



Agenda Items #3 & 4

Applications 2024-08-CA & 2024-09-CA *

*Please see Agenda item #5 (Application 2024-10-CA) for information about proposed signage at this site.

DETAILS

Location:

900 Government Street

Summary of Request:

Demolish existing approximately 10,125sf chain drug store building and associated parking. Construct 2,824sf convenience store and 8-pump fueling station under canopy with accompanying site improvements.

Applicant (as applicable):

Pan American Engineers, LLC on behalf of Murphy USA

Property Owner:

Hygia, Inc.

Historic District:

Oakleigh Garden

Classification:

Non-Contributing

Summary of Analysis:

- The application seeks approval for the demolition of the existing non-historic building and construction of a 2,824sf convenience store and 8-pump fueling station under canopy.
- The submitted designs and plans for a convenience store and fueling canopy are in compliance with the *Design Review Guidelines for Mobile’s Historic Districts*.
- The submitted landscaping plan incorporates significantly increased areas of vegetation to obscure the significant areas of pavement included in the site plan.
- The submitted lighting plan generally conforms to the *Guidelines*, though consideration should be given to reducing the number of pole-mounted lights.
- In accord with the *Guidelines*, consideration should be given to applying a brick veneer or stucco to the proposed CMU dumpster enclosure walls.

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PROPERTY AND APPLICATION HISTORY

Oakleigh Garden Historic District was initially listed in the National Register in 1972 under Criteria A (historic significance) and C (architectural significance) for its local significance in the areas of architecture, landscape architecture, and planning and development. The district is significant for its high concentration of 19th- and 20th-century architectural types and styles and significant in the area of landscape architecture for its canopies of live oaks planted from 1850 to 1910. The district is significant in the area of planning and development as the location of Washington Square, one of only two antebellum public parks remaining in Mobile. The district was expanded in 1984, and an updated nomination was approved in 2016.

The subject property was developed with as many as eleven (11) residences by the time the 1878 Hopkins ward map of Mobile was published. Residential development continued until 1928, when the lots occupying the approximate east half of the current parcel were purchased by James U. Blacksher. The Blacksher-Reese Motor Company auto dealership and garage, believed to be designed by George B. Rogers, was constructed on the site. The building was in use through the early 1980s, though in later years it was occupied by furniture and carpet outlet. Areas east of the car dealership became more commercial after the completion of the Bankhead Tunnel and designation of Government Street as a U.S. route led to increased traffic on the thoroughfare. The western half of the property slowly redeveloped commercially around the same time, with an automobile paint shop and a residence converted to an office building located to the immediate west of the car dealership. The extant grocery store at the southeast corner of the intersection was constructed c. 1950, and by 1952, the block to the east across Broad Street featured angled street parking for the businesses there.

A 1980 aerial photograph reveals the residential properties on the approximate west half of the subject parcel had been replaced with commercial buildings and accompanying surface parking, while a gas station was extant at the northeast corner of Broad and Government. The car dealership/garage building was demolished in 1982, and a muffler shop was constructed. A number of fast food and casual restaurants were located on the western portion of the property. Both the muffler shop and the restaurant building were demolished c. 2000 to make way for the extant chain drug store building.

This property has appeared before the Architectural Review Board (ARB) 13 times. The eastern half of the parcel, formerly known as 900-902 Government Street, has appeared eleven (11) times before the ARB. An application to demolish the 1928 Blacksher car dealership to construct a gas station was deferred in March 1982. The following month, the application was denied. The decision was appealed, but the application was again denied in July 1982 because the submitted design “was incompatible with the architecture and character established in Mobile’s historic districts and...the accompanying landscaping plan was wholly inadequate to the overall site.” In October 1982, plans for a Midas Muffler shop received preliminary approval. The following month, the plans were approved pending some further modifications. In January 1983, the plans were given full approval. In June 1983, the landscaping plan for the muffler shop received ARB approval. A signage package for the muffler shop was approved by the ARB in October 1994. In August 1999, an application seeking to demolish the muffler shop and construct a CVS drug store was withdrawn by the applicant. Revised plans for the CVS received concept approval in November 1999, and plans subsequently submitted were fully approved in February 2000.

The portion of the subject property formerly known as 904-908 Government Street (roughly the western half of the parcel) has appeared before the ARB on two (2) occasions. Signage and an awning for a Sub Station II sandwich shop received ARB approval in September 1982. Approval for the construction of a patio with 4’ fence and a shed for the Trattoria at Broad was granted in March 1985.

SCOPE OF WORK

1. Demolish existing non-historic chain drug store building and associated site improvements.
2. Construct a convenience store and 8-pump fueling station under a canopy.

- a. The 2,824sf one-story store structure (approximately 64'-4"x43'-3 1/2") would be located toward the north end of the property, with public entry on the south side.
 - 1) The structure would stand 18'-6" tall at the roof apex and would be topped with a mansard type roof to obscure rooftop mechanical equipment, sheathed in asphalt shingles in Weathered Wood color.
 - 2) Windows and doors would be commercial aluminum, and the exterior walls would be clad in thin brick veneer bands in "Light Sandstone Velour" and Ivory Blend Velour" colors. The top band would measure approximately 3'-6" wide, the central band would measure approximately 6'-6" wide, and the bottom band would measure approximately 3'-9" wide.
 - 3) The four corners of the structure would be accented by approximate 1'-7" square pilasters topped with a 12"- high capital. The pilasters would be clad in thin brick veneer in "Light Sandstone Veneer," and the capitals would be painted Sherwin Williams Dormer Brown.
 - 4) The exterior walls would be topped by an approximate 3'-9" high fascia made of brushed aluminum with a 12"-high cornice matching those on the pilasters.
 - 5) The front (south elevation) entry would be recessed and sheltered by a tall surround clad in aluminum. The surround would be 18'-6" tall and topped by a cornice matching those on the pilasters, for a total height of 19'-6". The surround would measure 14'-10" wide with 2'-8 3/4" wide supports to each side of the doors. The doorway would be accented by a canopy advancing 1'-10 3/4" from the plane of the surround. The entire surround would be painted "Program Red".
 - 6) The elevations would appear as follows.
 - a) South (façade), from west to east: corner pilaster; two (2) 3'-7"x5' windows; one (1) 2'-9"x8'-4" window; aluminum break metal wrap at column to match storefront; three (3) 3'-11 1/4"x8'-4" windows; aluminum break metal wrap at column to match storefront; two (2) 4'-1 1/4"x8'-4" windows; entry consisting of one (1) 10"x8'-4" sidelight, paired 3'x7' glass doors, and one (1) 10"x8'-4" sidelight; one (1) 1'-7 3/4"x8'-4" window; one (1) 3'-4"x8'-4" window; corner pilaster. The paired entry doors would be topped by a single-light 6'-1/2"x1'-4" transom.
 - b) East (Broad Street side) elevation, from south to north: corner pilaster; five (5) approximate 2'-9"x3'-9" faux windows (spandrel glazing) regularly spaced across the elevation; pilaster; one (1) 2'-6"x6' hollow core metal slab door painted "Dormer Brown" accessing closet at rear utility area.
 - c) North (Conti Street side), from east to west: corner pilaster; four (4) 3'-6"x8' hollow core metal slab door painted "Dormer Brown" located roughly at the center of the elevation; corner pilaster
 - d) West elevation, from north to south: corner pilaster; one (1) 3'x7' insulated metal door painted "Dormer Brown" towards the north end of the elevation; corner pilaster
 - b. The fueling canopy would measure 46'x103'-8" and have an east-west orientation. The structure would be located approximately 63' south of the store building.
 - 1) The canopy would be 18'-8" high at the top of the fascia band and would be topped by a mansard type roof sheathed in asphalt shingles in Weathered Wood color.
 - 2) The canopy would be supported by eight (8) approximate 18" square piers enclosed with thin brick veneer in "Light Sandstone Velour" color.
 - 3) The brushed aluminum fascia band would be approximately 2'-9" high, topped by a cornice matching those on the building pilasters and finished at the bottom by a 6" metal accent band in Sherwin Williams "Pure White."
3. Site improvements
 - a. The perimeter of the site, with the exceptions of the driveway entries at the south and east sides, would be grassed. The grassy area would measure between approximately 22' and 35' on the north side of the property; between approximately 33' and 43' on the east side of the property; between approximately 25' and 60' on the south side of the property, and between approximately 19' and 99' on the west side of the property. The grass would be supplemented on the east, south and west side by trees, tall grasses, and ground cover.

- b. The two (2) existing bald cypress, three (4) red maples, and one (1) live oak would remain along the north property line at Conti Street.
- c. The existing live oak at the southwest corner of Conti and Broad would remain, as would the six (6) existing live oaks along Broad Street. In addition, the Broad Street side would be planted with three (3) pond cypress, one (1) live oak, muhly grass, sasanqua camellia, and cedar fern.
- d. Eight (8) existing live oaks along the Government Street side would remain. Muhly grass, cedar fern, and one (1) additional live oak would be planted along this side.
- e. Eight (8) existing crape myrtle and four (4) existing bald cypress trees would remain along the west side.
- f. Sasanqua camellia would be planted in islands near the convenience store building, and a single Nuttall oak would be planted to each side of the building.
- g. The existing 8' brick wall along the west side of the property and the existing knee wall at the southeast corner of the property would remain.
- h. The dumpster would be located to the west-southwest of the convenience store building and would be enclosed with a three-sided CMU wall painted "Dormer Brown." A composite gate would enclose the fourth (front) side.
- i. A 9'-wide concrete walkway would run from the sidewalk along Broad Street to a crosswalk across the vehicle drive, to the 8'-6" concrete sidewalk in front of the building. A 5' concrete walkway would surround the building on the west, north, and east sides.
- j. The lighting plan would include five (5) pole-mounted LED lights, three (3) building-mounted sconces, two (2) flood lights, and 24 can lights under the fueling canopy. All lights would be LED.
 - 1) Three pole-mounted lights would be located one each at the southwest corner of the property, to the east of the store building along the entry drive from Broad Street, and towards the southeast corner of the property.
 - a) The pole lights along the drives would be 26' high and of contemporary design with flat, downward facing fixtures.
 - b) The poles would be mounted on 2'-high concrete bases. The 24'-tall poles would be surmounted by 2'-tall fixtures.
 - c) The poles and fixtures would have a dark bronze finish.
 - d) The lighting would have a temperature of 5,000K and carry 135 watts.
 - 2) Two pole-mounted lights would be located, one each, to the immediate southwest of the convenience store building and to the immediate southeast of the convenience store building,
 - a) The pole lights in front of the store would be 26' high and of contemporary design with flat, downward facing fixtures.
 - b) The poles would be mounted on 2'-high concrete bases. The 24'-tall poles would be surmounted by 2'-tall fixtures.
 - c) The poles and fixtures would have a dark bronze finish.
 - d) The lighting would have a temperature of 5,000K. The double fixture to the southwest of the building would carry 270 watts (135 in each light), and the fixture to the southeast of the building would carry 135 watts.
 - 3) The building-mounted sconces would be located adjacent to the non-public doors on the west, north, and east elevations.
 - a) All sconces would have a contemporary design with a bronze finish.
 - b) The sconces would be placed 8'-3" above grade.
 - c) These lights would have a temperature of 5,000K and carry 30 watts.
 - 4) Two flood lights would be located 8'-8" above grade at the front entrance (for emergencies).
 - 5) Twenty-four (24) can lights would be located under the fueling canopy.
 - a) The lighting temperature of these lights is not specified in the submitted lighting plan, but the fixtures are manufactured with capabilities of 3000, 4000, or 5000K.
 - b) The can lights would carry 125 watts.
 - 6) The submitted lighting plan specifies, "Pole lights and building lights shall be down cast fixtures. Lights shall not impact adjacent properties."

