

Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This land use designation generally applies to transportation corridors east of I-65, which serve as the primary commercial and mixed-use gateway to Downtown and the City's traditional neighborhoods (equivalent to Map for Mobile's Traditional Neighborhoods).

Depending on their location (and as allowed by specific zoning), TC designations incorporate a range of moderately scaled single-use commercial buildings holding retail or services; buildings that combine housing units with retail and/or office; a mix of housing types including low- or mid-rise multifamily structures ranging in density from 4 to 10 du/ac; and attractive streetscapes and roadway designs that safely accommodate all types of transportation – transit, bicycling, walking, and driving. In these areas, special emphasis is placed on the retention of existing historic structures, compatible infill development, and appropriate access management.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

The Zoning Ordinance states that no variance shall be granted where economics are the basis for the application; and, unless the Board is presented with sufficient evidence to find that the variance will not be contrary to the public interest, and that special conditions exist such that a literal enforcement of the Ordinance will result in an unnecessary hardship. The Ordinance also states that a variance should not be approved unless the spirit and intent of the Ordinance is observed and substantial justice done to the applicant and the surrounding neighborhood.

Variances are not intended to be granted frequently. The applicant must clearly show the Board that the request is due to very unusual characteristics of the property and that it satisfies the variance standards. What constitutes unnecessary hardship and substantial justice is a matter to be determined from the facts and circumstances of each application.

The purpose of the Sign Regulation Provisions is to promote the economic well-being of the entire Mobile community by creating a favorable physical image, to afford the business community an equal and fair opportunity to advertise and promote products and services, and to protect the right of the citizens to enjoy Mobile's natural scenic beauty.

The applicant states:

In May of 1994, my husband and I purchased 910 Government Street. The house had been partitioned into seven apartments, and we have spent the last 25 years systematically restoring it much to its original antebellum appearance inside and out. A

fire in 2009 damaged part of the second floor, and we repaired that and have performed continuing maintenance as needed.

For the past 33 years, Roy has been employed with the federal court, and I have owned and operated the court reporting freelance firm of Isbell & Associates, LLC. One room in the house is devoted to my business. The rest of the house is residential.

We believe the proposed sign will aid drivers in searching for addresses, enhance the house and bring attention to its historical significance, and bring recognition to my court reporting business that has served Mobile's legal community for the last three decades. I have reached out to our immediate neighbors and received only positive comments. 910 Government Street is in the Oakleigh Garden District and is zoned Residential/Business. It is located between a drug store at the busy corner of Government and Broad and a bank that has been closed since 2016. Behind us on Conti Street is the headquarters for the Infant Mystics Mardi Gras Society, and across the street is the Methodist Church and several residential structures, all but one currently used for business purposes.

The Architectural Review Board has issued a Certificate of Appropriateness. The Deputy Director of the Mobile Historic Development Commission, Ms. Christine Dawson, expressed: "The design you propose definitely is an appropriate one for the historic district."

As the applicant operates a home-based business at the subject site, the Zoning Ordinance allows one wall sign of one square foot maximum area to be attached to the wall of the residence. No other types of signage are allowed for home occupations.

The site is located on Governments Street which is a Major Street and is heavily-traveled. As one travels West along Government Street from Broad Street, the site is the first property past and adjacent to the CVS Pharmacy at the corner of Government Street and Broad Street (also a Major Street). Due to existing trees and vegetation in the right-of-way along the site, the view of the residence is somewhat obstructed. This, combined with the massing of the residence, limits one's ability to easily view a compliant wall sign.

It should be noted that other businesses along Government Street within the immediate area which operate in historic houses have yard signs; therefore, the allowance of the proposed sign would not be out of character with the neighborhood. The fact that a hardship is shown to exist with the ability to view a compliant home-based business wall sign, combined with the Mobile Historic Development Commission's approval and endorsement of the sign's design, would seem to justify the applicant's request. The Board should consider the request to allow the placement of a double-sided, hanging post sign not exceeding six (6) square feet per side for an associated home occupation in an R-B, Residence-Business District for approval.

