avenue;
- 2) retention of the plat to depict the lot size in square feet and acres, or the provision of a chart depicting the same information, adjusted for dedication;
- 3) retention of the 25-foot minimum building setback line along both street frontages, adjusted for dedication;
- 4) compliance with Engineering comments: (ADD THE FOLLOWING NOTES TO THE PROPOSED SITE PLAN (Plan Sheet No. C3): A. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). B. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. C. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. D. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy. E. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. F. The proposed development must comply with all Engineering Department design requirements and Policy Letters.);
- 5) placement of a note on the Final Plat stating the following Traffic Engineering comments: (Site is limited to one curb cut per street frontage, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. The PUD site plan illustrates the front setback on Glider Avenue as all asphalt surface; this should be corrected to reflect the proper landscaping and paved areas. The driveway radius cannot extend across adjacent property frontage (Glider Ave) unless written consent is provided from the adjacent property owner as part of the permit.);
- 6) compliance with Urban Forestry comments: "Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and

private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.”;

- 7) compliance with Fire comments: “All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)”;*
- 8) full compliance with all municipal codes and ordinances.*

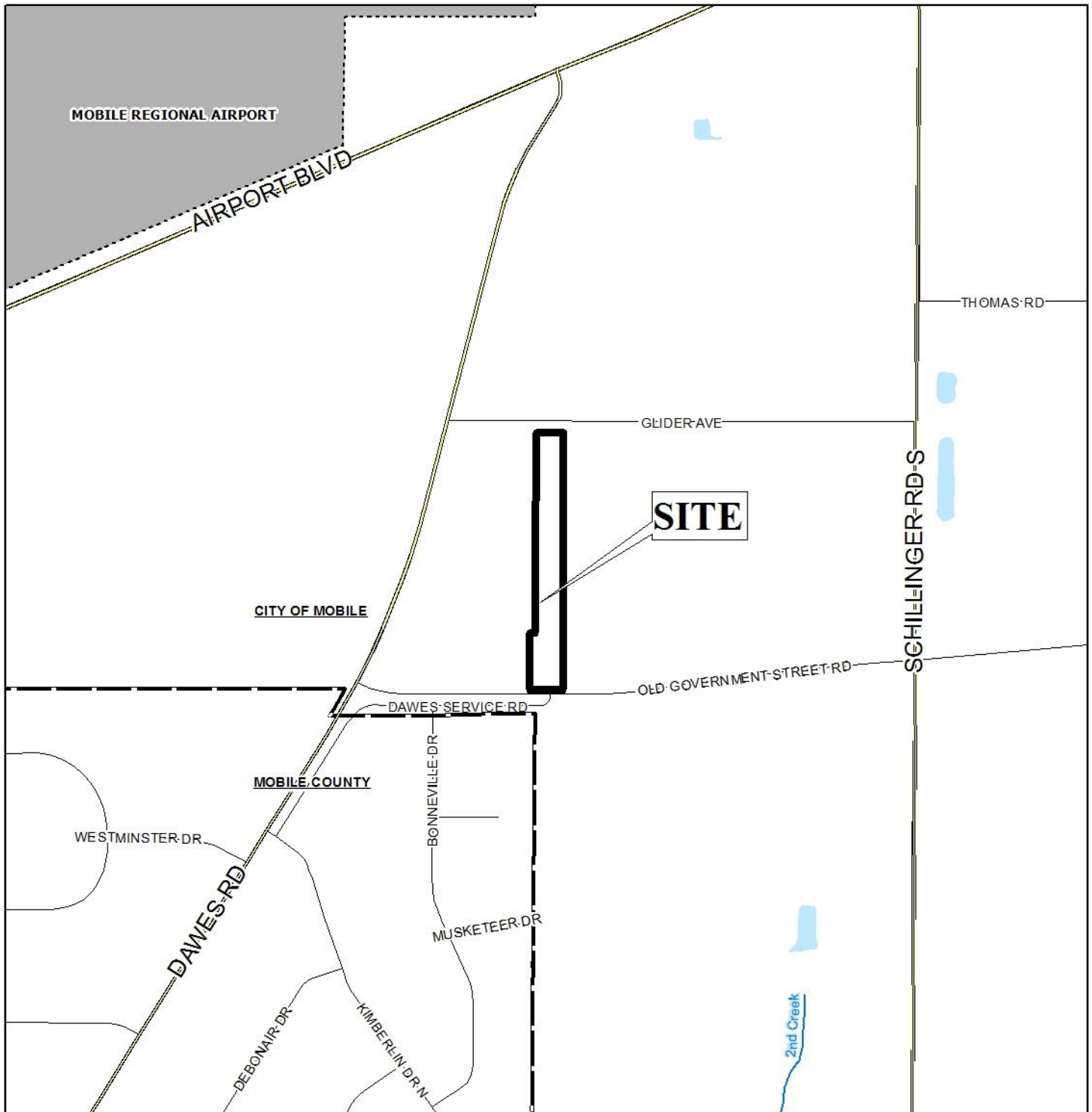
Planned Unit Development: *Staff recommends the following Findings of Fact for Approval:*