APPLICABLE STANDARDS (*Design Review Guidelines for Mobile's Historic Districts*)

1. Demolition Guidelines
 - Consider the current significance of a structure previously determined to be historic.
 - Consider the condition of the structure in question. Demolition may be more appropriate when a building is deteriorated or in poor condition.
 - Consider whether the building is one of the last remaining positive examples of its kind in the neighborhood, county, or region.
 - Consider the impact that demolition will have on surrounding structures, including neighboring properties, properties on the same block or across the street or properties throughout the individual historic district.
 - Consider whether the building is part of an ensemble of historic buildings that create a neighborhood.
 - Consider the future utilization of the site.
 - If a development is proposed to replace a demolished historic structure, determine that the proposed replacement structure is consistent with the guidelines for new construction in historic districts. (Chapter 12)
2. Orient a new commercial building to be similar to that of nearby historic structures.
 - Place buildings in line with adjacent historic buildings in terms of relationship to the street. If a project is flanked by non-historic structures, refer to nearby historic structures.
 - Design side setbacks to be similar to those in adjacent historic buildings. If a project is flanked by non-historic structures, refer to nearby historic structures.
 - Orient facades of new commercial buildings similarly to adjacent historic structures. In most cases, new commercial structures should be oriented to directly face the street.
 - Face primary building entries toward the public street.
 - Screen ancillary buildings or place them behind the primary building. (7.30)
3. Design a building to be compatible with massing and scale with historic structures in the district.
 - Design building massing to reflect massing of nearby historic structures.
 - Where the volume of new construction is larger than historic structures in the district, break down the massing into smaller components to increase compatibility.
 - Use vertical and horizontal articulation design techniques to reduce the apparent scale of a larger building mass.
 - Incorporate changes in color, texture, and materials.
 - Use architectural details to create visual interest.
 - Use materials that help to convey scale in their proportion, detail, and form. (7.34)
4. Design building massing and scale to maintain the visual continuity of the district.
 - Incorporate floor-to-floor heights that appear similar to those of traditional commercial buildings in Mobile.
 - Design a new structure to incorporate a traditional base, middle, and cap. (7.35)
5. Maintain traditional spacing patterns created by the repetition of building widths along the street.
 - Proportion a new façade to reflect the established range of traditional building widths seen in Mobile.
 - Where a structure must exceed a traditional building width, use changes in building configuration, articulation, or design features such as materials, window design, façade height, or decorative details to break the façade into modules that suggest traditional building widths. (7.36)
6. Although imitation is discouraged, traditional façade and material patterns used in historic structures should inform the design of new commercial structures in locally-designated historic districts. Traditional multi-story commercial façade composition in Mobile features a clear differentiation between the street level and upper floors. The street level generally appears taller than other floors and has a high percentage of fixed plate glass with a small percentage of opaque framing materials, a bulkhead, and a

recessed entry. An upper floor...is the reverse – opaque materials dominate, and windows appear as smaller openings punctuating a more solid wall. (7.0)

7. Maintain the distinction between the street level and upper floor on multi-story structures.
 - Incorporate a high percentage of transparent glass into the first floor of the primary façade.
 - Design upper floors to appear more opaque than the street level.
 - Express the distinction in floor heights between street levels and upper levels through detailing, materials, and fenestration. The presence of a belt course is an important feature in this relationship.
 - Do not use highly reflective or darkly tinted glass. (7.40)
8. Maintain the traditional spacing pattern created by upper story windows.
 - Use traditional proportions of windows, individually or in groups.
 - Maintain the traditional placement of window headers and sills relative to cornices and belt courses. (7.41)
9. Where new commercial construction is located adjacent to historic residential structures, use building materials that are compatible with those materials used in nearby historic buildings.
 - Use a material that is reflective of nearby historic residential structures, including wood siding. (7.47)
10. In order to assure that historic resources are appreciated as authentic contributing buildings, it is important that new buildings be distinguishable from them. Therefore, new construction should appear as a product of its own time, while also being compatible with the historically significant features of the area...Building materials and finishes for new structures...should contribute to the visual continuity of the district and appear similar to those seen traditionally. (7.0)
11. Visually connect the street and building.
 - Maintain or install a walkway leading directly from the sidewalk to the main building entry. (10.5)
12. Minimize the visual impact of parking.
 - Locate a parking area at the rear or to the side of a site whenever possible.
 - Use landscaping to screen a parking area.
 - Minimize the width of a paved area or a curb cut.

ACCEPTABLE WALK AND PAVING MATERIALS

Materials that have a similar character, durability, and level of detail to walks and paved areas associated with historic properties in the district are acceptable. These often include:

- Gravel or crushed stone
 - Shell
 - Brick
 - Cobblestone
 - Grasspave or grasscrete (mix of grass and hard surface parking material that provides a solid surface) (10.7)
13. Design lighting that is in character with the setting.
 - Use a fixture that is compatible with architectural and site design elements.
 - When adding a new fixture, use one that is simple in character.
 - Mount a security light, such as a flood light, on the rear or side of a structure rather than the front.
 - Design lighting to be contained within a site and not spill over to a neighboring property.
 - Use incandescent lighting or a source that appears similar in character. Use a fluorescent or LED source provided the color is similar to that of an incandescent light.
 - Limit the amount of landscape lighting used on a site to the amount necessary to its purpose for safety or the illumination of important site features. Landscape lighting includes concealed low-wattage landscape lighting, uplights for trees or shrubbery, or bollard lighting. Use low bollard lighting to illuminate a walkway or drive aisle.
 - For commercial properties, minimize stand-alone lighting. Instead, use the ambient light from a storefront as a light source.

- Do not use an imitation historic fixture that may convey a false sense of history.
- Do not use a light source that creates a harsh glare or color.
- Do not use a blinking light.

ACCEPTABLE LIGHTING SOURCES

Lighting sources that produce a light similar in tone and brightness to original lighting used for historic properties in the district are acceptable. These often include:

- Incandescent (low wattage)
- LED lighting that appears similar to an incandescent light
- Mercury vapor
- Moon lighting
- Dark sky (downward facing)

UNACCEPTABLE LIGHTING SOURCES

Lighting sources that produce incompatible in tone and brightness that is discordant with properties in the district are unacceptable. These often include:

Low sodium

Metal halide (10.9)

14. Landscaping

- In commercial areas, consider using landscaping to screen and soften the appearance of surface parking areas. (10.10)

STAFF ANALYSIS

The subject property is not a contributing resource to the Oakleigh Garden District and exists within a Commercial Corridor Context, as outlined in the *Design Review Guidelines for Mobile's Historic Districts (Guidelines)*. The Commercial Corridor Context refers to “new commercial construction built along arterials at the periphery of a predominantly residential historic district.” Specifically regarding Government Street, the *Guidelines* state, “In the case of Government Street in particular, many historic residential buildings face Government Street. In more recent years, commercial projects have begun developing alongside historic residential buildings on this corridor.” The *Guidelines* offer additional guidance for corner sites, such as the subject property, stating, “Corner locations may require considerations that are not relevant at mid-block locations. For this context, new commercial construction should strongly consider front setback distances, landscaped setbacks, and the transition between the commercial project and rear-adjacent historic properties to ensure compatibility with the orientation of nearby historic residential buildings in the district.”

The extant building and site improvements were constructed in 2001. The application under review seeks to demolish the drugstore building and construct a 2,824sf convenience store and 8-pump fueling canopy with site improvements on the parcel. The applicant worked extensively with the staff of the Historic Development Department to bring the proposal as closely as possible into conformance with the design review guidelines. Such work included a meeting with staff; study of the George B. Rogers-designed car dealership and garage formerly on the site and the Chinese gas station formerly at the northwest corner of Government and Dearborn streets; review of suggestions for materials, architectural design features, and proportions drawn from gas station and other commercial facilities in other historic districts around Mobile and the country; multiple emails, and the submission of three successively improved sets of plans. In addition, the proposed landscape plan was designed to minimize the view of pavement from Government and Broad Streets, provides a landscaped setback along Conti Street, and would reduce the impervious area of the property from the existing 72% to 47%.

The existing drug store building was constructed on a site that has been commercially developed since 1928. The building, though in good condition, is not historic and not architecturally significant. The demolition of the building would not have an adverse effect upon nearby historic properties. The applicant proposes to redevelop

the site with a convenience store and fueling canopy, the designs of which are analyzed against the *Guidelines* below. (12.0)

In regard to new commercial structures, the *Guidelines* instruct that they should be oriented similarly to nearby historic structures, with primary entries facing the street and similar setbacks from the street. (7.30) The proposed gas station has frontage on three streets, Government, Broad, and Conti. Of these, Government and Broad are considered principal arterial roads; Conti is considered a neighborhood or feeder street. The existing drug store building is oriented to Government Street, as is the proposed convenience store, an acceptable orientation based on the nearby streets.

The proposed convenience store building would be located approximately 96 feet west of the Broad Street right-of-way (ROW) and approximately 149 feet north of the Government Street ROW. The fueling canopy would be located approximately 82 feet west of the Broad Street ROW and approximately 60 feet north of the Government Street ROW. Nearby historic properties include the c. 1908 Government Street United Methodist Church to the south and the c. 1854 Robert-Abbott House to the west, located approximately 15 and 18 feet, respectively, from the Government Street right-of-way (ROW). Additionally, the church is contiguous with the Broad Street ROW on its east. A c. 1950 grocery store is located cattycorner from the subject property; this building is located approximately 115 feet south of the Government Street ROW. The property was erroneously dated c. 1980 in the Church Street East National Register nomination and, therefore, found to be non-contributing. However, based on historic aerial photographs, the property's construction date falls within Church Street East's period of significance (1834-1957) and would be considered contributing to the district. Given the wide range of setbacks of the nearby historic properties, the proposed setbacks for the convenience store and fueling canopy fall within these ranges.

New commercial buildings should be designed to be compatible in massing and scale with historic structures in the district. (7.34) The subject property lies at the junction of three National Register and locally designated districts: Oakleigh Garden, Church Street East, and Old Dauphin Way. The historic commercial and residential buildings in these districts range in height from one to four stories, and their footprints range just as widely. The proposed convenience store and fueling canopy would be approximately 18 feet in height, or under two stories.

The existing drug store building on the property has a footprint of approximately 10,125 square feet, the residence to the immediate west has a footprint of approximately 5,200 square feet, and the grocery store to the southeast occupies a footprint of approximately a footprint of approximately 10,100 square feet. With a combined footprint of approximately 7,593 square feet, the proposed convenience store and fueling canopy would be within range of the massing of nearby historic structures. Further, the proposed designs of the convenience store and fueling canopy incorporate changes in color, texture, and materials and use architectural details to create visual interest, as directed by the *Guidelines*.

The proposed convenience store does not incorporate a traditional base, middle, and cap, as the *Guidelines* describe (7.35), but the use of a mansard type roof over a pronounced fascia over traditional brick veneer walls conveys a similar aesthetic. Likewise, though the elevation facing Government Street would be wider than the nearby residential properties, the elevation would be broken into three distinct bays through the use of a pronounced entrance bay. (7.36) The use of a high percentage of glass on the front elevation is compatible with the directive in the *Guidelines* to, "Incorporate a high percentage of transparent glass into the first floor of the primary façade." (7.40) Further, the applicant eliminated the appearance of a blank wall facing Broad Street by adding regularly spaced faux windows across the elevation, as the interior plan would not be conducive to actual windows. (7.41)

The proposed convenience store and fueling canopy would incorporate brick veneer, aluminum windows and doors, and aluminum trim at the fascia and front entry to the store building. The *Guidelines* recommend that materials used for new commercial buildings adjacent to historic residential structures should, "Use a material that is reflective of nearby historic residential structures." (7.47) While the Robert-Abbott House adjacent to the

west of the subject property is clad in wood clapboards, a row of brick houses is located immediately across Government Street (nos. 905, 907, and 909). Regarding the proposed aluminum windows, doors, and trim, the *Guidelines* offer instruction only for historic commercial buildings, not new construction. Guideline 7.11 states, "If a modern doorway is created, use metal with anodized or painted finish." It may be extrapolated from this guideline that the use of aluminum windows, doors, and trim is acceptable for new construction, as well.