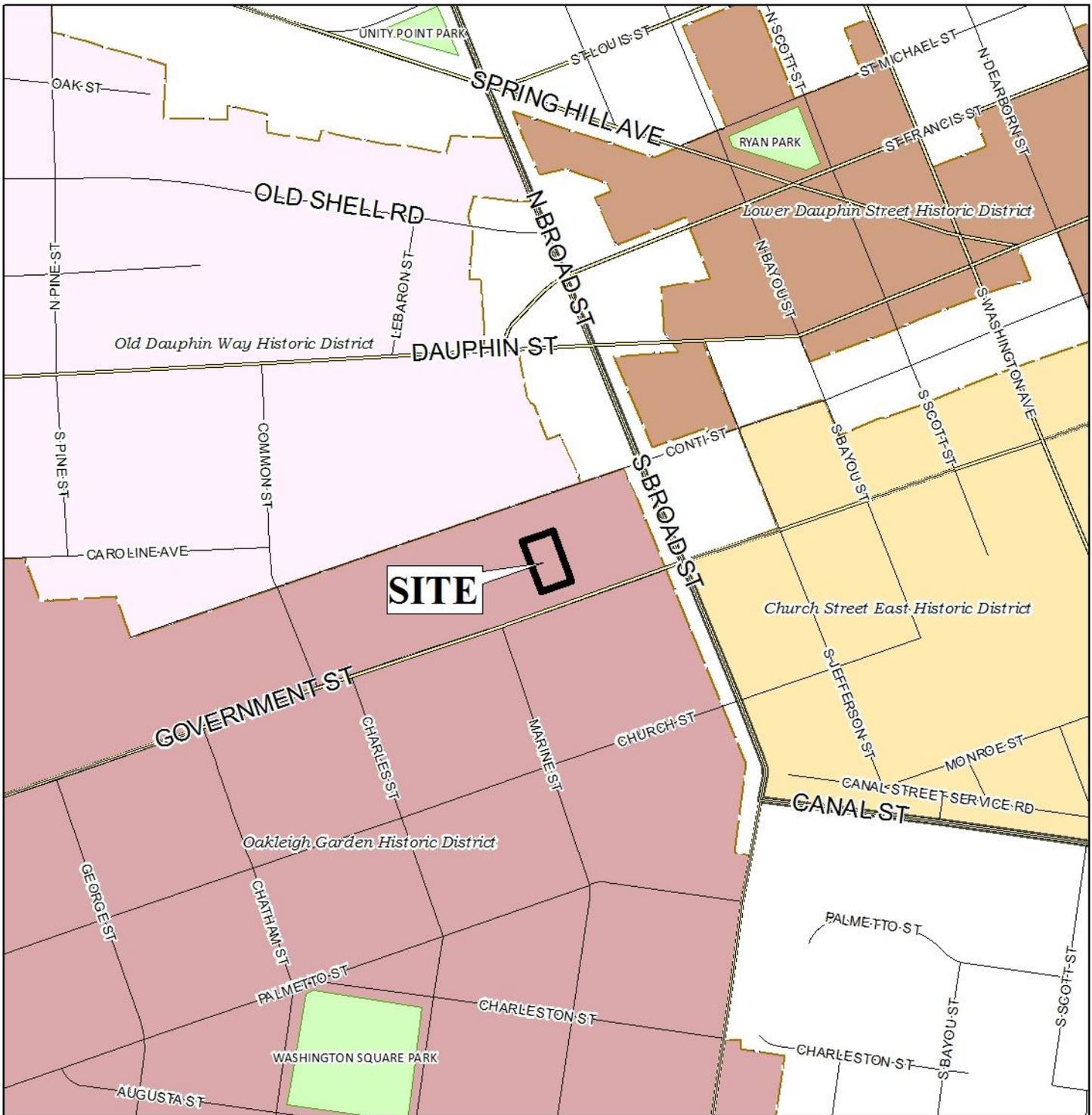
RECOMMENDATION: Based upon the preceding, Staff recommends to the Board the following findings of fact for Approval:

- 1) Approving the variance request will not be contrary to the public interest due to the fact that it will allow a fair opportunity for location identification and would be harmonious with the neighborhood;
- 2) Special conditions appear to exist, primarily the trees and vegetation within the right-of-way in front of the subject site, and the general massing of the residence, such that a literal enforcement of the provisions of the chapter will result in unnecessary hardship; and
- 3) That the spirit of the chapter shall be observed and substantial justice done to the applicant and the surrounding neighborhood by granting the variance in that it will allow a business public street visibility which would ordinarily not be possible under existing conditions.

The approval is subject to the following conditions:

- 1) limitation of the sign to the size as submitted in the application;
- 2) the obtaining of the proper sign permit for the sign; and
- 3) full compliance with all municipal codes and ordinances.

