

**PLANNED UNIT DEVELOPMENT  
& SUBDIVISION STAFF REPORT****Date: October 7, 2010****DEVELOPMENT NAME**

City/County Offices Subdivision

**SUBDIVISION NAME**

City/County Offices Subdivision

**LOCATION**

850 St Anthony Street & 272 North Broad Street  
(Northeast corner of St. Anthony Street and North Broad Street, extending to the Southeast corner of North Broad and Congress Street.).

**CITY COUNCIL****DISTRICT**

District 2

**AREA OF PROPERTY**

2 Lots /3.3± acres (Subdivision)

**CONTEMPLATED USE**

Planned Unit Development Approval to allow shared access and parking between two building sites, and Subdivision approval to create 2 legal lots or record.

**TIME SCHEDULE****FOR DEVELOPMENT**

Immediate

**ENGINEERING****COMMENTS**

Show Minimum Finished Floor Elevation on each lot on Plat. Also show the FFE on the plat for the existing buildings. There is to be no fill placed within the limits of the flood plain without providing compensation. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING****COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT****COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

**REMARKS**

The applicant is seeking Planned Unit Development Approval to allow shared access and parking between two building sites, and Subdivision approval to create 2 legal lots or record. The site is located in Council District 2, and according to the applicant is served by public water and sanitary sewer.

The subdivision application was heldover by the Commission at its September 2<sup>nd</sup> meeting to allow the applicant to submit the associated Planned Unit Development (PUD) application. The purpose of this application is to create two lots from four metes and bounds parcels, and to create a PUD that allows shared access and parking between two building sites. No new construction is proposed by the applicant at this time. However, if any new construction or changes to the approved Planned Unit Development, an application shall be submitted and approved by the Commission.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

It is very important to note that Planned Unit Development review is site plan specific; therefore any future changes (parking, structure expansion, etc.) must be resubmitted for Planned Unit Development review, and be approved through the planning process.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The plat illustrates the proposed 3.3± acre, 2-lot subdivision, which is located on the Northeast corner of St. Anthony Street and North Broad Street, extending to the Southeast corner of North Broad and Congress Street. The applicant states that the site is served by city water and sanitary facilities.

The purpose of this application is to create two legal lots from four existing metes and bounds parcels. It appears that the property was originally Lot B of The Broad Street Beauregard Street Connection.

Proposed Lots 1 and 2 have frontage onto Broad Street, a major street with adequate 100-feet of right-of-way and Jefferson Street, a minor street with adequate 50-feet of right-of-way. In addition, proposed Lot 1 will have frontage along Congress Street, a minor street that has more

than adequate right-of-way of 80-feet and proposed Lot 2 will have frontage along St. Anthony, a minor street that has adequate right-of-way of 50-feet.

As a means of access management, a note should be placed on the Final Plat stating Lot 1 is limited to the existing curb cuts (one curb cut onto North Broad Street, two curb cuts onto Jefferson Street) and Lot 2 is limited to the existing curb cuts (one curb cut onto North Broad Street and one curb cut to Jefferson Street), if any of the sites are redeveloped the size, location and design of each curb cut to be approved by Traffic Engineering and conform to AASHTO standards.

The preliminary plat does not illustrate minimum building setbacks along any frontages. This development provides three street frontages for each lot; therefore, the 25-foot minimum building setbacks along St. Anthony Street and Congress Street; and 20-foot minimum building setbacks along North Broad Street and Jefferson Street, should be illustrated on the Final Plat. The lot sizes in square feet, at a minimum, should also be depicted on the Final Plat, or a table provided furnishing the same information, if approved.

There is no indication on the site plan as to the proposed location of any dumpster or other waste storage facility. The location of the storage area for the dumpster must be illustrated on the site plan, labeled, and screened from view, the location of which compliant with Section 64-4.D.9 of the Zoning Ordinance, as well as with all other applicable regulations.