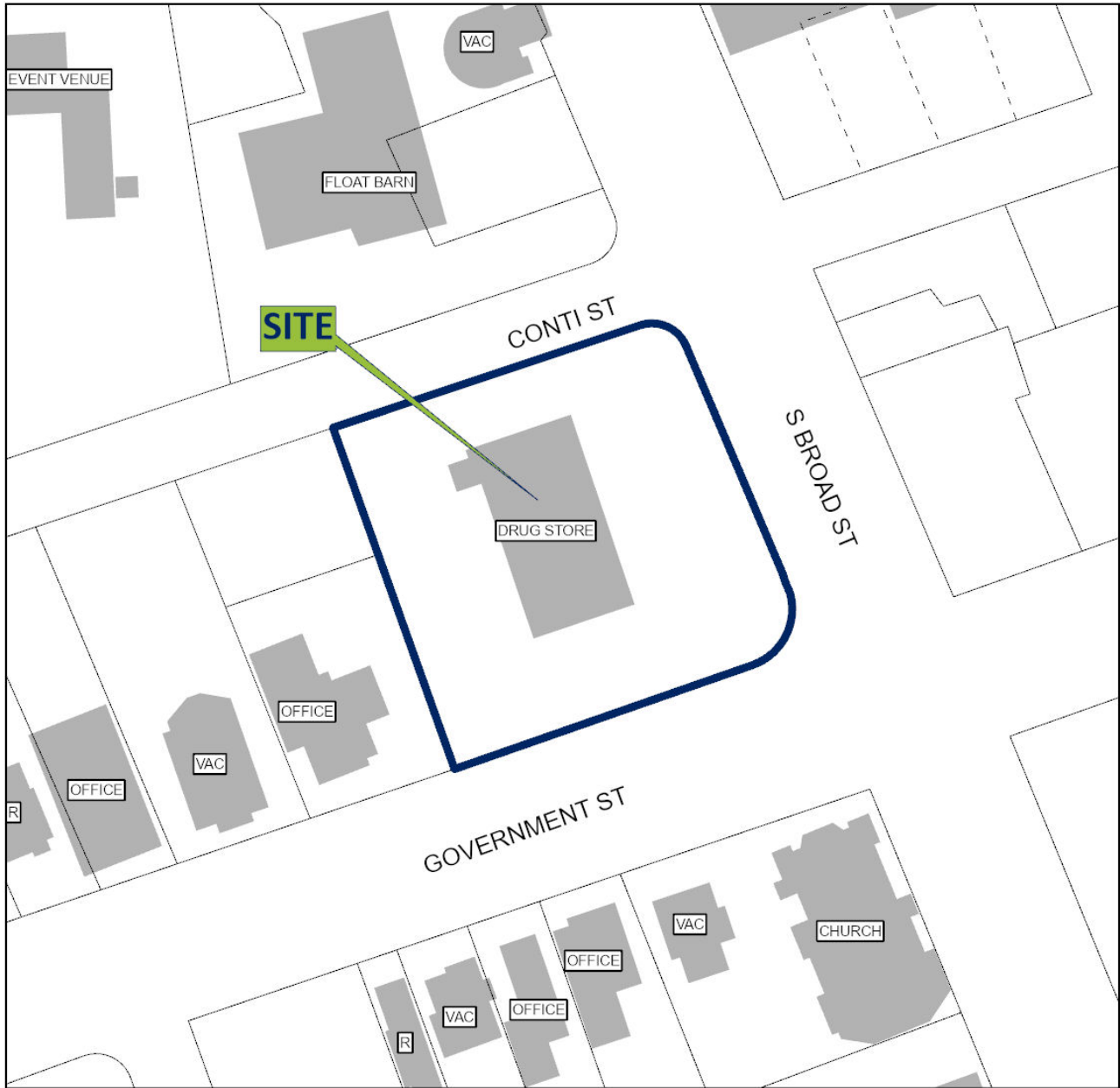
In accordance with the *Guidelines*, a sidewalk would be provided from Broad Street to the front entrance of the building. (10.5) In addition, the submitted landscape plan illustrates a concerted effort to minimize the view of paving from Broad and Government streets through the use of tall grasses, camellia bushes, and native trees, per the *Guidelines'* directive to "Use landscaping to screen a parking area." (10.7, 10.10) As noted above, the *Guidelines* instruct that new commercial construction should consider "the transition between the commercial project and rear-adjacent historic properties to ensure compatibility with the orientation of nearby historic residential buildings in the district." The existing trees and brick wall along the west property line would be maintained as a transition between the commercial property and the business/residential property at 910 Government Street, and the existing trees, along with a grassed setback of between 22 and 133 feet, would remain along the Conti Street frontage, though the development to the north across Conti Street is not historic (c. 2019).


The submitted lighting plan appears to be in general conformance with the *Guidelines*. The proposed lighting fixtures are of a contemporary design and are "compatible with architectural and site design elements" of the proposed convenience store building and site. The proposed lighting sources would be LED, as recommended in the *Guidelines*. As instructed by the *Guidelines*, the submission explicitly states, "Pole lights and building lights shall be down cast fixtures. Lights shall not impact adjacent properties." For commercial properties, the *Guidelines* advise, "minimize stand-alone lighting. Instead, use the ambient light from a storefront as a light source." However, the proposed lighting plan provides two pole-mounted lights near the front entrance of the store building; consideration should be given to reducing the number of pole-mounted lights near the store entry, if possible. (10.9)

As noted in the *Guidelines*, new commercial construction should be distinguishable from historic resources in order to assure that historic resources are appreciated as authentic contributing buildings. "Building materials and finishes for new structures...should contribute to the visual continuity of the district and appear similar to those seen traditionally." (7.0) The proposed designs of the convenience store and fueling canopy respect the historic district they would be located in and districts to which they would be adjacent by employing compatible materials like brick veneer and asphalt singles and architectural features that recall historic structures, such as the upturned cornices that bring to mind the Chinese gas station formerly located at the corner of Government and Dearborn streets.

The application proposes enclosing the dumpster with three (3) CMU walls painted "Dormer Brown" and a composite gate. While the *Guidelines* do not explicitly address materials for enclosures such as this, they do recommend that materials should be reflective of nearby historic residential structures. (7.47) In regard to walls employed at property lines, the *Guidelines* note that brick, stone, and stuccoed masonry are appropriate for historic districts, whereas unstuccoed concrete block is not appropriate. (10.3) Therefore, it may be more appropriate for the dumpster enclosure walls to be clad in a brick veneer similar to the convenience store building or covered with stucco.

ARCHITECTURAL REVIEW BOARD VICINITY MAP



APPLICATION NUMBER <u>4 & 5</u> DATE <u>2/21/2024</u>	 NTS
APPLICANT <u>Pan American Engineers on behalf of Murphy USA</u>	
PROJECT <u>Demolish existing non-historic drugstore building, New Construction: one-story 2,824sf fueling station with 8 pumps under canopy; associated site improvements</u>	

Site Photos – 900 Government Street



1. View northeast to the west (left) and south (right) elevations of the existing drug store building on the property



2. View northwest to the south (left) and east (right) elevations of the existing building on the property



3. View southwest to the east (left) and north (right) elevations of the existing building on the property



4. View southeast to the north (left) and west (right) elevations of the existing building



5. View southwest to the existing dumpster enclosure at the northwest corner of the property



6. View west along Government Street from the southwest corner of the property

Site Photos – 900 Government Street



7. View east along Government Street from southwest corner of the property



8. View northwest to the brick wall and trees along the west property line, proposed to remain



9. View north across western third of the property



10. View southwest across Government Street from the subject property



11. View south across Government Street from the subject property



12. View southeast across Government Street from the subject property

Site Photos – 900 Government Street



13. View west along Government Street at south property line; oak trees proposed to remain



14. View southeast to grocery store catty-corner from subject property



15. View south along Broad Street from the eastern property line; oak trees proposed to remain



16. View east-southeast across Broad Street from the northeast corner of the property



17. View northeast across Broad Street from the northeast corner of the property



18. View north along Broad Street from the northeast corner of the property

Site Photos – 900 Government Street



19. View west along Conti Street at the north end of the property; street trees proposed to remain



20. View northwest across Conti Street from the property



21. View south along the west property line



22. View east along Conti Street at the north end of the property

Site Photos – 900 Government Street



23. View northwest across Conti Street from northwest corner of property



24. View west along Conti Street from northwest corner of property



25. View east along Conti Street from northwest corner of property



26. View southwest from interior of property to the Robert-Abbott House adjacent to the west of the subject property

NEW PERMIT

- Summary
- Details
- Location
- Additional Info**
- Workflow
- Linked Records
- Holds (1)
- Contacts (3)
- Fees (1)
- Bonds
- Activities
- Files (4)
- Print Documents
- Conditions

< A. APPLICATION INFORMATION - 1 B. APPLICATION INFORMATION - 2 C. APPROVED SCOPE OF WOF >

\$ 15 - Full ARB Review* 1 \$ 5 - Mid-Month / Staff Review* 0 Construction Date estimated as 1990's

Cost of Project* \$100,000.00
Description of Structure to be Demolished* Abandoned CVS building.

Purchase Date 05/02/2023 Purchase Price \$0.00

Current Appraised Value (Leave blank if unknown) \$0.00

Was property occupied at time of purchase? No

What was property condition at time of purchase? Abandoned CVS

Alternatives to demolition considered Continue status quo of existing abandoned CVS building.

NEW PERMIT

- Summary
- Details
- Location
- Additional Info**
- Workflow
- Linked Records
- Holds (1)
- Contacts (3)
- Fees (1)
- Bonds
- Activities
- Files (4)
- Print Documents
- Conditions

< A. APPLICATION INFORMATION - 1 B. APPLICATION INFORMATION - 2 C. APPROVED SCOPE OF WOF >

Has property been listed for sale/lease? Yes ▾ If yes, what was the asking price? _____

How many offers were received, if any? _____

List any options currently held for the purchase of the property, including the price received for such option, the conditions placed on such option and the date of expiration of such option:

Do you have replacement construction plans ready? Yes ▾ If yes, how much has been spent on plans? _____

Dates of expenditure on plans

In order to determine your ability to complete the replacement project, please list in the adjacent box which of the following you have:

- 1. Financial Institution Commitment Letter
- 2. Letter of Credit
- 3. Performance Bond
- 4. Trust for Completion
- 5. Other - explain

Resources available to complete project

Murphy Oil USA is a national retailer with a strong history of completing projects ahead of schedule including many in the Mobile area. A bond can be provided if required.

NEW PERMIT

- Summary
- Details
- Location
- Additional Info**
- Workflow
- Linked Records
- Holds (1)
- Contacts (1)
- Fees (1)
- Bonds
- Activities
- Files (8)
- Print Documents
- Conditions

A. PROJECT INFORMATION B. MAJOR PROJECT CHECKLIST C. MINOR PROJECT CHECKLIST D. EX

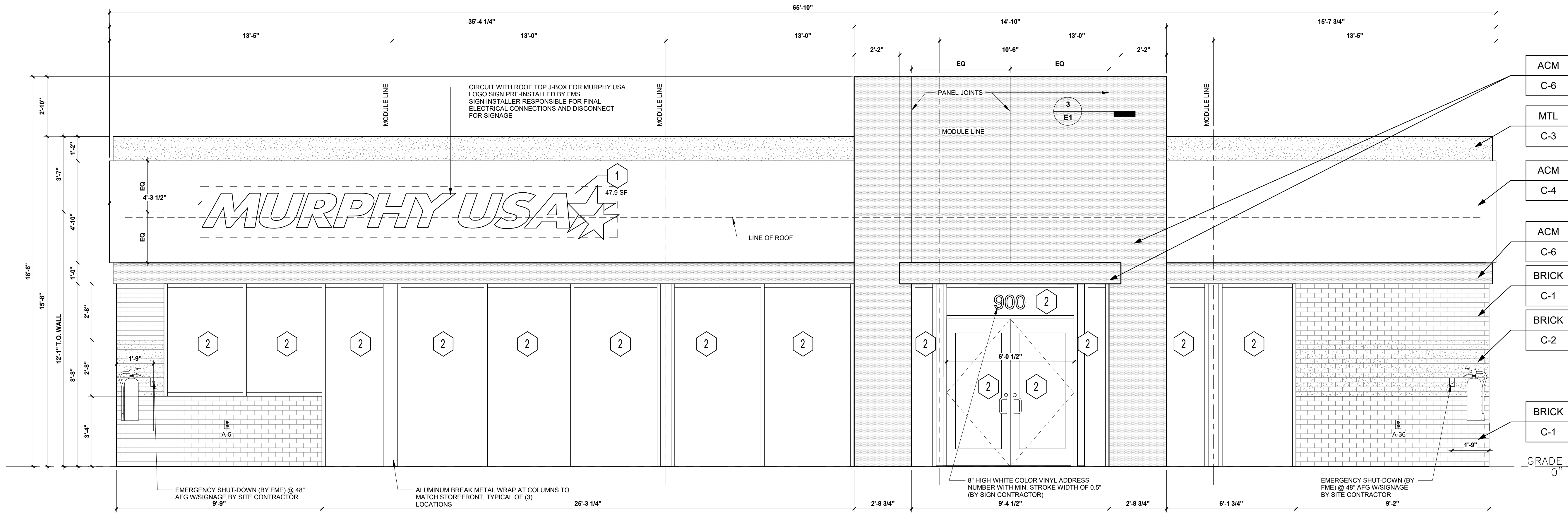
\$ 15 - Full ARB Review* 1	Does the Project involve Signage? Yes	If Yes, an ARB Sign Permit application is required.
\$ 5 - Mid-Month / Staff Review* 0	Does the Project involve Demolition? Yes	If Yes, an ARB Demolition application is required.
Cost of Project* \$2,000,000.00	Does the Project involve Tree Removal? No	If Yes, a site plan showing all trees and landscaping that will be removed is required.