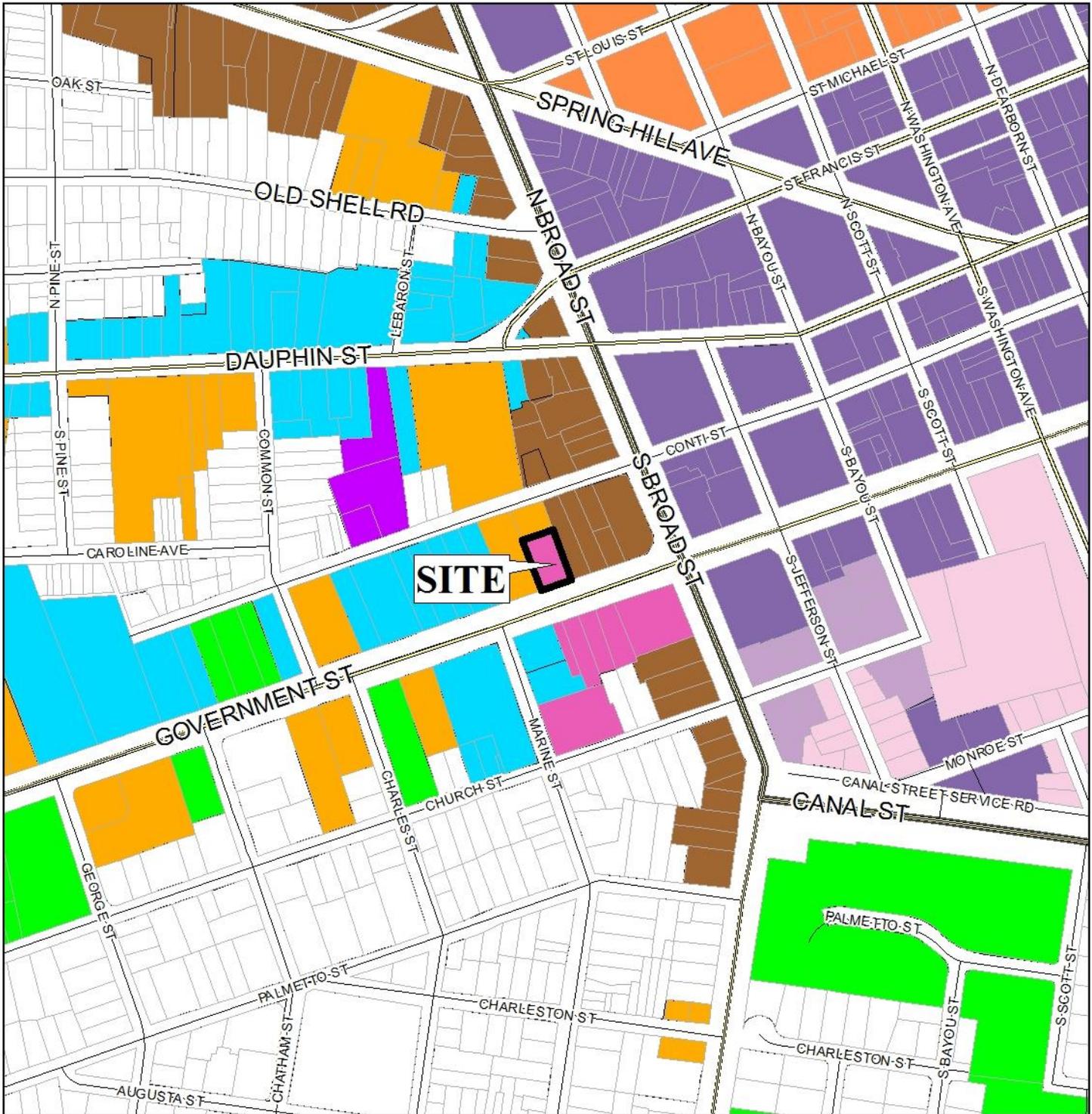
LOCATOR MAP



APPLICATION NUMBER 6329 DATE July 6, 2020
 APPLICANT Debra and Roy Isbell
 REQUEST Sign Variance



