

**BOARD OF ZONING ADJUSTMENT
STAFF REPORT****Date: December 3, 2012****CASE NUMBER**

5795/5430/4765/4557/4493/4402

APPLICANT NAME

Florida Certified Sign Erectors

LOCATION63 South Royal Street
(East side of South Royal Street at the East terminus of
Conti Street)**VARIANCE REQUEST****SIGN:** Sign Variance to allow a third wall sign (86.25 square feet) for one tenant (business) on a multi-tenant site.*Revised for the January 7, 2013 meeting:***SIGN:** Sign Variance to allow a total of four wall signs (242.77 square feet) for a one tenant business on a multi-tenant site; the Zoning Ordinance allows only one wall sign per business on a multi-tenant site.**ZONING ORDINANCE
REQUIREMENT****SIGN:** the Zoning Ordinance allows only one wall sign per business on a multi-tenant site.**ZONING**

B-4, General Business District

AREA OF PROPERTY

Information not provided.

**ENGINEERING
COMMENTS**

No Comments

**TRAFFIC ENGINEERING
COMMENTS**

No Comments

**FIRE DEPARTMENT
COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

**CITY COUNCIL
DISTRICT**

District 2

ANALYSIS

The applicant is requesting a Sign Variance to allow a third wall sign (86.25 square feet) for one tenant (business) on a multi-tenant site; the Zoning Ordinance allows only one wall sign per business on a multi-tenant site.

The applicant is proposing to install a sign on top of the existing 13-story building. No justification was provided by the applicant – no narrative was provided – and no graphics were provided by the applicant showing the proposed signage on the building.

The Zoning Ordinance states that no variance shall be granted where economics are the basis for the application; and, unless the Board is presented with sufficient evidence to find that the variance will not be contrary to the public interest, and that special conditions exist such that a literal enforcement of the Ordinance will result in an unnecessary hardship. The Ordinance also states that a variance should not be approved unless the spirit and intent of the Ordinance is observed and substantial justice done to the applicant and the surrounding neighborhood.

Variances are not intended to be granted frequently. The applicant must clearly show the Board that the request is due to very unusual characteristics of the property and that it satisfies the variance standards. What constitutes unnecessary hardship and substantial justice is a matter to be determined from the facts and circumstances of each application.

The site has had numerous sign variance applications before, dating back to 1995. Many of these previous requests primarily dealt with the adjacent hotel, but did also include the office tower at hand. None of the previous sign variances indicate that the office tower has previously been the subject of a variance request to install an additional sign on the top of the office tower: all requests appear to have been to allow additional signage at a level below the third floor of the building, where the applicant currently has two signs.

The existing 13-story building has multiple tenants. Approving the variance request at hand will set a precedent for other tenants possibly requesting additional signs above and beyond what is allowed at a multi-tenant site.

The applicant has not indicated via the submitted information if the proposed sign will cover existing windows, or if it will extend above the roofline of the building. Due to the lack of graphical information and the lack of a narrative describing the request, staff cannot adequately consider the application.

RECOMMENDATION:

Based on the preceding, this application is recommended for denial.

Revised for the January 7, 2013 meeting:

The application was heldover from the December 2012 meeting, to allow the applicant to revise the request to allow four wall signs for one tenant on a multi-tenant commercial site.

The revised information provided by the applicant depicts two additional wall signs located on the parapet of the building, with one sign facing East, towards Water Street and the Outlaw Convention Center, and one sign facing Southwest towards Interstate 10. The tenant has two existing wall signs located at approximately the 3rd floor, providing identification along South Royal Street.

No narrative was included with the revised information, nor with the original information. The Sign Variance application includes the following questions:

- 1) The purpose of this application is to allow:
- 2) What are the conditions, items, facts or reasons which prevent you from complying with the requirements of the Zoning Ordinance?
- 3) How did the conditions, items, facts or reasons which prevent you from complying with the requirements of the Zoning Ordinance occur?
- 4) How is this property different from the neighboring properties?

Based upon the submitted information, we only know the answer to the request for item # 1, that the request is to allow a total of four signs, two of which will be located at the top of the building. None of the other items are addressed.