Proposed Scope of Work

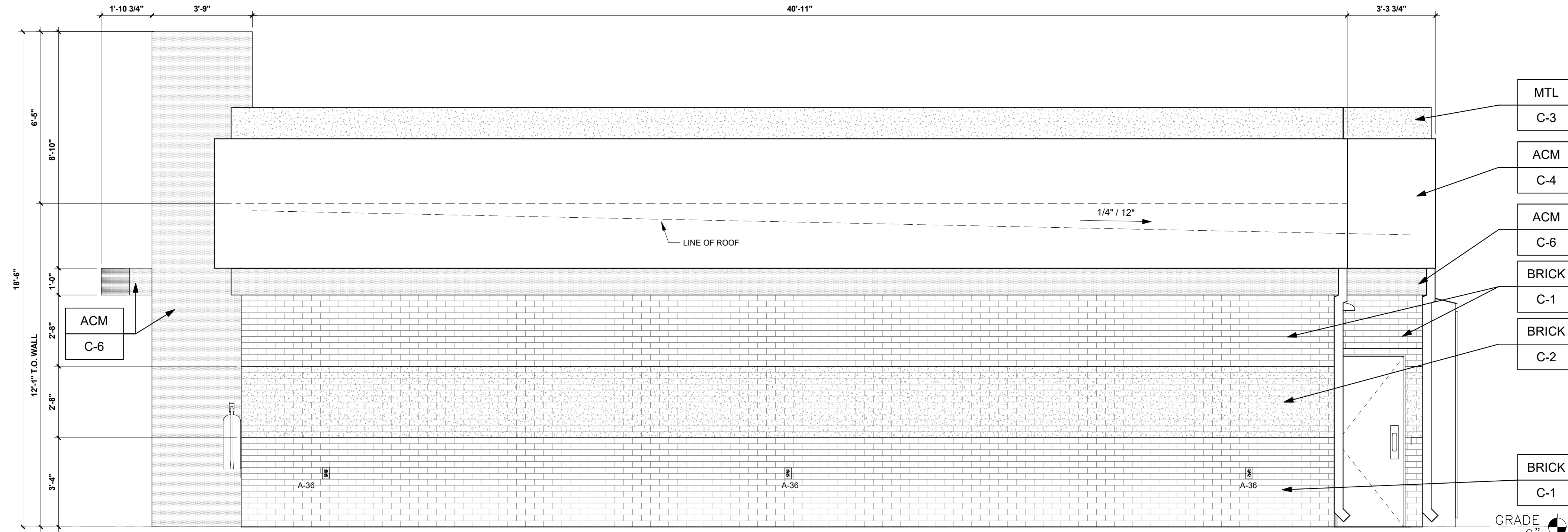
Construction of new 2,824 SF fueling station with 8 fueling islands under canopy.

APPROVED Scope of Work

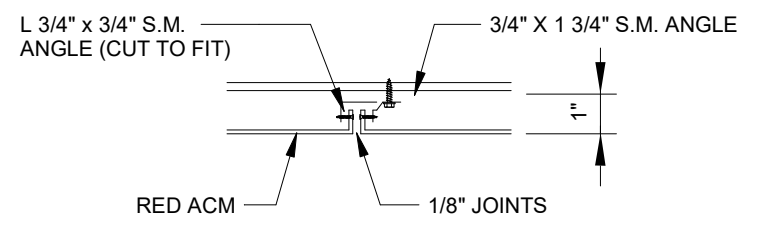
NOTE: The Approved Scope of Work must be inserted here in order for it to appear on the



1 FRONT ELEVATION (FACING NORTH)
3/8" = 1'-0"



2 RIGHT ELEVATION (FACING EAST)
3/8" = 1'-0"



3 ACM JOINT DETAIL
1/2" = 1'-0"

KEYED NOTES:

- 1 ROUTED LETTER LOGO SIGNAGE BY FMS
- 2 CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM C-7
- 3 EXTERIOR LIGHTING, REFER TO LIGHTING PLAN SHEET EL2
- 4 4" x 4" PAINTED METAL DOWNSPOUTS C-3
- 5 DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED C-3
- 6 OMITTED
- 7 OMITTED

SIGNAGE COLOR CHART
BUILDING - ROUTED SIGNS FURNISHED AND INSTALLED BY FMS

MURPHY USA	BLUE	EASTMAN BLUE PANTONE 287 BLUE 3M 3630-87 ROYAL BLUE
	RED	PROGRAM RED, PANTONE 485 RED 3M 3630-43 RED
STAR LOGO	WHITE	EASTMAN WHITE

EXTERIOR FINISHES:

- ACM ACM (3MM THICKNESS) BY FMS
- BRICK THIN BRICK BY FMS
- MTL 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) BY FMS

EXTERIOR PAINT/COLORS:

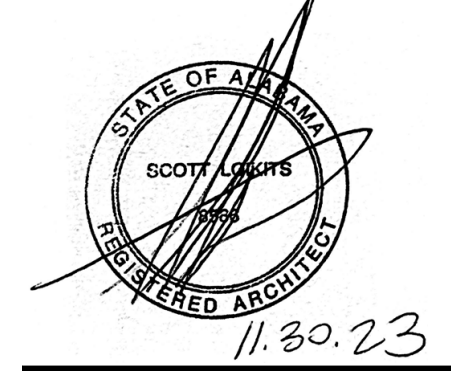
- C-1 THIN BRICK VENEER - LIGHT SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURAM MAX PREBLENDED GREY COLOR GROUT BY FMS
- C-2 THIN BRICK VENEER - IVORY BLEND VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURAM MAX PREBLENDED GREY COLOR GROUT BY FMS
- C-3 DORMER BROWN SW #7521 BY FMS
- C-4 REYNOBOND #4 NATURAL BRUSHED ALUMINUM BY ARCONIC BY FMS
- C-5 OPEN BY FMS
- C-6 PROGRAM RED BY ALPOLIC BY FMS
- C-7 CLEAR ANODIZED ALUMINUM STOREFRONT BY FMS

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ISSUE RECORD

DATE	REV.	DESCRIPTION
11/20/2023		PERMIT SUBMISSION SET

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE

SCOTT LOKITS
PROJECT MANAGER
RASHMIKA PATEL
QUALITY CONTROL
CHRIS CERBO
DRAWN BY
CAROLINA CARRASCO

PROJECT NAME

MURPHY USA
MURPHY OIL CONVENIENCE STORE
900 GOVERNMENT STREET,
MOBILE,
ALABAMA 36604



1801 Rockdale Industrial Blvd.
Conyers, Georgia 30012
Voice: (800) 366-6385
Fax: (770) 483-6037
FMS JOB NUMBER
G23MU00112
FMS MODEL NUMBER
XXXXXX

PROJECT NUMBER
20230491.5

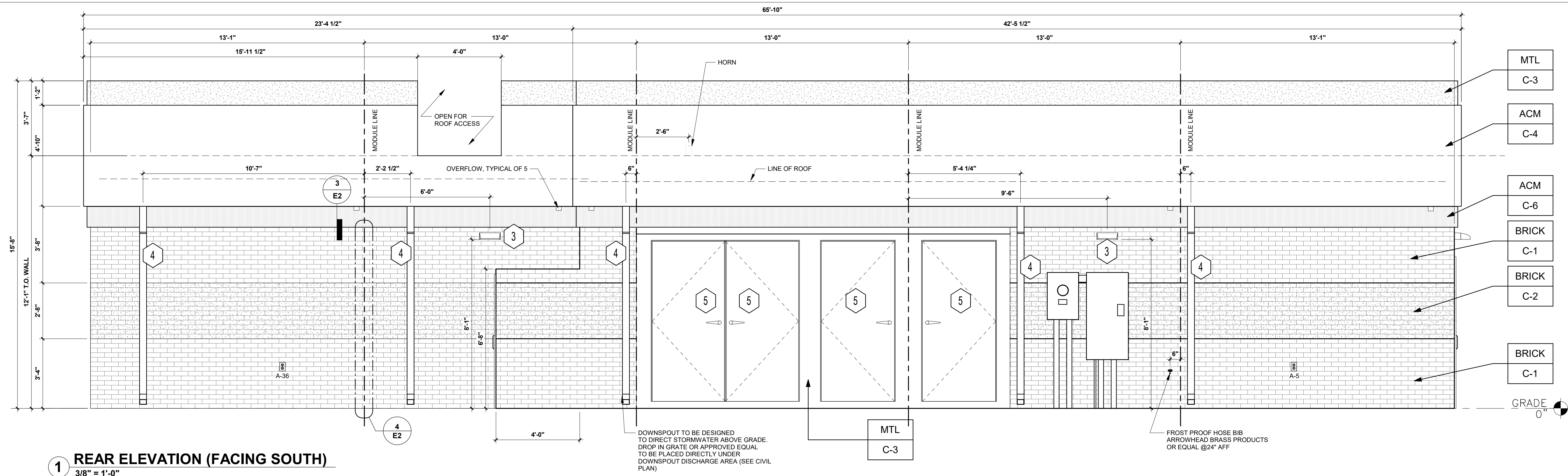
SHEET TITLE

EXTERIOR ELEVATIONS

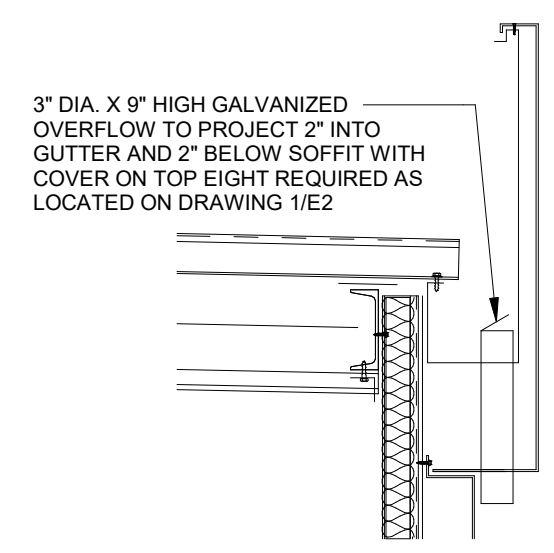
SHEET NUMBER

E1

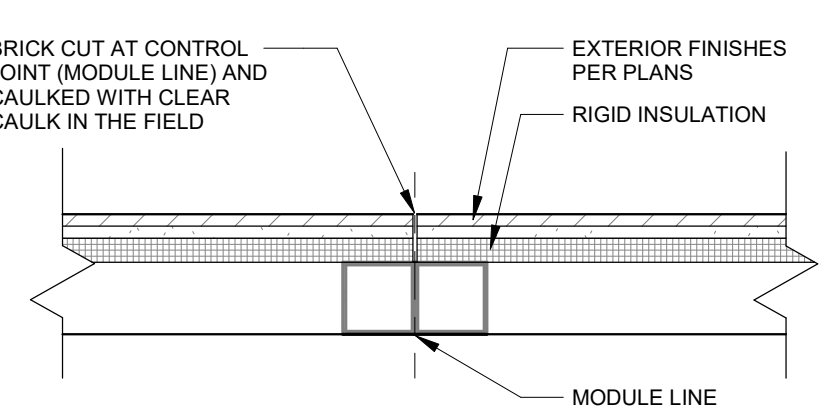
ISSUE RECORD	
DATE	REV. DESCRIPTION
11/20/2023	PERMIT SUBMISSION SET



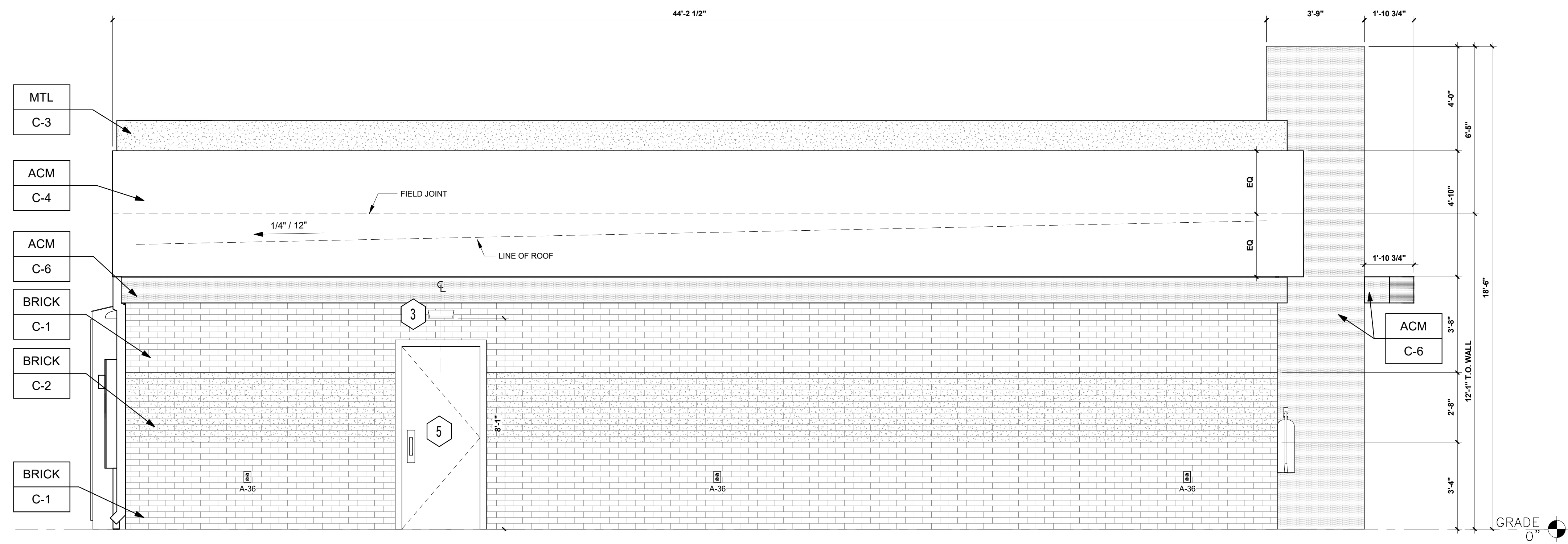
1 REAR ELEVATION (FACING SOUTH)
3/8" = 1'-0"