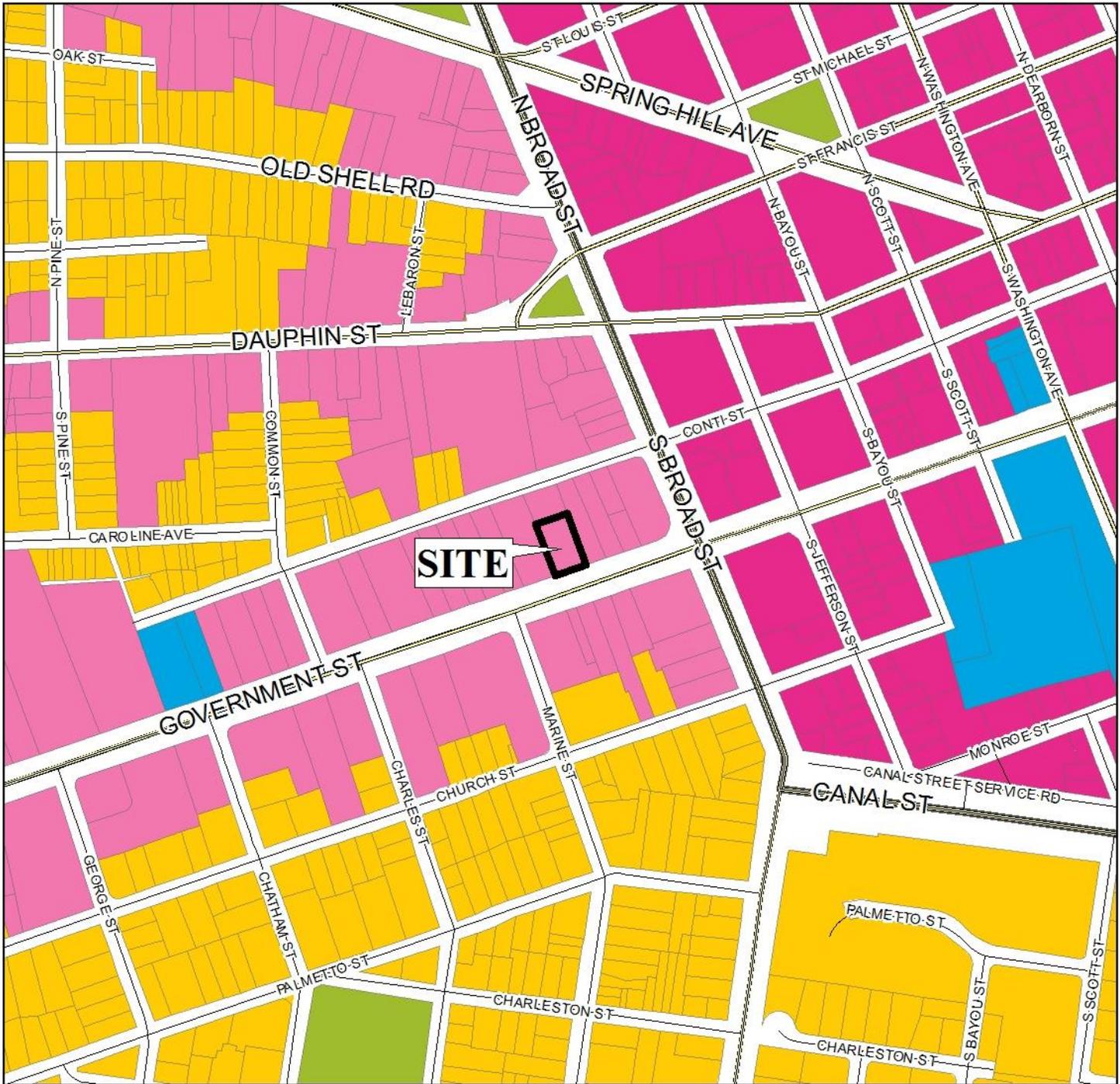
LOCATOR ZONING MAP



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FLUM LOCATOR MAP



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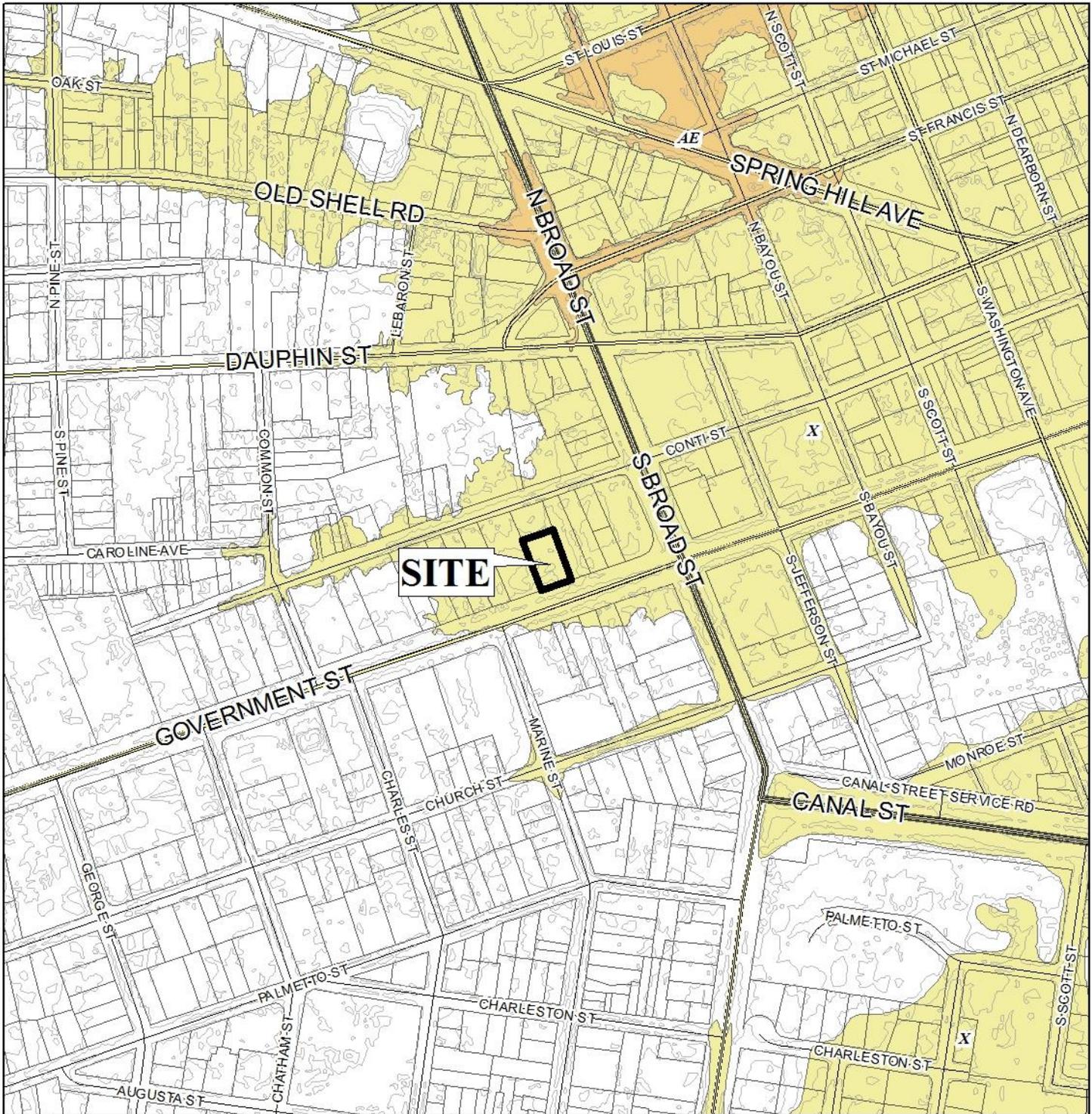
APPLICANT Debra and Roy Isbell

REQUEST Sign Variance

- | | | | |
|---------------------------|-----------------------------------|---------------------|--------------------|
| Low Density Residential | Neighborhood Center - Traditional | Downtown Waterfront | Parks & Open Space |
| Mixed Density Residential | Neighborhood Center - Suburban | Light Industry | Water Dependent |
| Downtown | Traditional Corridor | Heavy Industry | |
| District Center | Mixed Commercial Corridor | Institutional | |