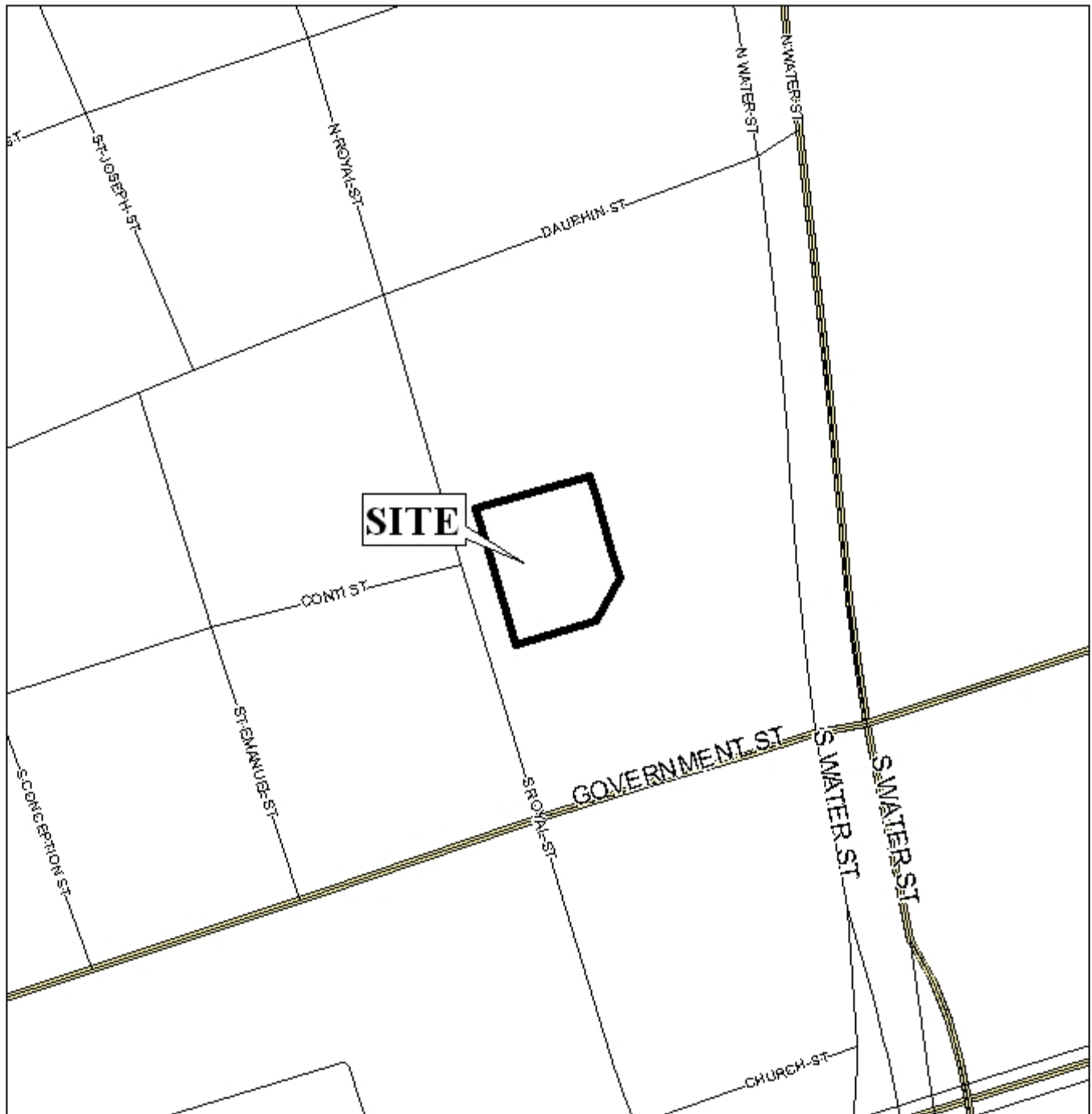
That being said, the Board has, with other applications, approved sign variances for the larger buildings in Downtown Mobile, notably the Bank Trust Building, the Holiday Inn at Government Street and South Claiborne Street, Riverview Plaza Hotel at Government Street and South Royal Street, and the Hampton Inn at South Royal Street and Conti Street. The Board has traditionally allowed a wall sign for the major tenant of a large building for each street frontage as well as the associate ground signage for ground-level identification. This signage request meets these guidelines which the Board has established for the proposed Southwest-facing upper-level sign and the lower-level signs, however, the sign facing East does not have direct frontage on a street due to the connected parking garage, separating the tower from Water Street. Regarding the size of the signs, the large size of the building requires signs to be in the same scale as the building.