Finally, the geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

### **RECOMMENDATION**

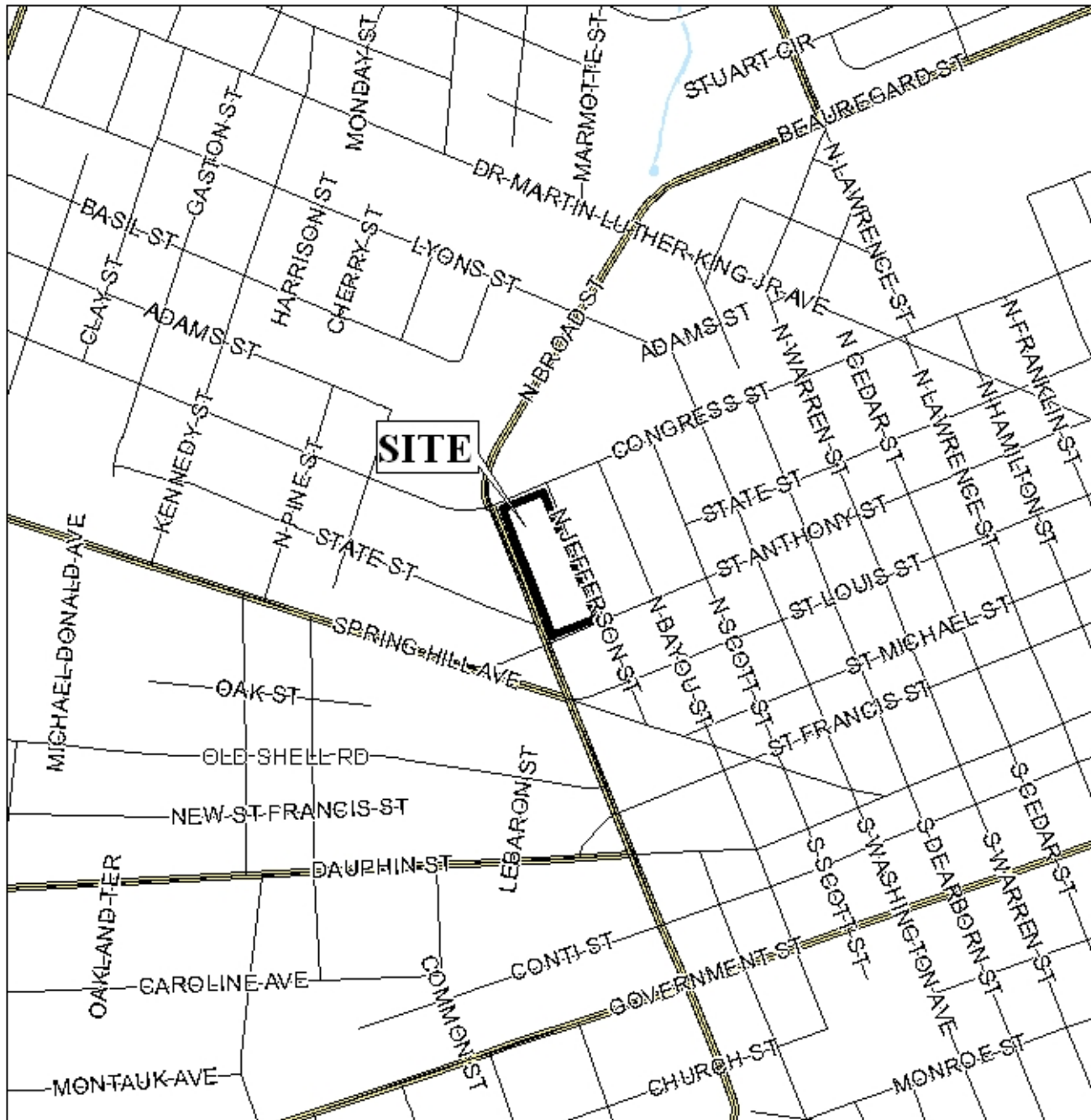
**Subdivision:** Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) compliance with Engineering comments (*Show Minimum Finished Floor Elevation on each lot on Plat. Also show the FFE on the plat for the existing buildings. There is to be no fill placed within the limits of the flood plain without providing compensation. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.*)
- 2) depiction of the minimum building setback line for Lots 1 and 2 on the Final Plat;
- 3) placement of a note on the Final Plat stating Lot 1 is limited to the existing curb cuts (one curb cut onto North Broad Street, two curb cuts onto Jefferson Street) and Lot 2 is limited to the existing curb cuts (one curb cut onto North Broad Street and one curb cut to Jefferson Street), if any of the sites are redeveloped the size, location and design of each curb cut are to be approved by Traffic Engineering and conform to AASHTO standards;
- 4) placement of a note on the Final Plat/site plan stating that approval of all applicable Federal, state and local agencies for endangered, threatened or otherwise protected species is required prior to the issuance of any permits or land disturbance activities; and
- 5) provision of two (2) copies of the revised PUD site plan prior to the signing of the Final Plat.