- a. the proposal promotes the objective of Creative design (to encourage innovative and diversified design in building form and site development), because it will allow multiple buildings on a single building site;*
- b. the proposal promotes the objective of Flexibility (to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations), because it will allow multiple buildings on a single building site;*
- c. the proposal promotes the objective of Efficient land use (to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for redevelopment), because it will allow for the development of a long, narrow lot;*
- d. the proposal promotes the objective of Environment (to preserve and protect as urban amenities the natural features and characteristics of the land), because the development will comply with tree planting and landscape area requirements;*
- e. the proposal promotes the objective of Open space (to encourage the provision of common open space through efficient site design), because the proposed site layout will result in approximately 50% more landscaped area than required; and*
- f. the proposal promotes the objective of Public services (to encourage optimum use of available public utilities, streets and community facilities), because services already exist in the area.*

This approval should be subject to the following conditions:

- 1) obtain a private property tree permit for the live oak to be removed from the property;*
- 2) coordination with staff for planting required trees; and*
- 3) full compliance with all municipal codes and ordinances*

LOCATOR MAP



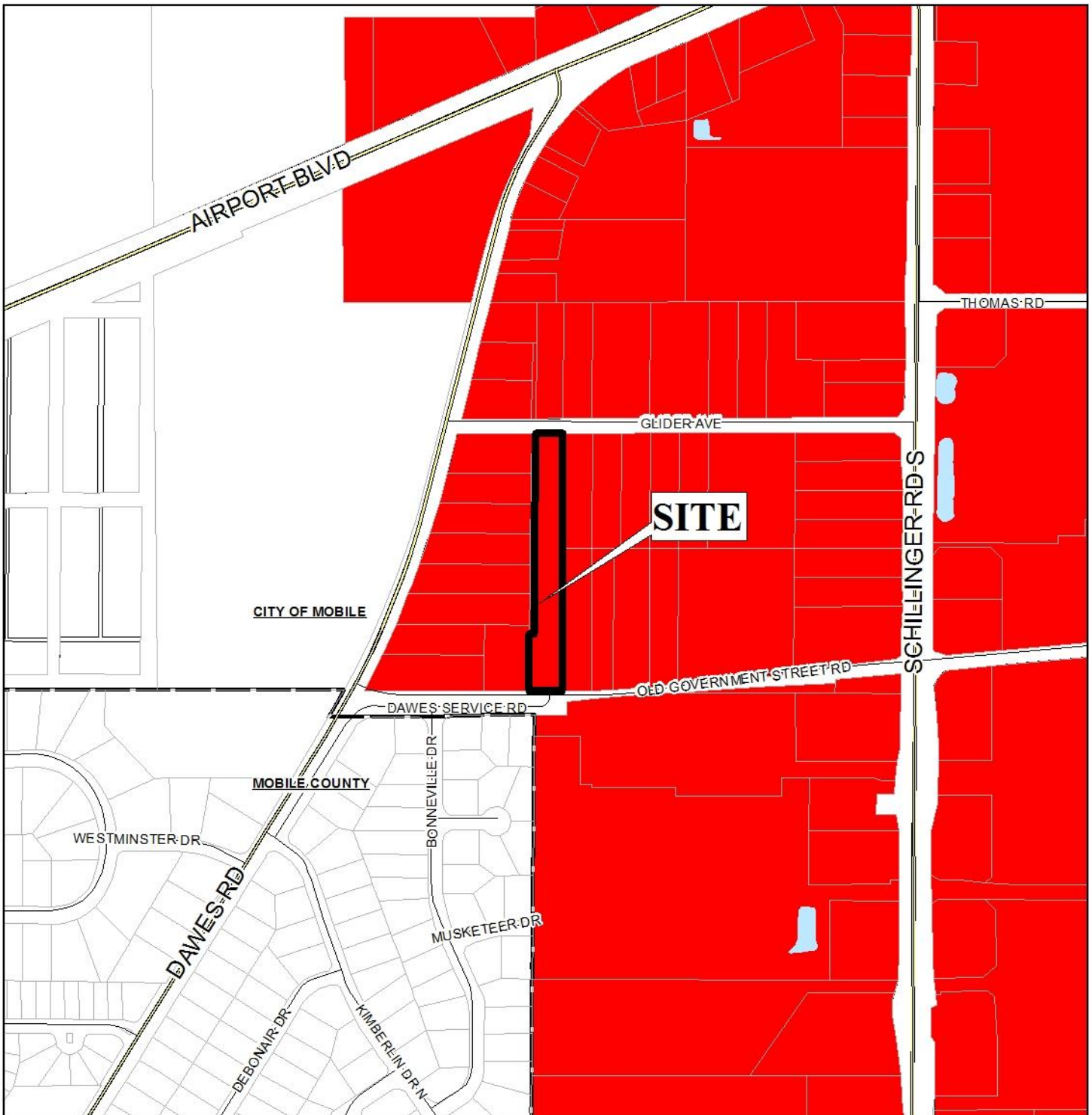
APPLICATION NUMBER 1 DATE March 19, 2020