RECOMMENDATION:

Based on the preceding, this application is recommended for approval, subject to the following condition:

- 1) Full compliance with all other municipal codes and ordinances.

LOCATOR MAP



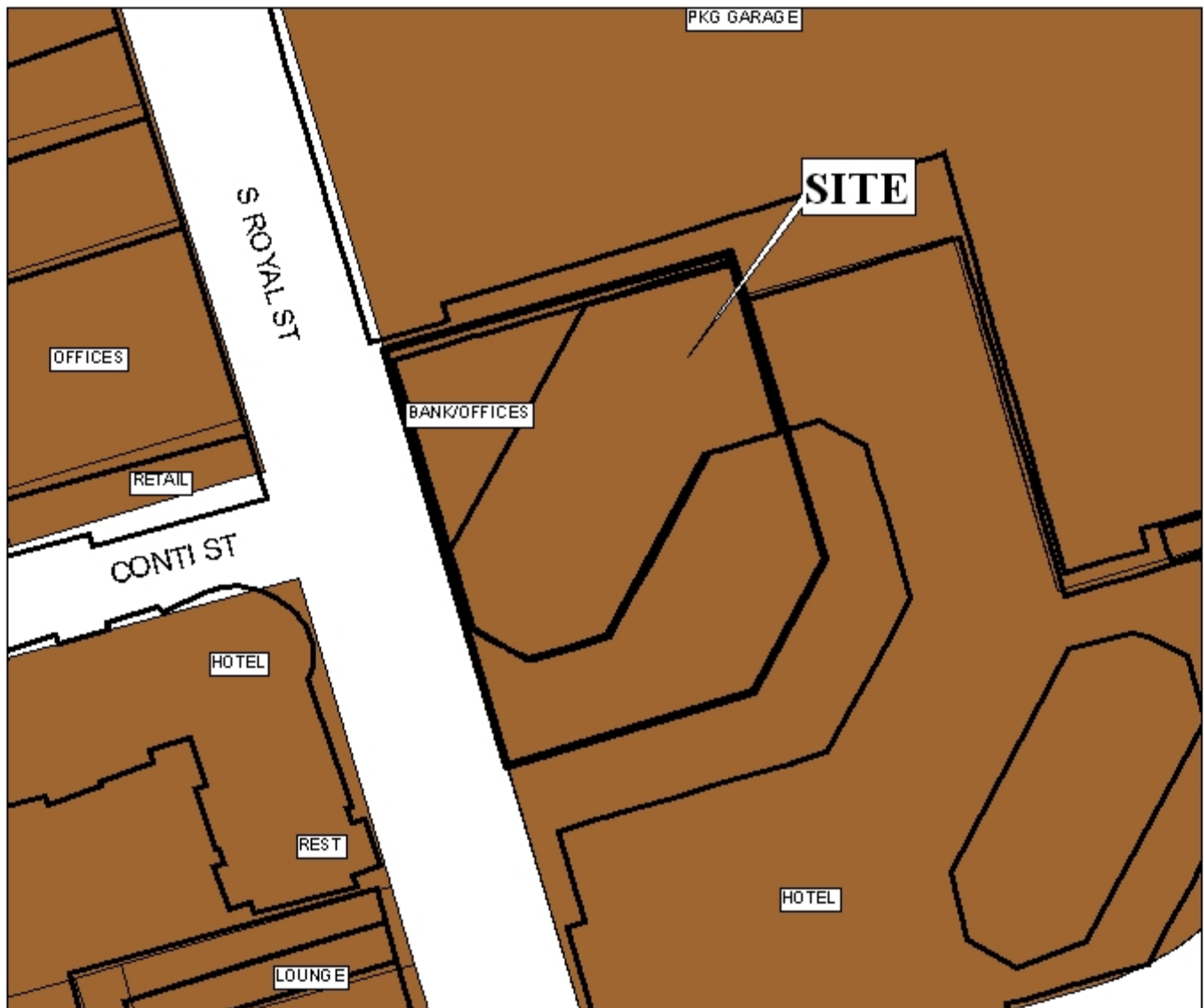
APPLICATION NUMBER 5795 DATE January 7, 2013