3 OVERFLOW DETAIL
E2 N.T.S.



4 CONTROL JOINT DETAIL
E2 N.T.S.



2 LEFT ELEVATION (FACING EAST)
3/8" = 1'-0"

KEYED NOTES:

- 1 ROUTED LETTER LOGO SIGNAGE BY FMS
- 2 CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM C-7
- 3 EXTERIOR LIGHTING, REFER TO LIGHTING PLAN SHEET EL2
- 4 4" x 4" PAINTED METAL DOWNSPOUTS C-3
- 5 DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED C-3
- 6 OMITTED
- 7 OMITTED

SIGNAGE COLOR CHART		
BUILDING - ROUTED SIGNS FURNISHED AND INSTALLED BY FMS		
MURPHY USA	BLUE	EASTMAN BLUE PANTONE 287 BLUE 3M 3630-87 ROYAL BLUE
	RED	PROGRAM RED, PANTONE 485 RED 3M 3630-43 RED
STAR LOGO	WHITE	EASTMAN WHITE

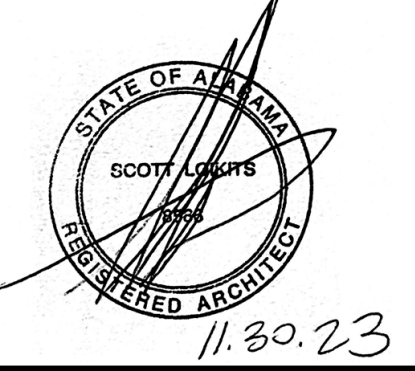
EXTERIOR FINISHES:

- ACM ACM (3MM THICKNESS) BY FMS
- BRICK THIN BRICK BY FMS
- MTL 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) BY FMS

EXTERIOR PAINT/COLORS:

- C-1 THIN BRICK VENEER - LIGHT SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURAMA MAX PREBLENDED GREY COLOR GROUT BY FMS
- C-2 THIN BRICK VENEER - IVORY BLEND VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURAMA MAX PREBLENDED GREY COLOR GROUT BY FMS
- C-3 DORMER BROWN SW #7521 BY FMS
- C-4 REYNOBOND #4 NATURAL BRUSHED ALUMINUM BY ARCONIC BY FMS
- C-5 OPEN BY FMS
- C-6 PROGRAM RED BY ALPOLIC BY FMS
- C-7 CLEAR ANODIZED ALUMINUM STOREFRONT BY FMS

PROFESSIONAL SEAL



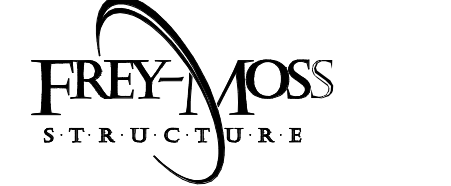
PROFESSIONAL IN CHARGE

SCOTT LOKITS
PROJECT MANAGER
RASHMIKA PATEL
QUALITY CONTROL
CHRIS CERBO
DRAWN BY
CAROLINA CARRASCO

PROJECT NAME



MURPHY OIL CONVENIENCE STORE
900 GOVERNMENT STREET,
MOBILE,
ALABAMA 36604



1801 Rockdale Industrial Blvd.
Conyers, Georgia 30012
Voice: (800) 366-6385
Fax: (770) 483-6037
FMS JOB NUMBER
G23MU00112
FMS MODEL NUMBER
XXXXXX

PROJECT NUMBER
20230491.5

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

E2

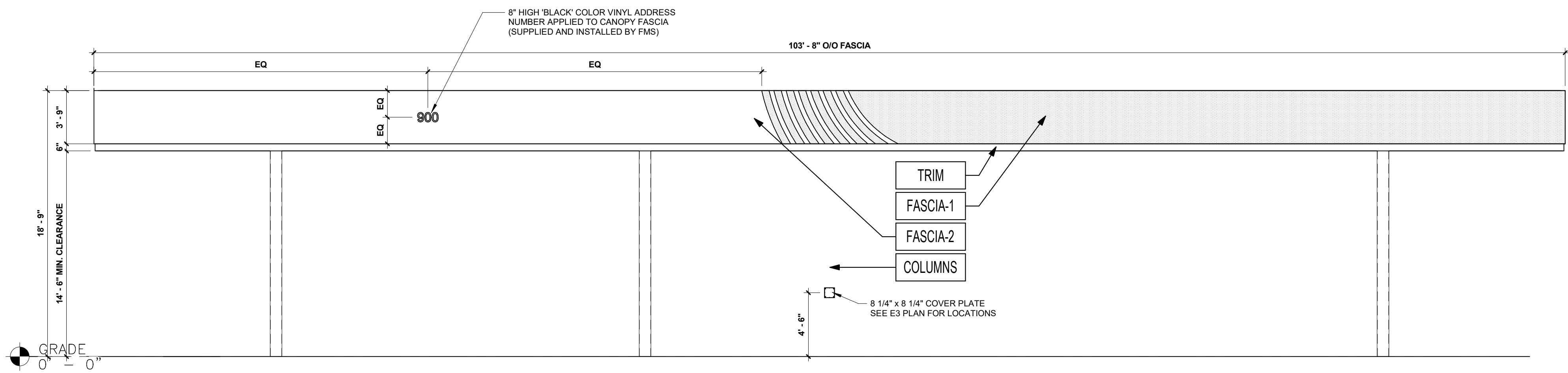
PROTO V3.2 09/08/2023
2800 SQ. FT. BUILDING



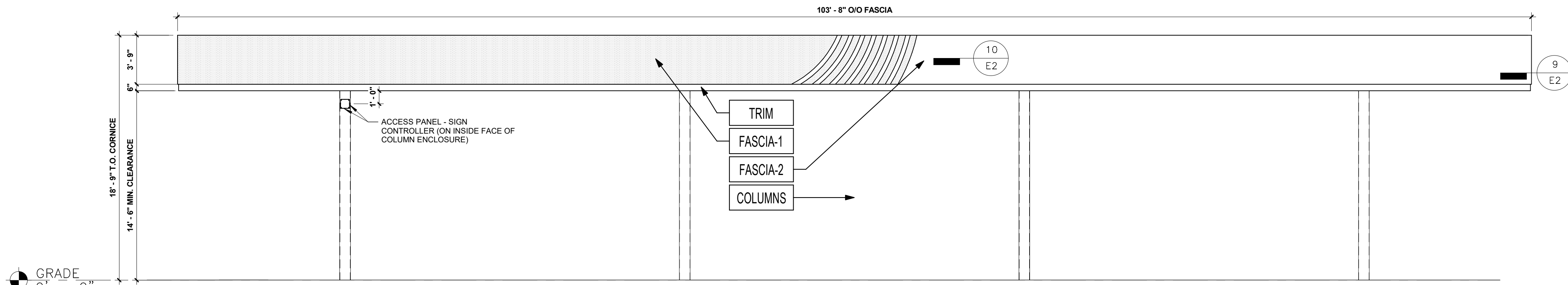
www.greenbergfarrow.com
 251 West 30th Street
 10th Floor
 New York, New York 10001
 t: 917.689.2729

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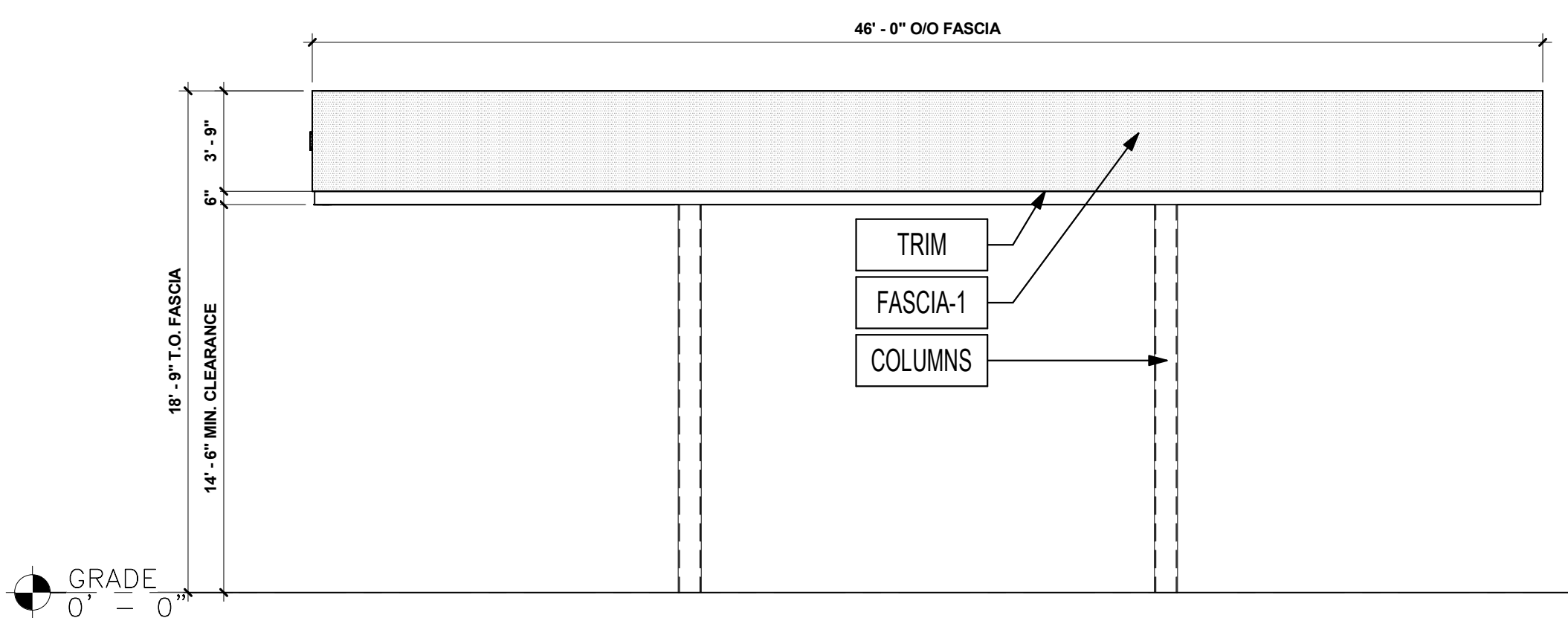
ISSUE RECORD	
DATE	REV. DESCRIPTION
11/20/2023	PERMIT SUBMISSION SET



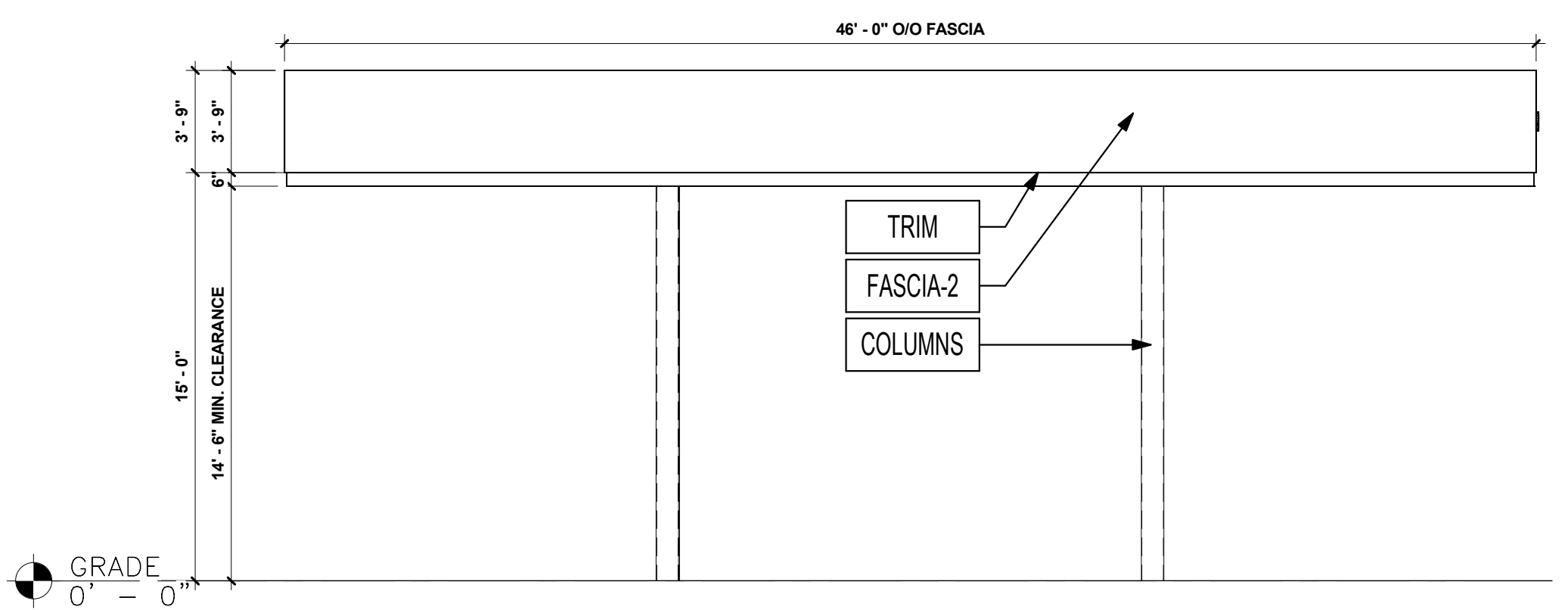
1 FRONT ELEVATION (NORTH)
 3/16" = 1'-0"