APPLICANT Old Government Park Subdivision Lot 1

REQUEST Subdivision, PUD



LOCATOR ZONING MAP



APPLICATION NUMBER 1 DATE March 19, 2020

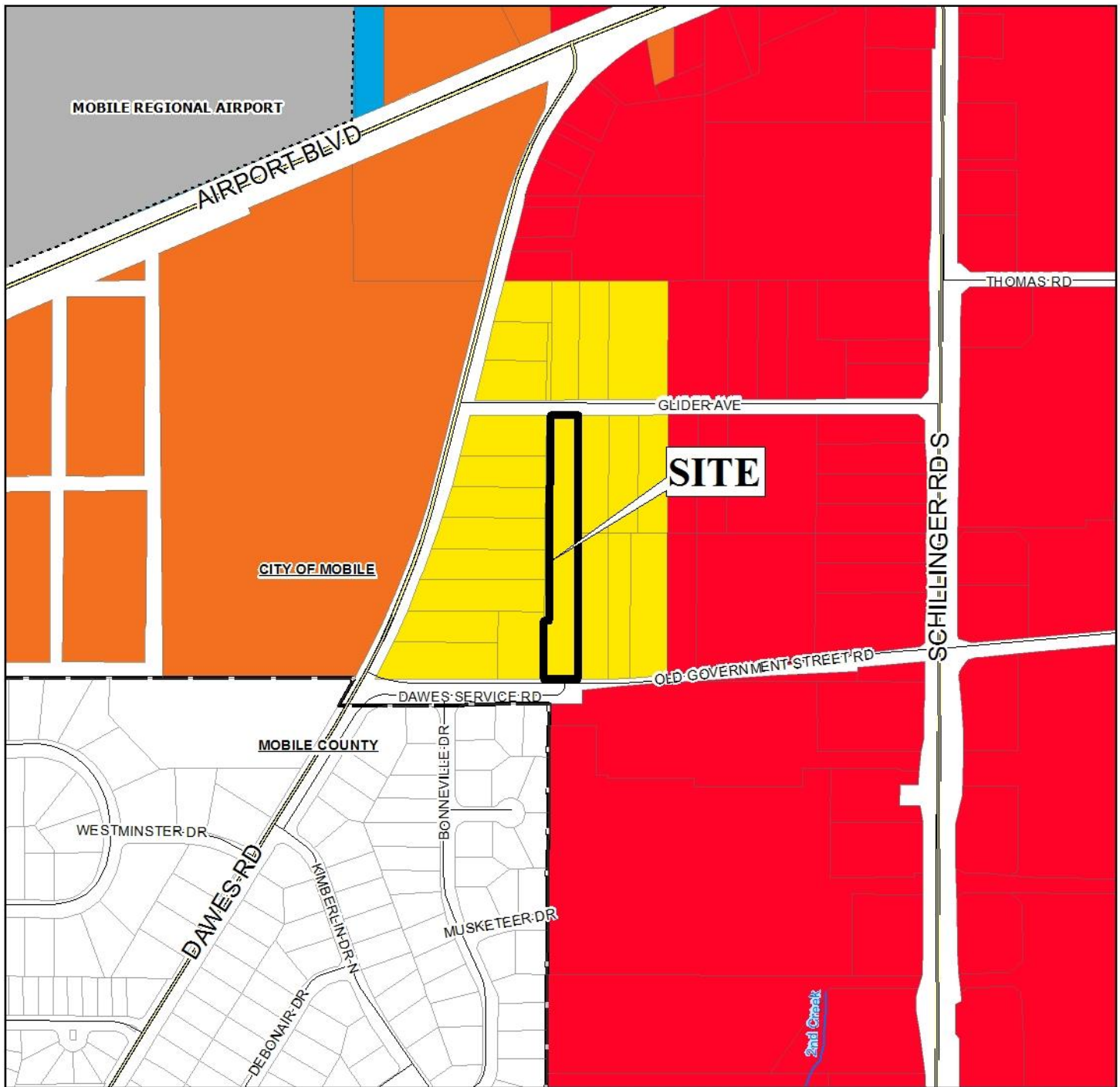
APPLICANT Old Government Park Subdivision Lot 1