APPLICANT Florida Certified Sign Erectors

REQUEST Sign Variance



BOARD OF ADJUSTMENT VICINITY MAP - EXISTING ZONING



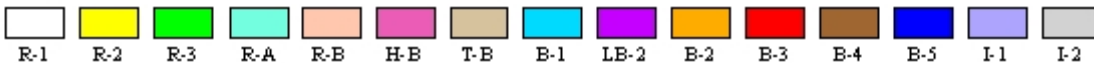
The site is surrounded by commercial land use.

APPLICATION NUMBER 5795 DATE January 7, 2013

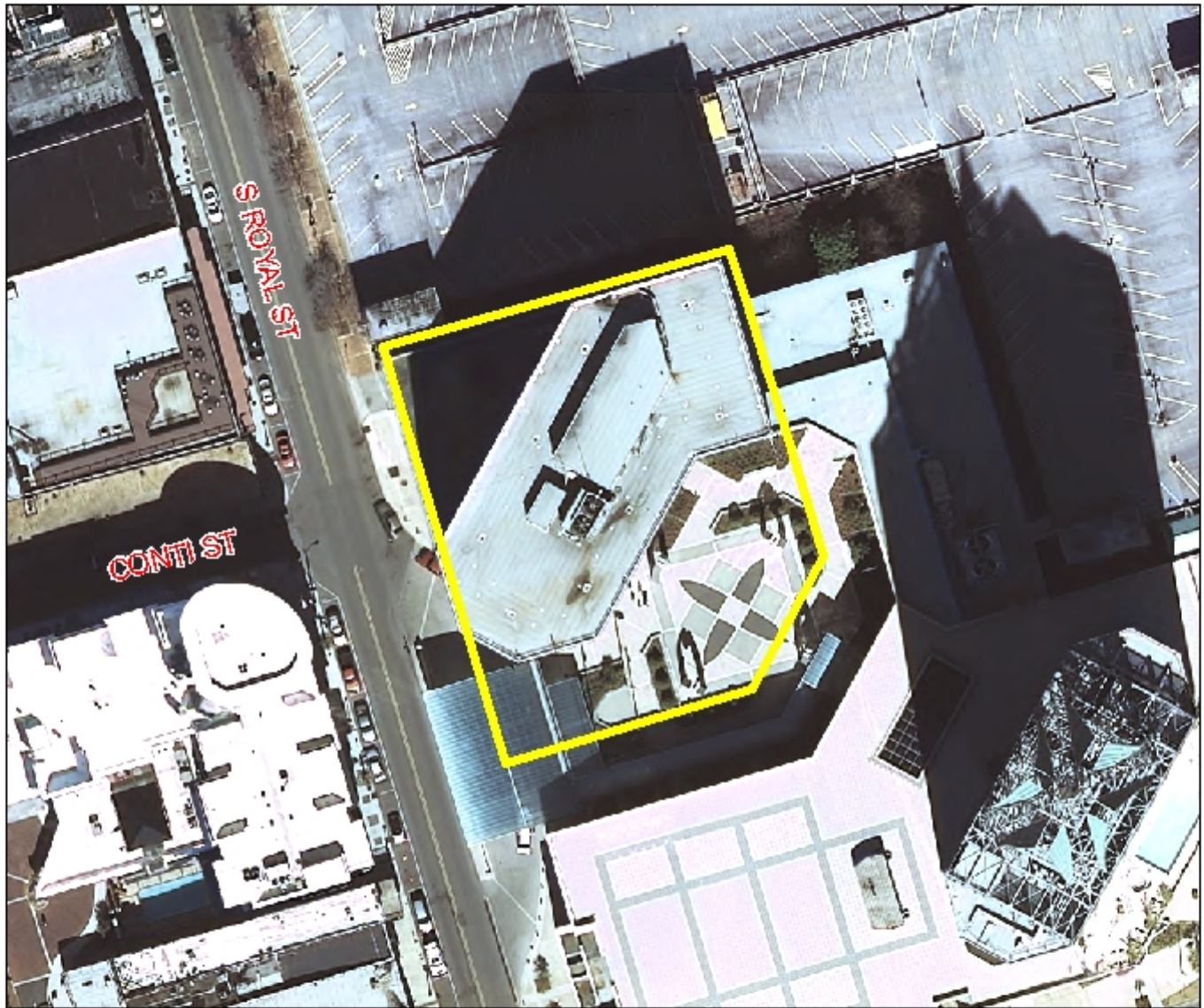
APPLICANT Florida Certified Sign Erectors