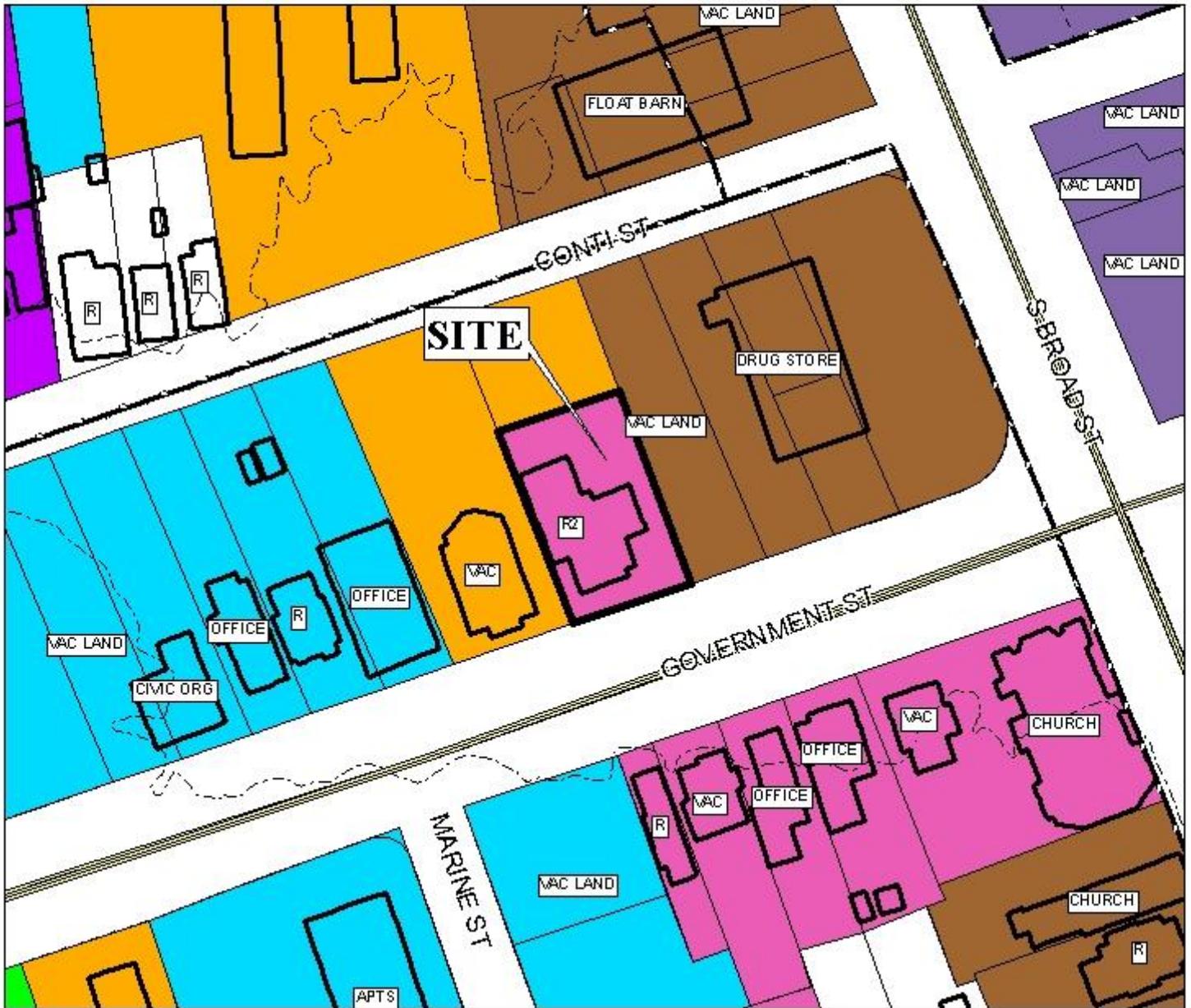
ENVIRONMENTAL LOCATOR MAP



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BOARD OF ADJUSTMENT VICINITY MAP - EXISTING ZONING



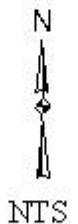
The site is surrounded by miscellaneous residential and commercial units.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



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BOARD OF ADJUSTMENT VICINITY MAP - EXISTING AERIAL



The site is surrounded by miscellaneous residential and commercial units.

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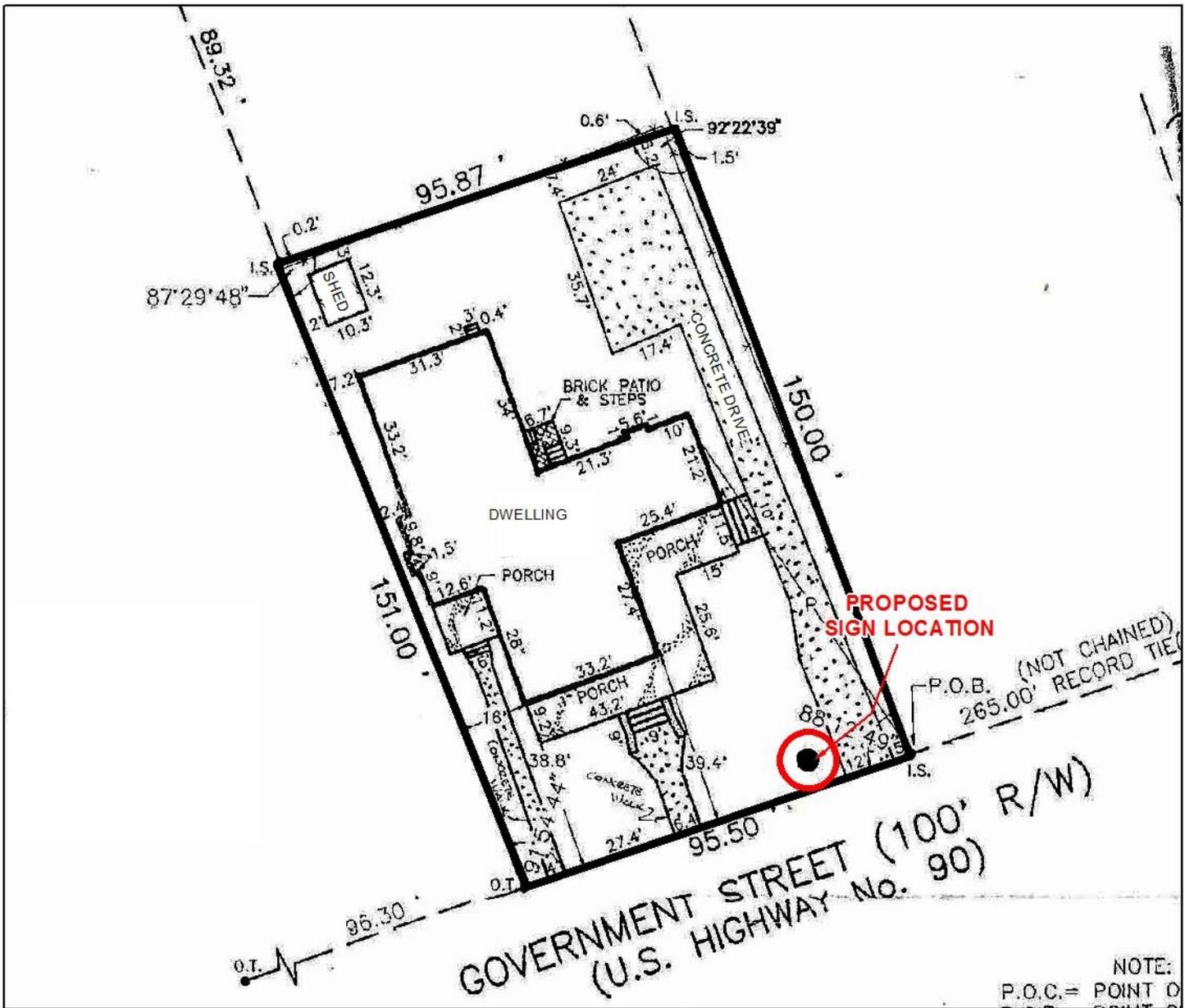
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SITE PLAN