REQUEST Subdivision, PUD



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FLUM LOCATOR MAP



APPLICATION NUMBER 1 DATE March 19, 2020

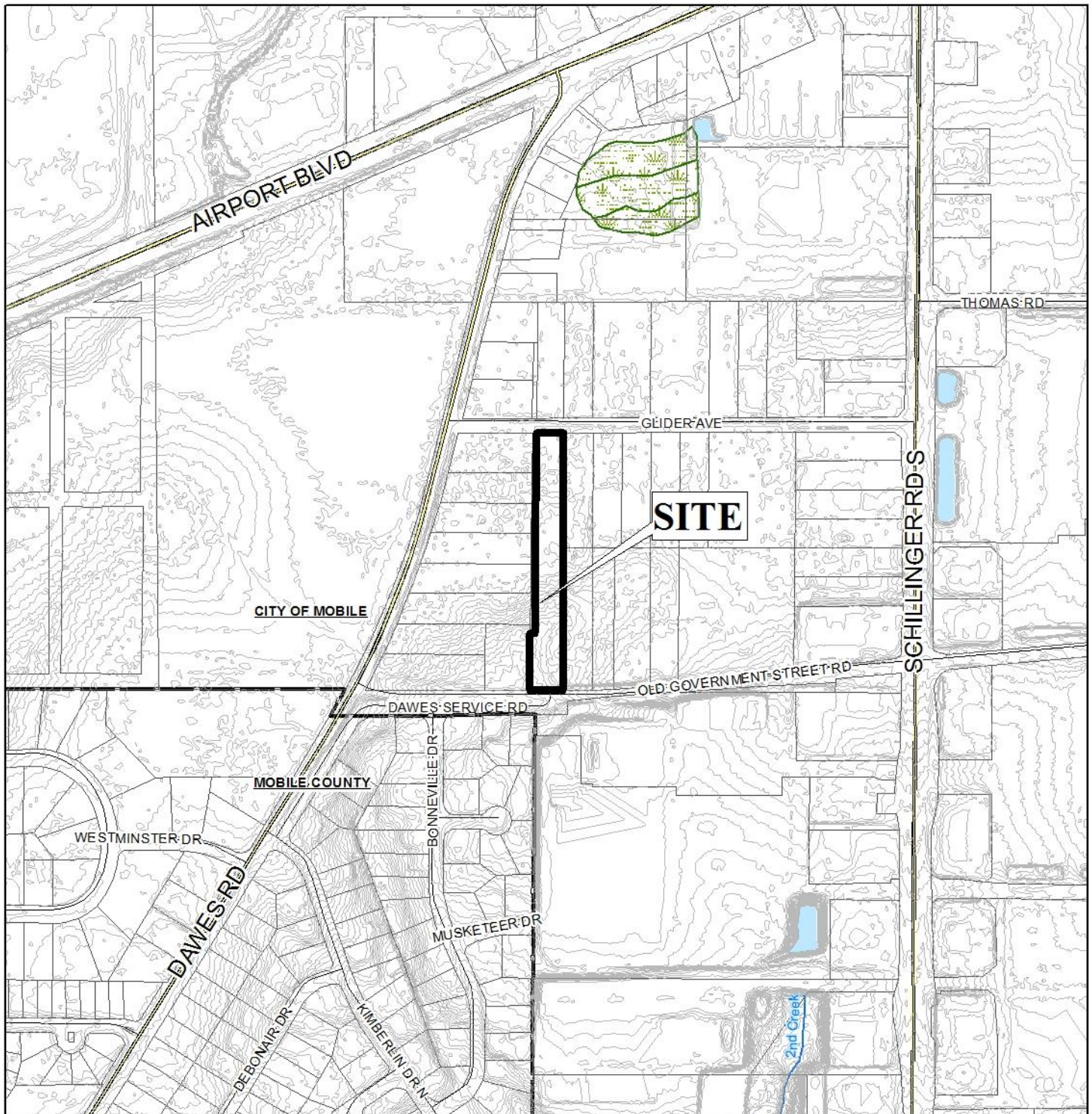
APPLICANT Old Government Park Subdivision Lot 1