**Planned Unit Development:** Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) compliance with Engineering comments (*Show Minimum Finished Floor Elevation on each lot on Plat. Also show the FFE on the plat for the existing buildings. There is to be no fill placed within the limits of the flood plain without providing compensation. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.*)
- 2) depiction of the minimum building setback line for Lots 1 and 2 on the site plan;
- 3) placement of a note on the site plan stating Lot 1 is limited to the existing curb cuts (one curb cut onto North Broad Street, two curb cuts onto Jefferson Street) and Lot 2 is limited to the existing curb cuts (one curb cut onto North Broad Street and one curb cut to Jefferson Street), if any of the sites are redeveloped the size, location and design of each curb cut are to be approved by Traffic Engineering and conform to AASHTO standards;
- 4) placement of a note on the site plan stating that approval of all applicable Federal, state and local agencies for endangered, threatened or otherwise protected species is required prior to the issuance of any permits or land disturbance activities;
- 5) depiction of a dumpster, screened from view and in compliance with Section 64-4.D.9. of the Zoning Ordinance, as well as with all other applicable regulations, or the provision of a note on the site plan stating that no dumpster will be provided;
- 6) provision of two (2) copies of the revised PUD site plan prior to the signing of the Final Plat; and
- 7) full compliance with all other municipal codes and ordinances.