REQUEST Sign Variance

LEGEND



BOARD OF ADJUSTMENT VICINITY MAP - EXISTING ZONING

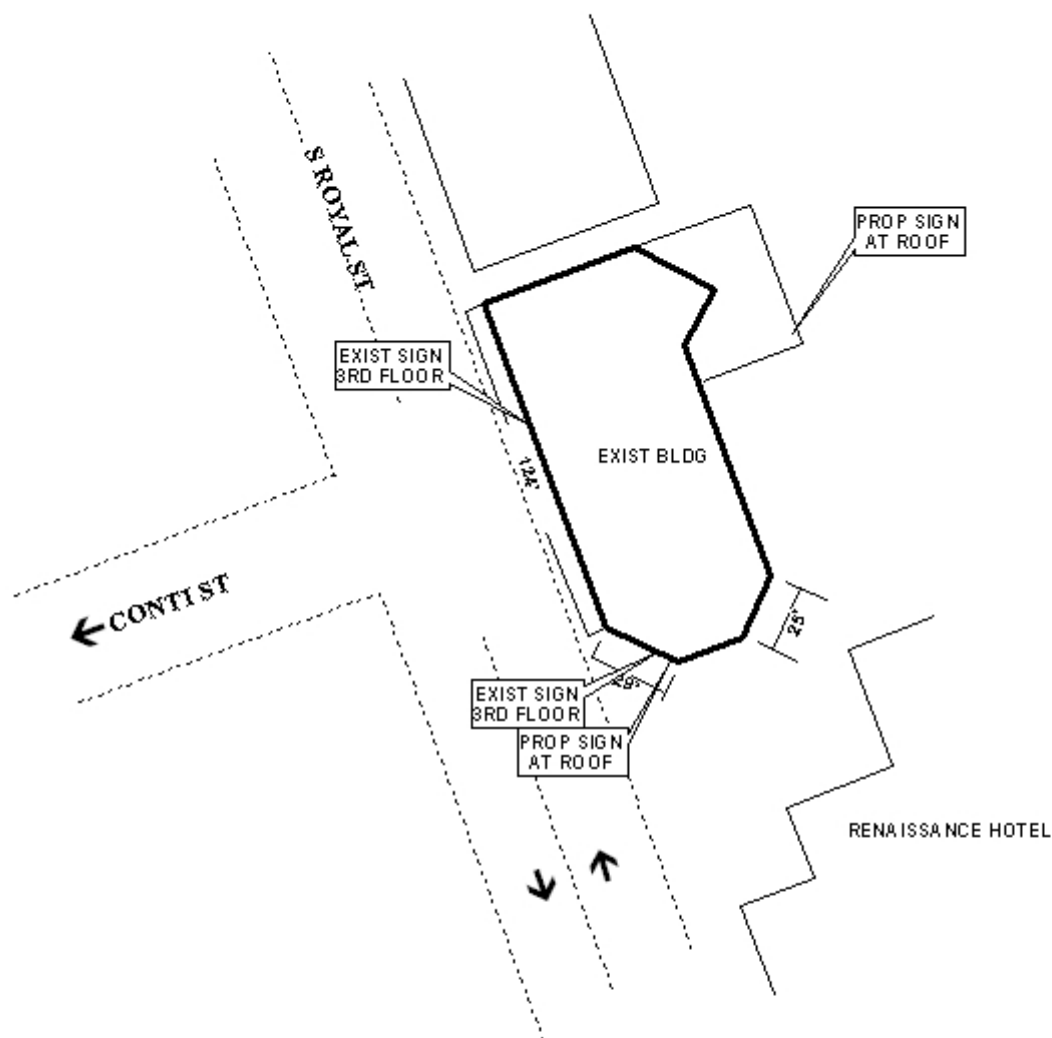


The site is surrounded by commercial land use.

APPLICATION NUMBER 5795 DATE January 7, 2013
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N
NTS

SITE PLAN

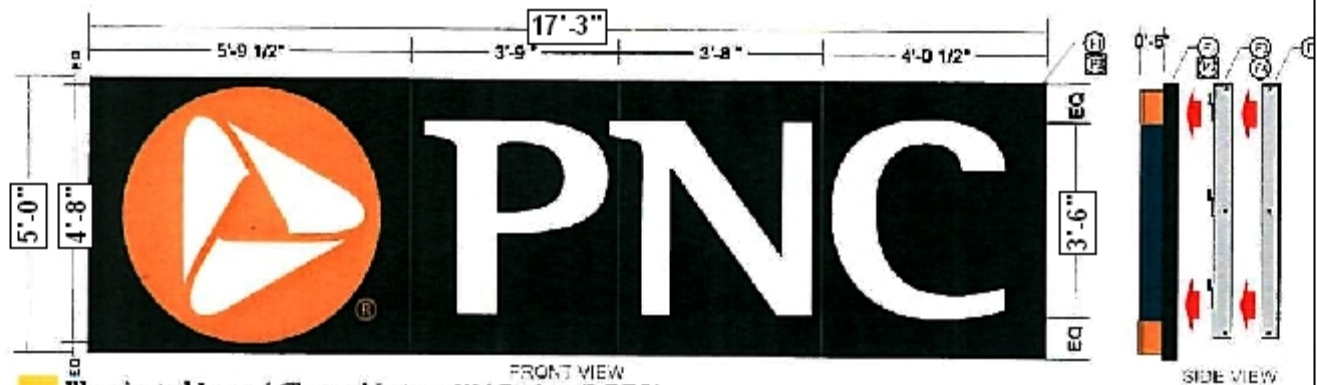


The site plan illustrates the existing and proposed sign locations.

APPLICATION NUMBER 5795 DATE January 7, 2013
 APPLICANT Florida Certified Sign Erectors
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N
 NTS

DETAIL SITE PLAN



Illuminated Logo / Channel Letters W/ Backer (2-REQ)

Illuminated logo / channel letters with 5" Deep aluminum returns, 1" tall caps and white acrylic faces for copy. Lighting white LED.
Logo white acrylic face with 1st surface vinyl decoration. Aluminum face backer panels with aluminum frame and mounting supports.

SCALE 3/16" = 1'

APPLICATION NUMBER 5795 DATE January 7, 2013
 APPLICANT Florida Certified Sign Erectors
 REQUEST Sign Variance