REQUEST Subdivision, PUD

Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



ENVIRONMENTAL LOCATOR MAP



APPLICATION NUMBER 1 DATE March 19, 2020

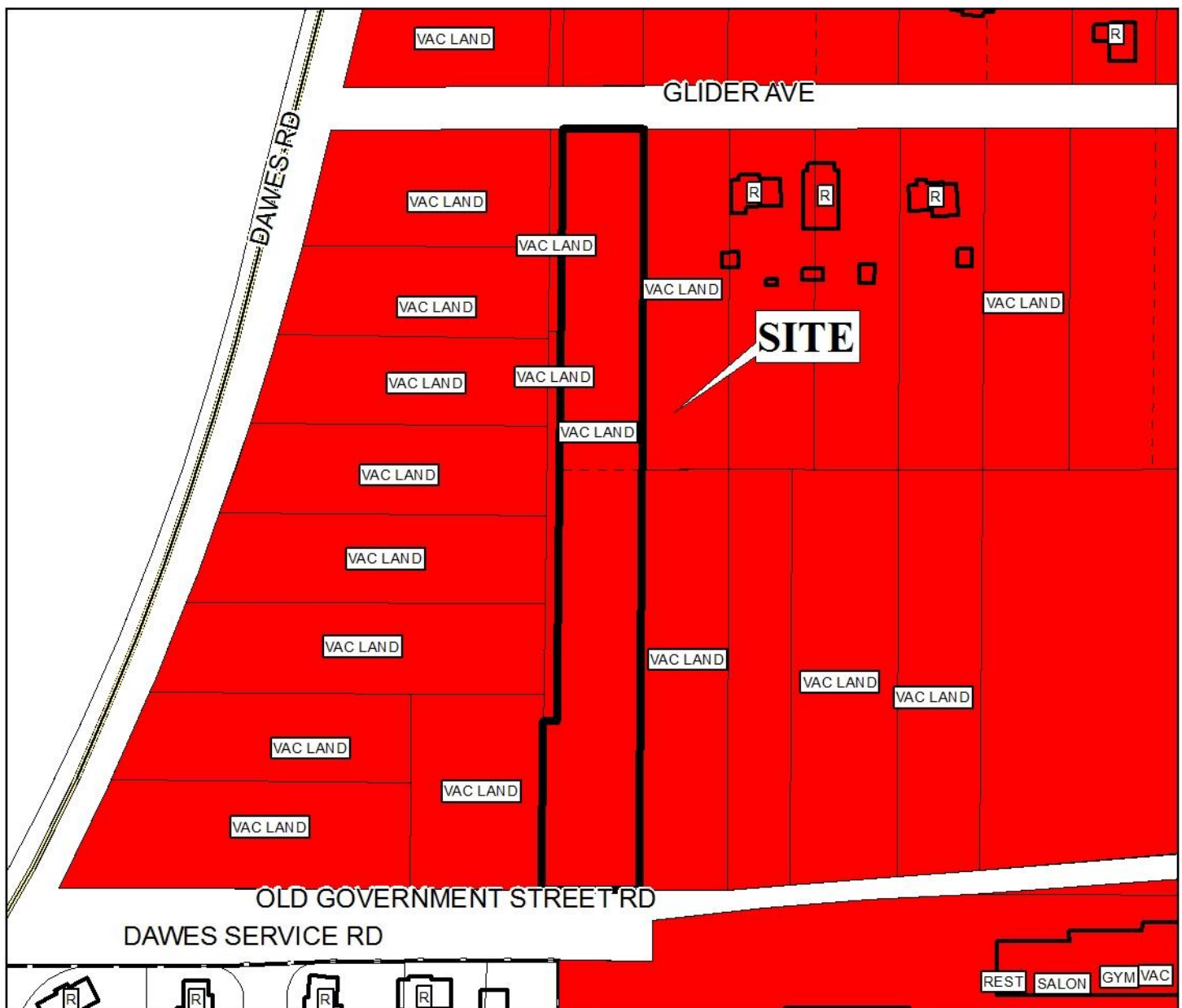
APPLICANT Old Government Park Subdivision Lot 1