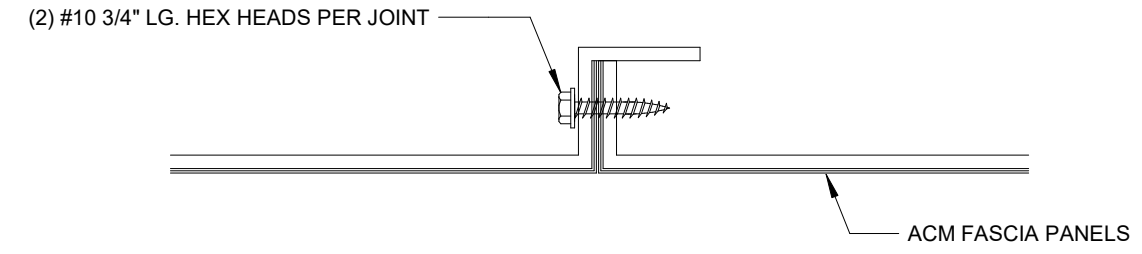
2 REAR ELEVATION (SOUTH)
 3/16" = 1'-0"



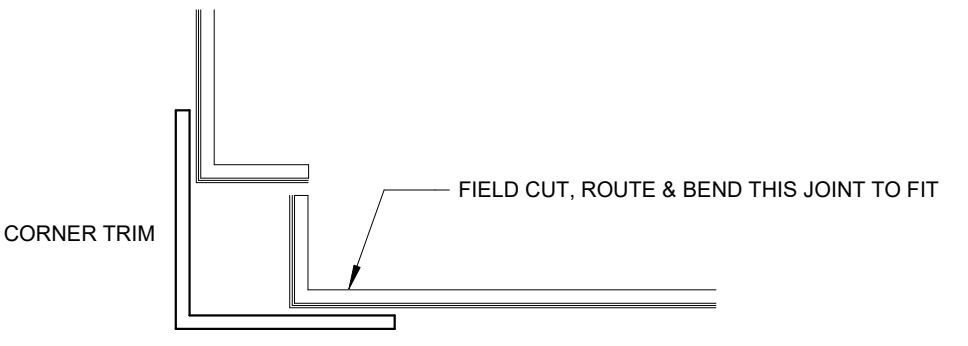
3 RIGHT ELEVATION (EAST)
 3/16" = 1'-0"



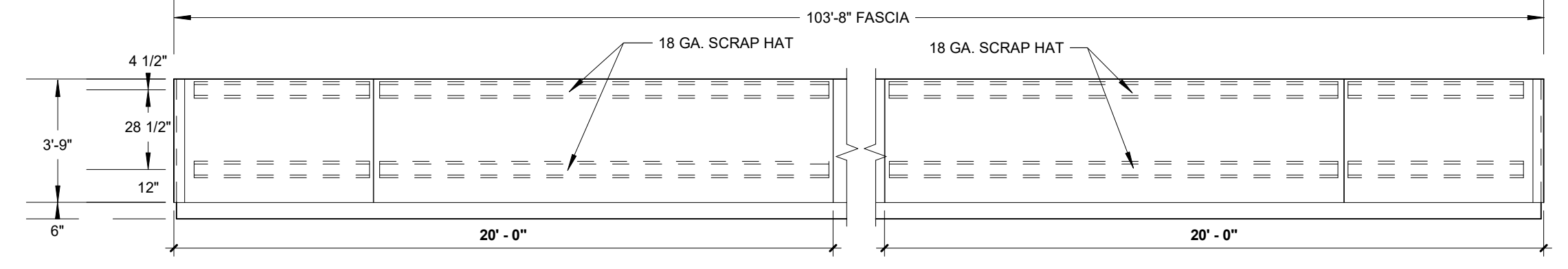
4 LEFT ELEVATION (WEST)
 3/16" = 1'-0"



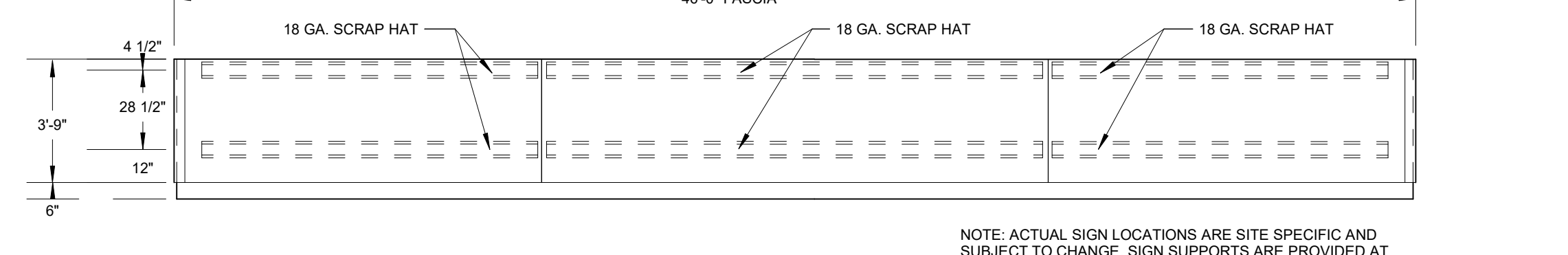
10 ACM SEAM DETAIL
 1/2" = 1'-0"



6 CORNER TRIM DETAIL
 1/2" = 1'-0"

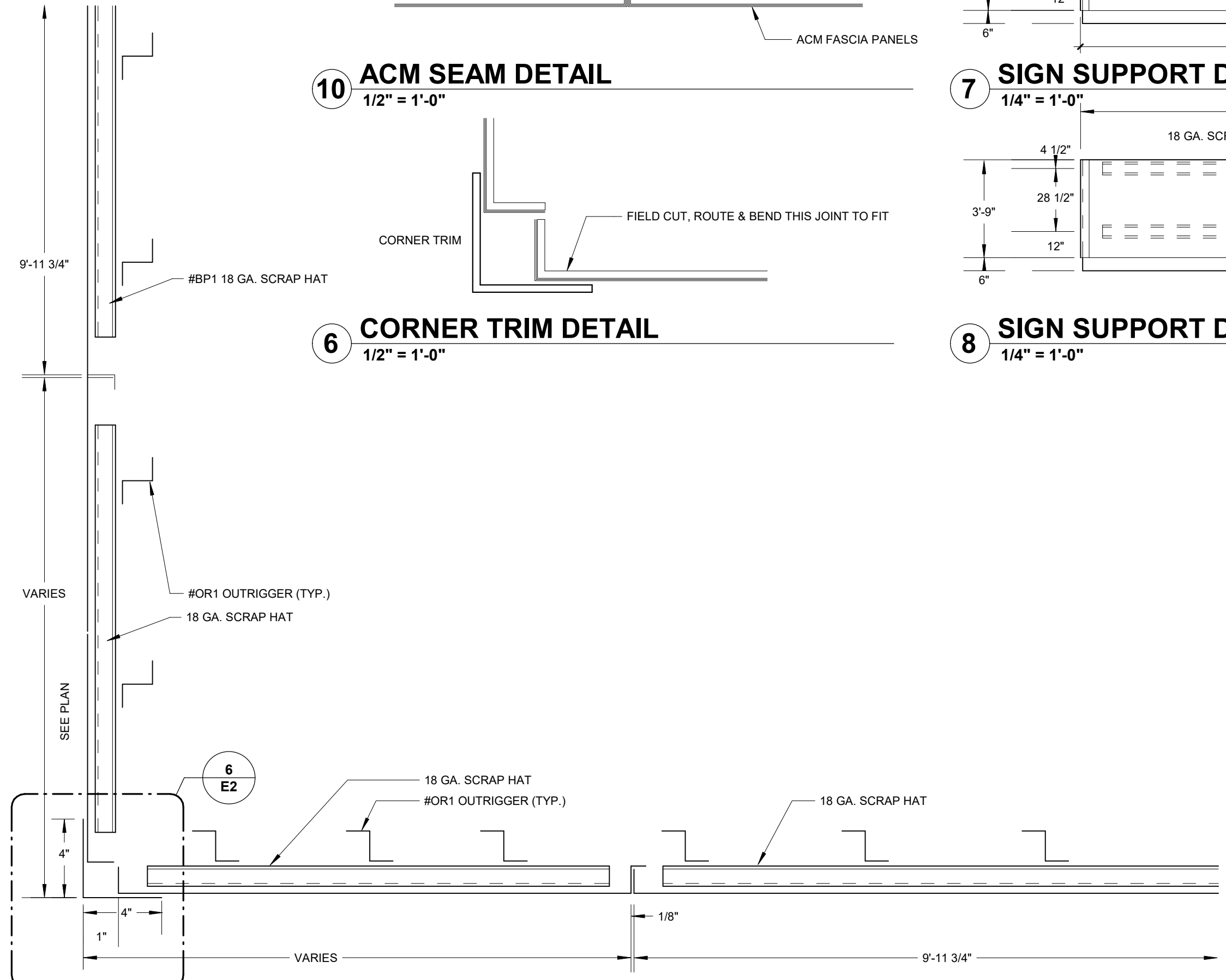


7 SIGN SUPPORT DETAIL - ELEVATIONS 1 & 2
 1/4" = 1'-0"



8 SIGN SUPPORT DETAIL - ELEVATIONS 3 & 4
 1/4" = 1'-0"

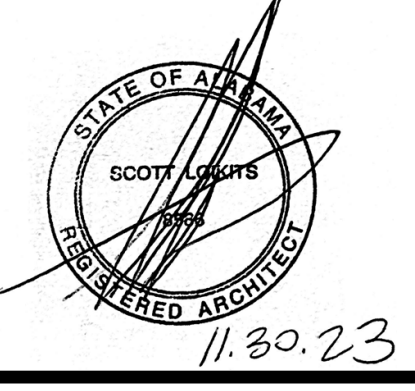
NOTE: ACTUAL SIGN LOCATIONS ARE SITE SPECIFIC AND SUBJECT TO CHANGE. SIGN SUPPORTS ARE PROVIDED AT EACH CORNER



9 SECTION 'E' - CORNER FASCIA DETAIL (TYP.)
 1/4" = 1'-0"

FINISH SCHEDULE		
FASCIA-1	ACM (ALUMINUM COMPOSITE MATERIAL)	ACM FASCIA "PROGRAM RED" BY ALPOLIC FURNISHED & INSTALLED BY FMS
FASCIA-2	ACM (ALUMINUM COMPOSITE MATERIAL)	ACM FASCIA "BRUSHED ALUMINUM" FURNISHED & INSTALLED BY FMS
TRIM	20 GA. SHEET METAL	6" HT PRE-FINISHED METAL ACCENT BAND "PURE WHITE" SW #7005 FURNISHED & INSTALLED BY FMS
COLUMNS	SEE STRUCTURAL DRAWINGS	(1) SHOP COAT OF RUST INHIBITIVE PRIMER PAINTED 'DROMER BROWN' SW #7521 FURNISHED & INSTALLED BY FMS (1) SHOP COAT OF RUST INHIBITIVE PAINT FURNISHED & INSTALLED BY FMS. PAINTED BY SITE CONTRACTOR IN FIELD

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE

SCOTT LOINITZ
 PROJECT MANAGER
 RASHMIKA PATEL
 QUALITY CONTROL
 CHRIS CERBO
 DRAWN BY
 CAROLINA CARRASCO

PROJECT NAME



MURPHY OIL FUEL FACILITY CANOPY
 900 GOVERNMENT STREET,
 MOBILE,
 ALABAMA 36604



1801 Rockdale Industrial Blvd.
 Conyers, Georgia 30012
 Voice: (800) 366-6385
 Fax: (770) 483-6037
 FMS JOB NUMBER
 G23MU00113
 FMS MODEL NUMBER
 XXXXXX