The site plan illustrates the existing dwelling, drive, and proposed sign location.

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DETAIL SITE PLAN



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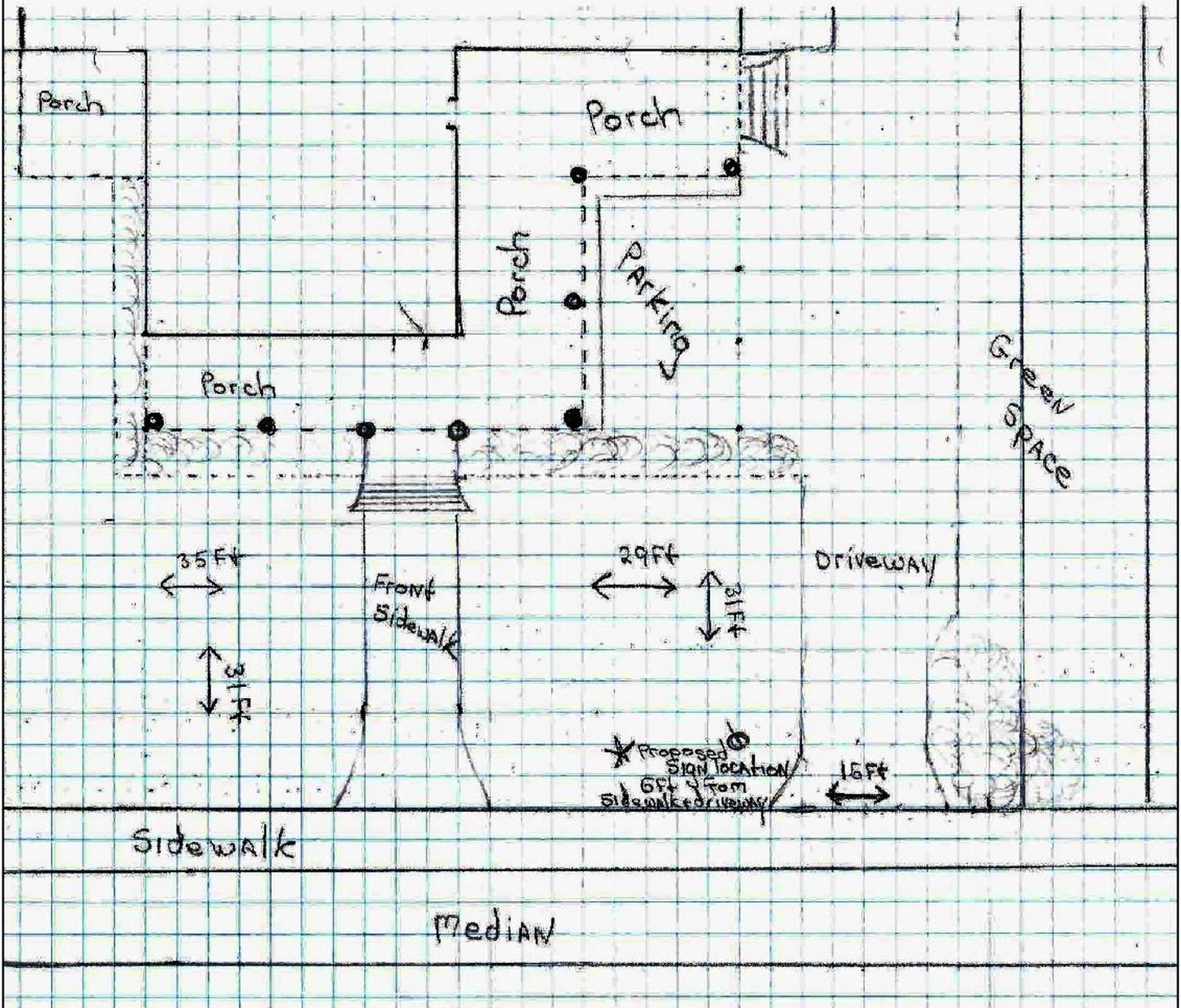
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DETAIL SITE PLAN