REQUEST Subdivision, PUD



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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units. Commercial units lie southeast of the site.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



The site is surrounded by residential units. Commercial units lie southeast of the site.

APPLICATION NUMBER 1 DATE March 19, 2020

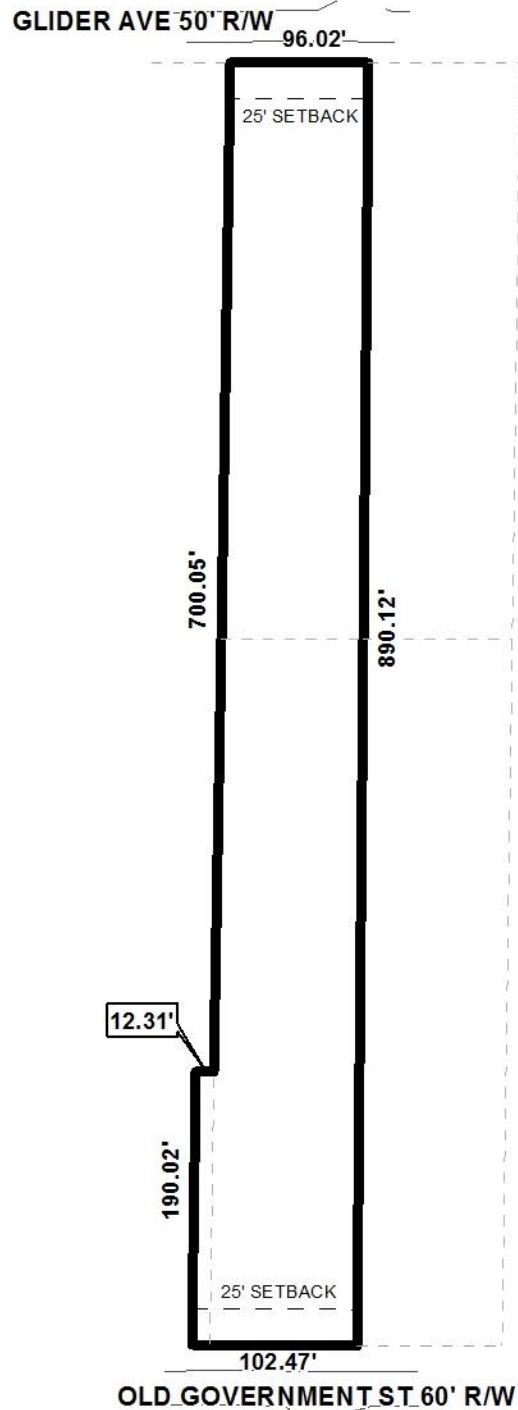
APPLICANT Old Government Park Subdivision Lot 1

REQUEST Subdivision, PUD



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DETAIL SITE PLAN



APPLICATION NUMBER 1 DATE March 19, 2020
APPLICANT Old Government Park Subdivision Lot 1
REQUEST Subdivision, PUD