PROJECT NUMBER
 20230491.5

SHEET TITLE

ELEVATIONS

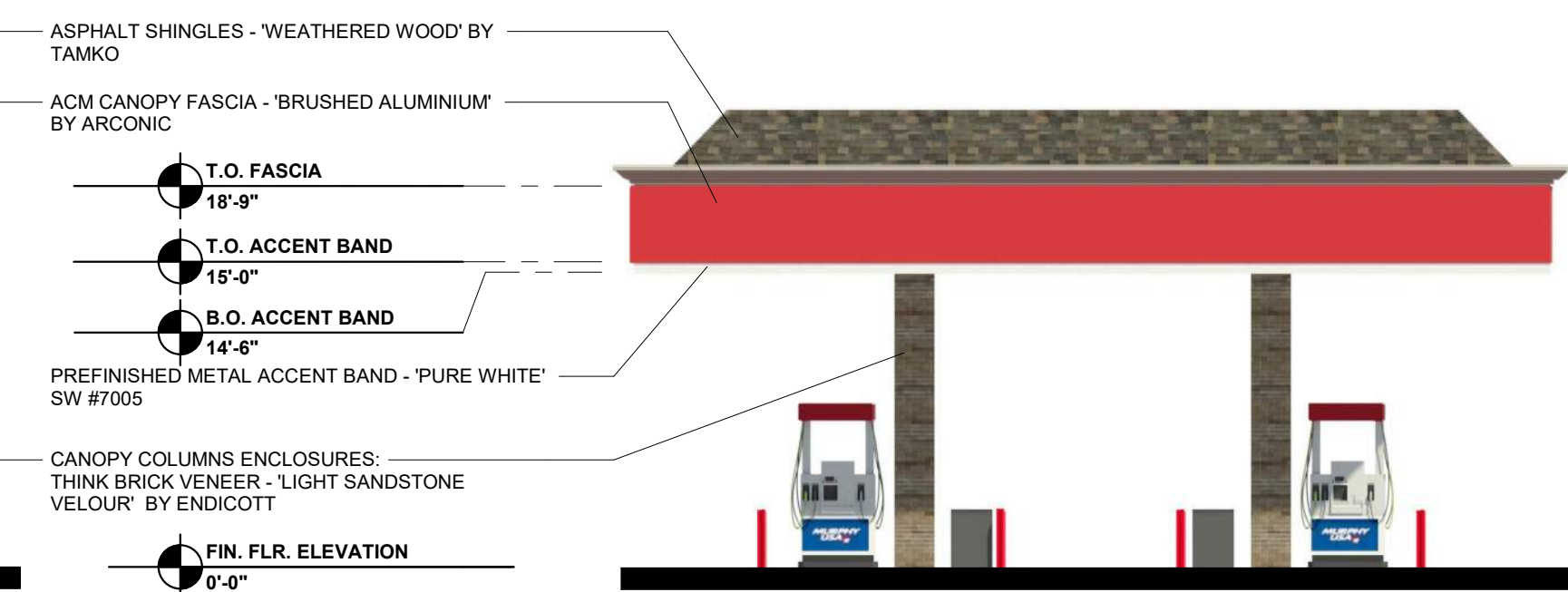
SHEET NUMBER

E2

PROTO V6.1 03/01/2023



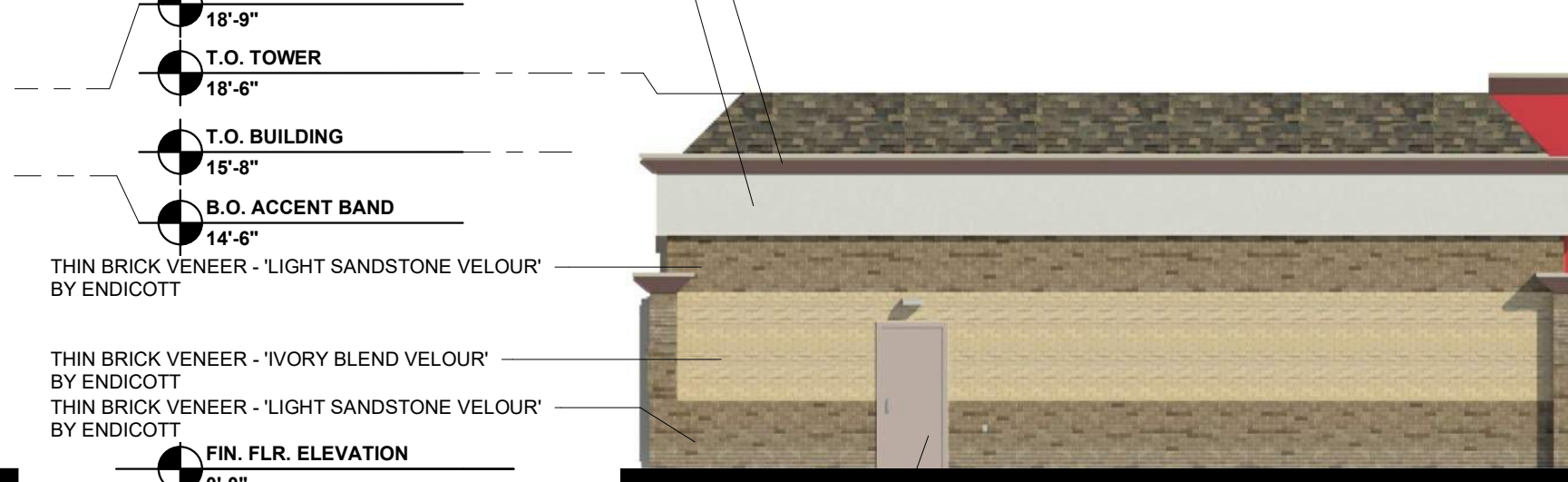
1 ELEVATION - FRONT (NORTH) US-90



2 ELEVATION - RIGHT (EAST) S BOARD ST



3 ELEVATION - REAR (SOUTH) CONT ST



4 ELEVATION - LEFT (WEST)



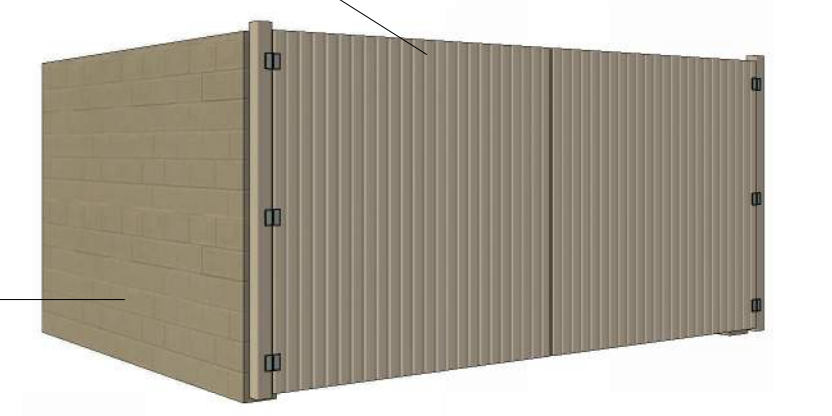
5 ELEVATION - FRONT BUILDING ONLY (NORTH) US-90



SIGNAGE COLOR CHART

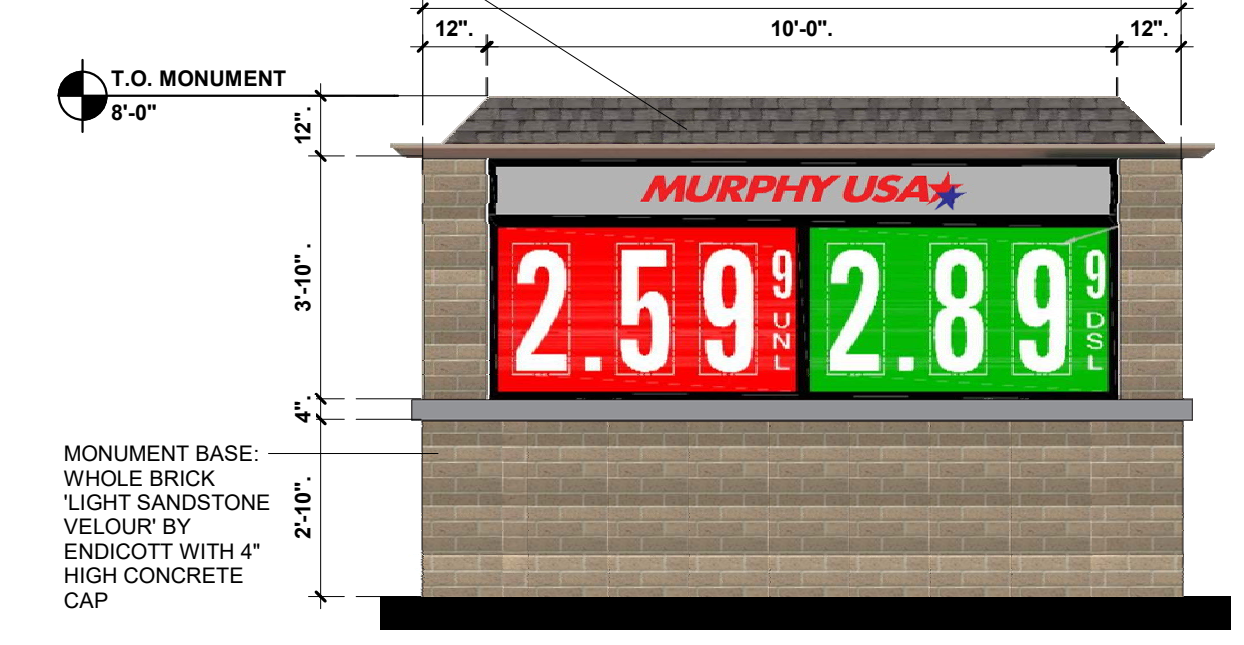
BUILDING - ROUTED SIGNS FURNISHED AND INSTALLED BY FMS			
MURPHY USA STAR LOGO	BLUE	EASTMAN BLUE, PANTONE 287 BLUE 3M 3630-87 ROYAL BLUE	
	RED	PROGRAM RED, PANTONE 485 RED 3M 3630-43 RED	
	WHITE	EASTMAN WHITE	
BUILDING - CHANNEL LETTER SIGNS FURNISHED AND INSTALLED BY THE SIGN VENDOR			
MURPHY USA STAR LOGO	BLUE	ORACAL 8500 - 005 MIDDLE BLUE	
	RED	ORACAL 8500 - 031 RED	
	RETURNS	WHITE	
	TRIMCAP	WHITE JEWELITE	
CANOPY - ROUTED SIGNS FURNISHED AND INSTALLED BY FMS			
MURPHY USA STAR LOGO	BLUE	EASTMAN BLUE, PANTONE 287 BLUE 3M 3630-87 ROYAL BLUE	
	RED	PROGRAM RED, PANTONE 485 RED 3M 3630-43 RED	
	WHITE	EASTMAN WHITE	
CANOPY - CHANNEL LETTER SIGNS FURNISHED AND INSTALLED BY THE SIGN VENDOR			
MURPHY USA STAR LOGO	BLUE	ORACAL 8500 - 005 MIDDLE BLUE	
	RED	ORACAL 8500 - 031 RED	
	RETURNS	WHITE	
	TRIMCAP	WHITE JEWELITE	
CANOPY - PRICE SIGNS FURNISHED AND INSTALLED BY THE SIGN VENDOR			
UNLEADED	RED	3M 3632-73	
	WHITE	3M 3632-20	
	DIGIT	RED/WHITE	
DIESEL	GREEN	3M 3632-26	
	WHITE	3M 3632-20	
	DIGIT	GREEN/WHITE	
ETHANOL FREE	BLACK	3M 3632-22	
	BLUE	3M 3632-157	
	WHITE	3M 3632-20	
	DIGIT	BLUE/WHITE	
	CABINET	BLACK	
MONUMENT & PYLON - PRICE SIGNS FURNISHED AND INSTALLED BY THE SIGN VENDOR			
MURPHY USA STAR LOGO	BLUE	3M 3632-157	
	RED	3M 3632-43	
	SILVER	3M 3630-121	
UNLEADED	RED	3M 3632-73	
	WHITE	3M 3632-20	
	DIGIT	RED/WHITE	
DIESEL	GREEN	3M 3632-26	
	WHITE	3M 3632-20	
	DIGIT	GREEN/WHITE	
ETHANOL FREE	BLACK	3M 3632-22	
	BLUE	3M 3632-157	
	WHITE	3M 3632-20	
	DIGIT	BLUE/WHITE	
	CABINET	BLACK	

COMPOSITE FENCE GATE BY 'ULTRADECK', 'FIBERON', 'VERANDA' OR APPROVED EQUAL. SUPPLIED AND INSTALLED BY GC. GATE PLANKS COLOR TO BE INTEGRAL AND NOT PAINTED. COLOR TO MATCH 'DORMER BROWN' SW #7521