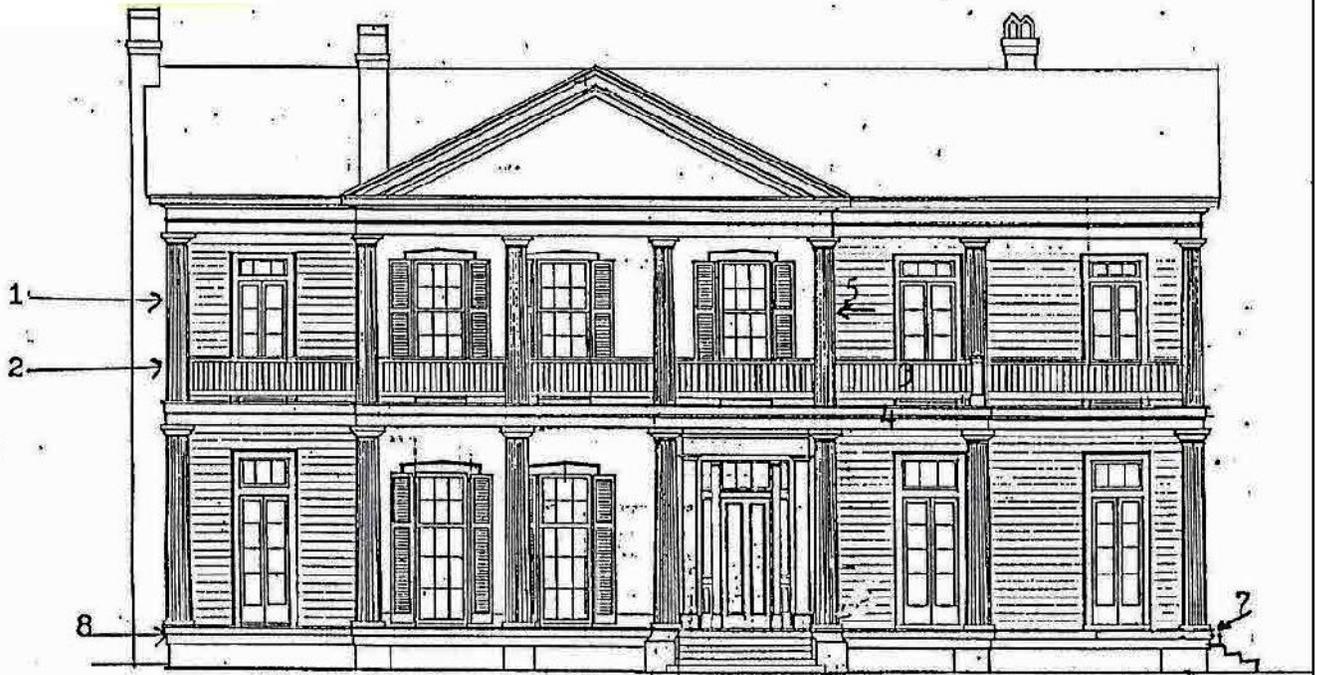
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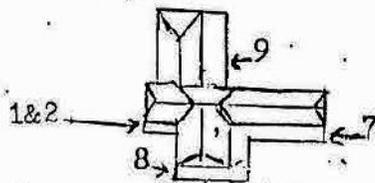
DETAIL SITE PLAN

ROBERTS-TAYLOR-ISBELL HOUSE

910 GOVERNMENT STREET MOBILE, AL
c. 1854



GOVERNMENT STREET ELEVATION
SCALE 1/4" = 1'-0"



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