## LOCATOR MAP



APPLICATION NUMBER 1 & 2 DATE October 7, 2010

APPLICANT City/County Offices Subdivision

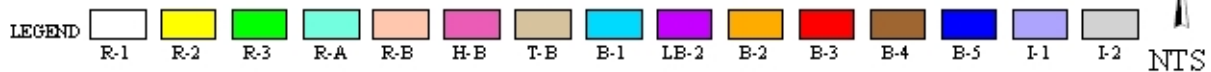
REQUEST Subdivision



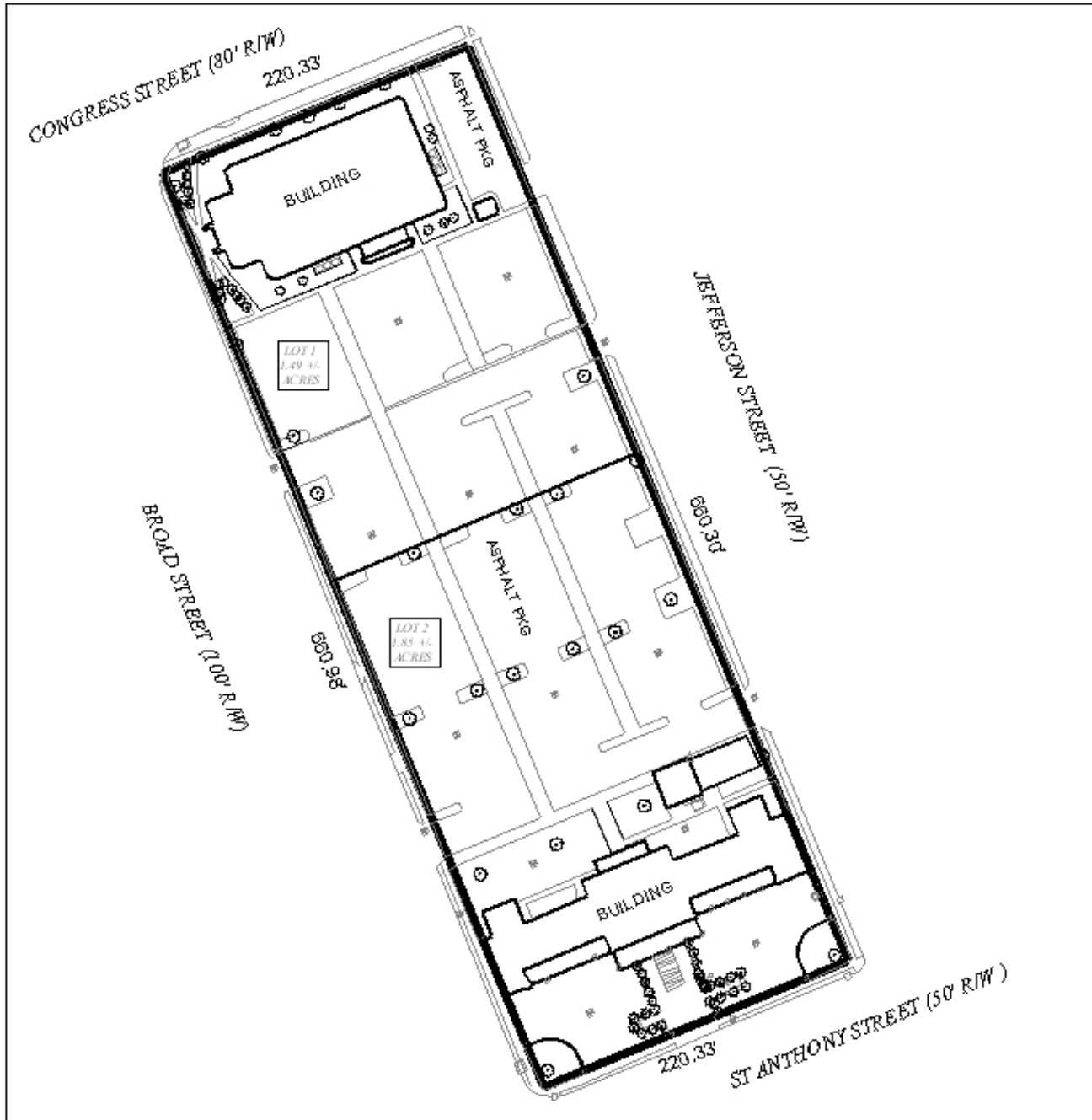
# CITY / COUNTY OFFICES SUBDIVISION



APPLICATION NUMBER 1 & 2 DATE October 7, 2010



## DETAIL SITE PLAN



APPLICATION NUMBER 1 & 2 DATE October 7, 2010

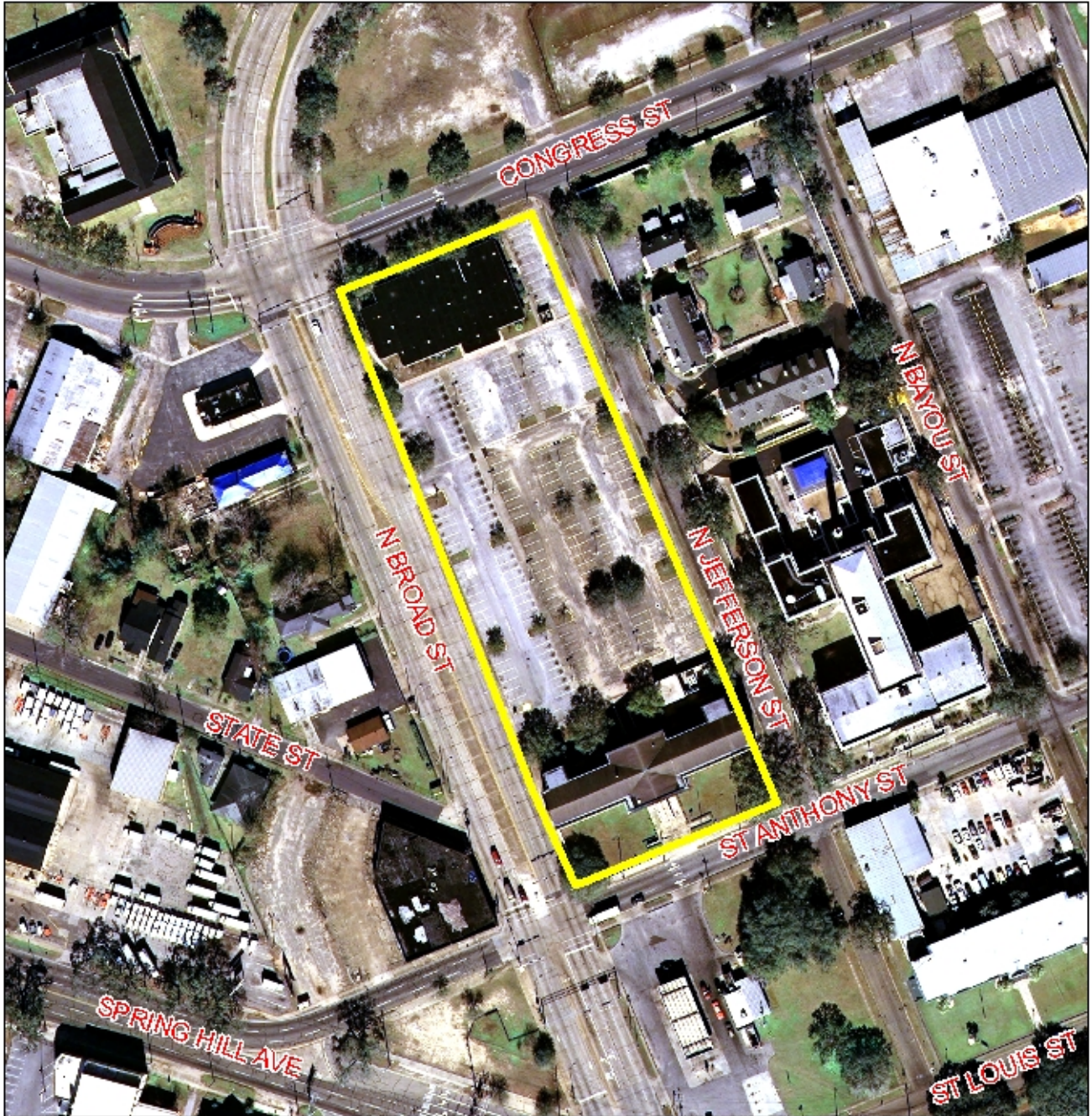
APPLICANT City/County Offices Subdivision

REQUEST Subdivision





## CITY / COUNTY OFFICES SUBDIVISION



APPLICATION NUMBER 1 & 2 DATE October 7, 2010