EXISTING WEST ELEVATION



APPLICATION NUMBER 5795 DATE January 7, 2013

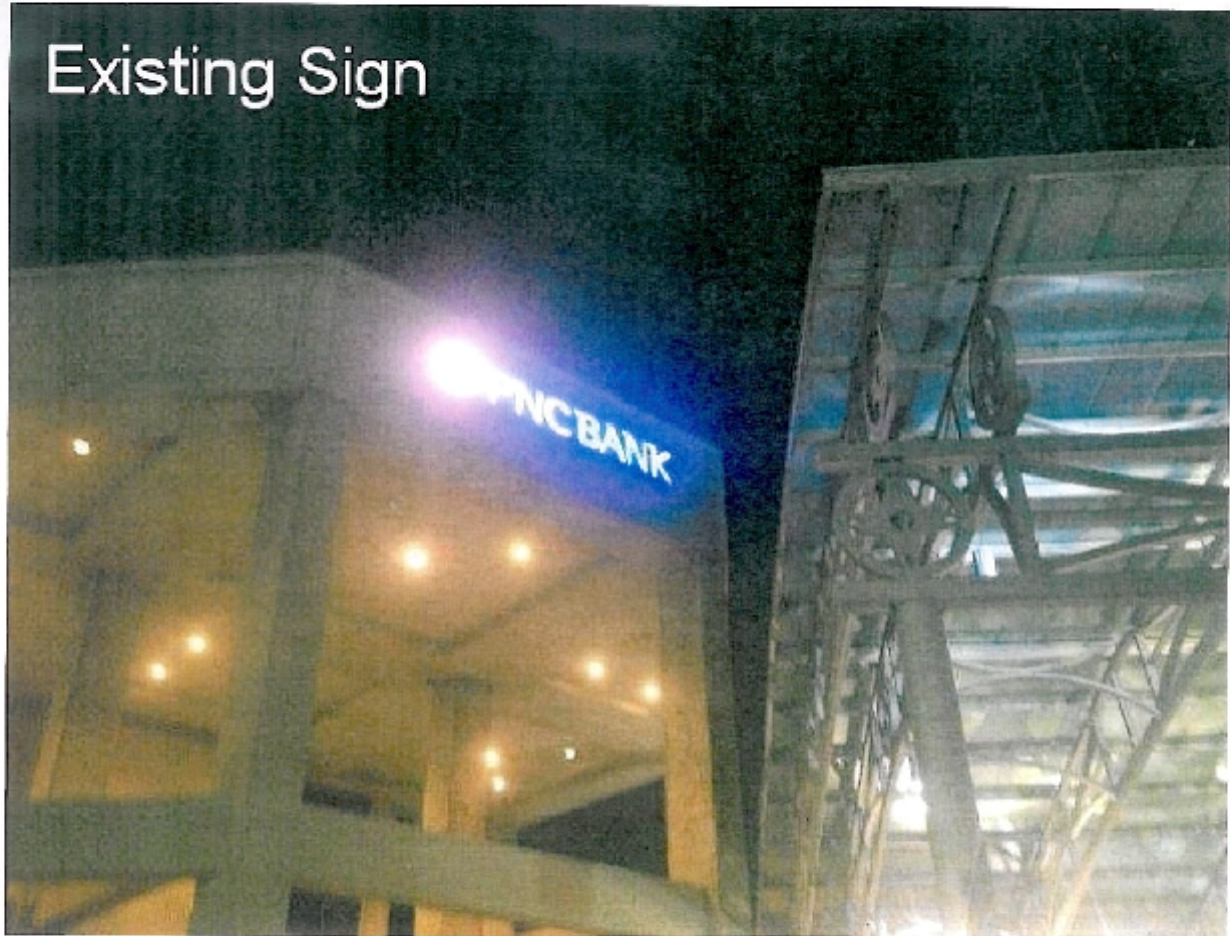
APPLICANT Florida Certified Sign Erectors

REQUEST Sign Variance

N
↑
NTS

EXISTING SOUTHWEST ELEVATION

Existing Sign



APPLICATION NUMBER 5795 DATE January 7, 2013

APPLICANT Florida Certified Sign Erectors

REQUEST Sign Variance

N
↑
NTS

PROPOSED SOUTHWEST ELEVATION

SouthWest Elevation



APPLICATION NUMBER 5795 DATE January 7, 2013

APPLICANT Florida Certified Sign Erectors

REQUEST Sign Variance

N
↑
NTS

PROPOSED EAST ELEVATION

East Elevation



APPLICATION NUMBER 5795 DATE January 7, 2013

APPLICANT Florida Certified Sign Erectors

REQUEST Sign Variance

N
↑
NTS