6 TRASH ENCLOSURE

ASPHALT SHINGLES 'WEATHERED WOOD' BY TAMKO

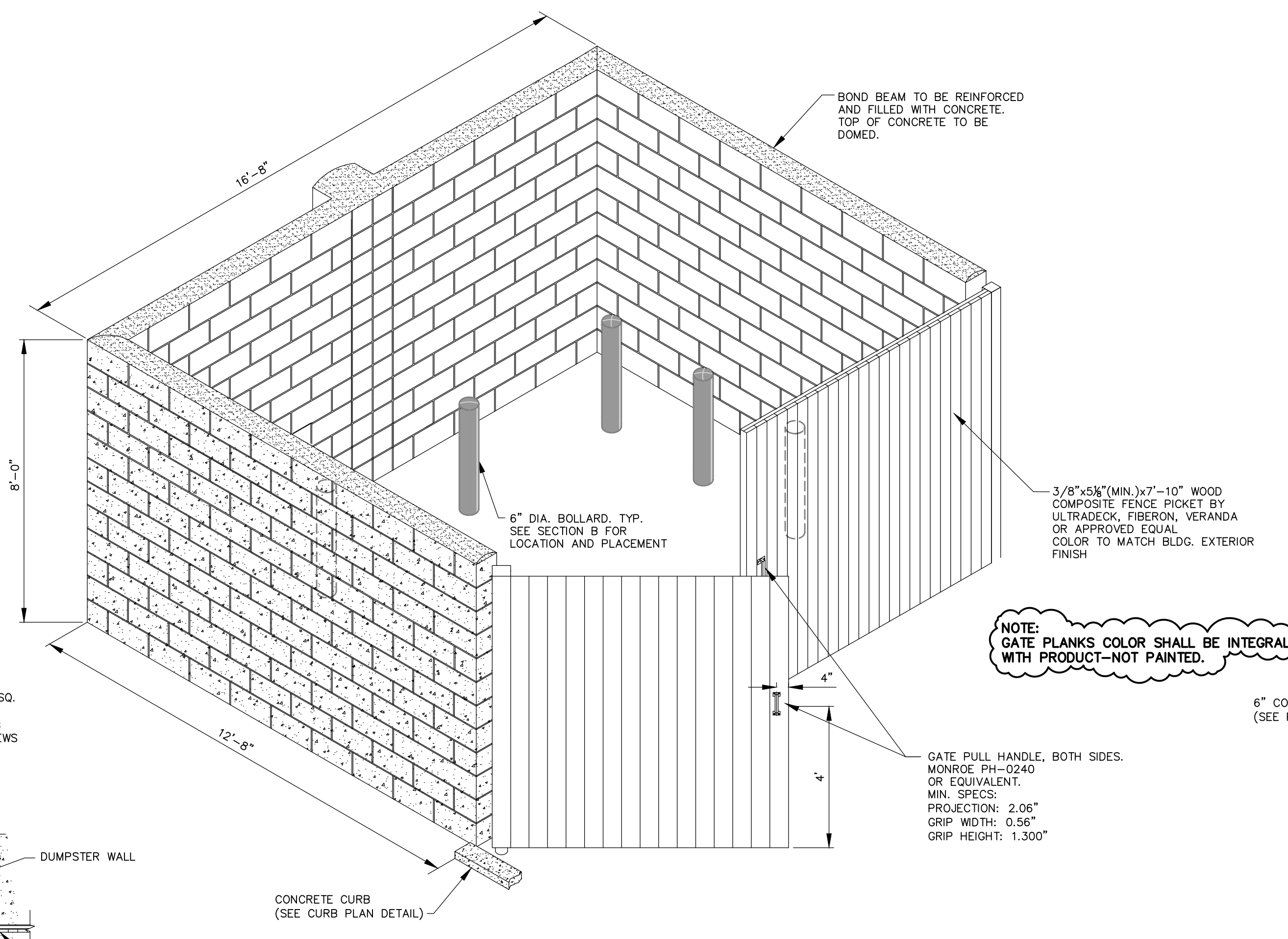
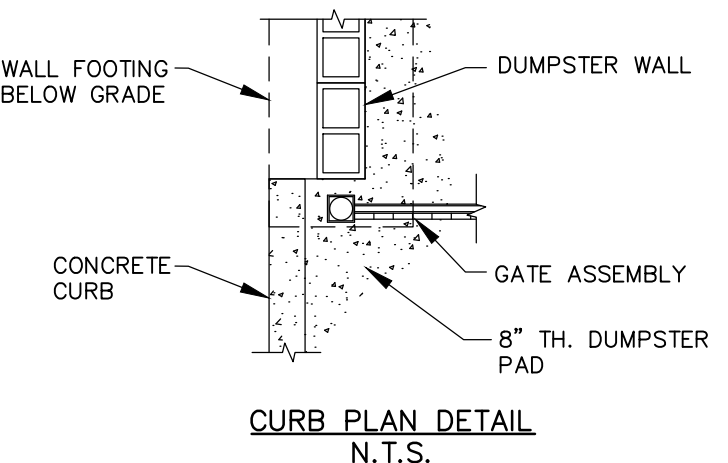
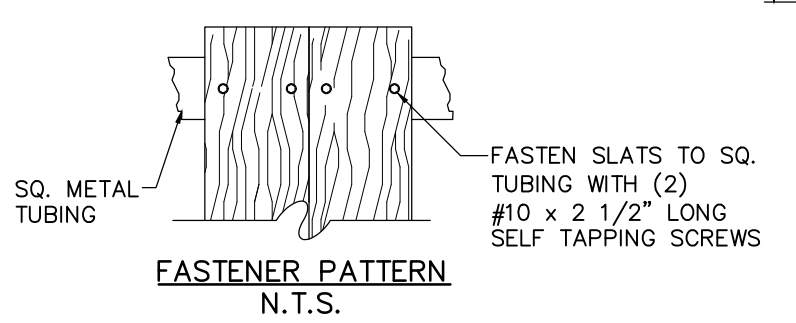
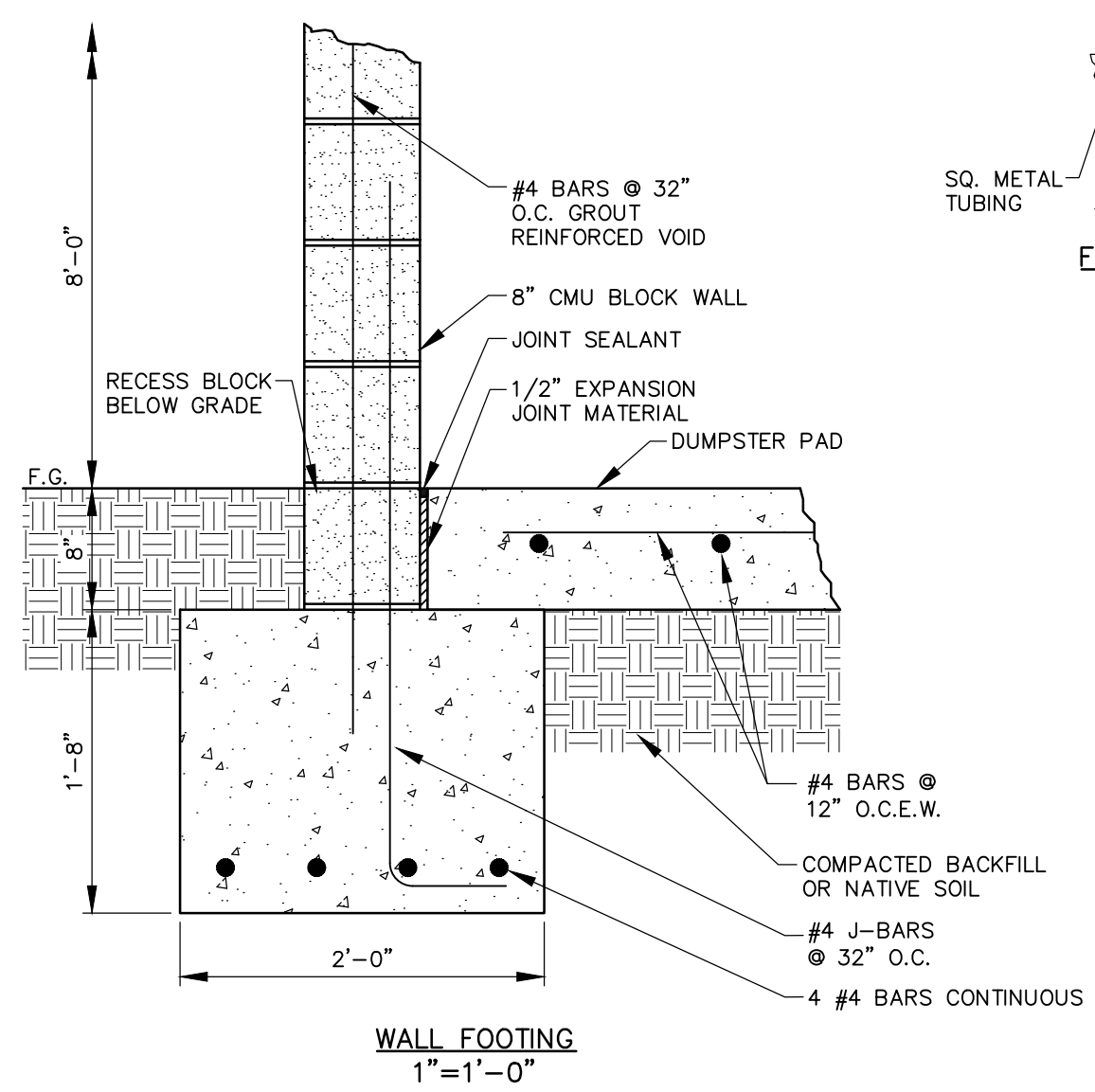
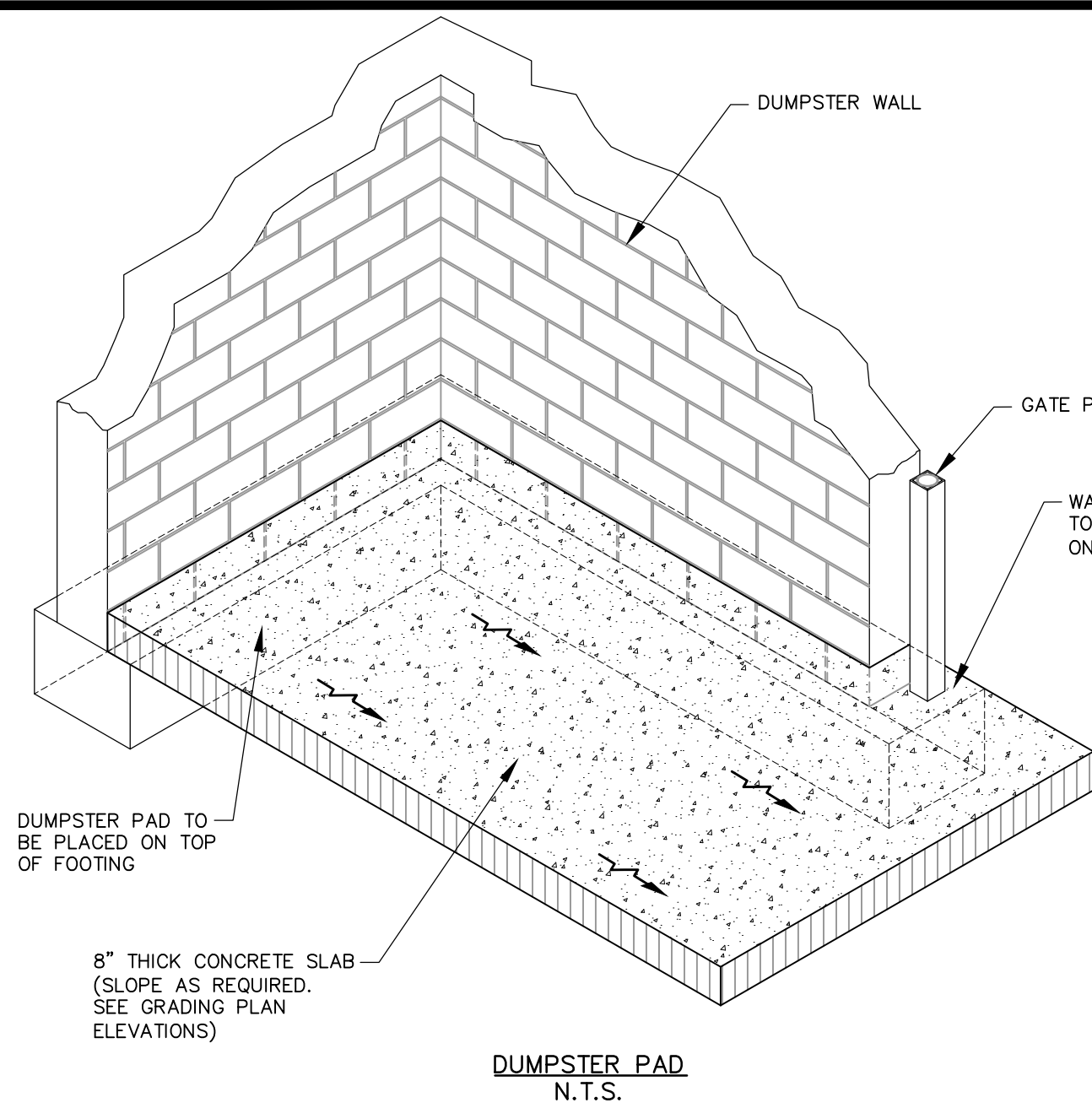


7 MONUMENT SIGN

BUILDING & CANOPY SIGNS:	QTY.	HEIGHT	WIDTH	AREA S.F.	TOTAL S.F.
MURPHY USA BLDG. LOGO SIGN	1		GRAPHIC AREA	47.9	47.9
BUILDING & CANOPY SIGNS TOTAL SIGNAGE :					47.9 S.F.
MONUMENT SIGN:					
UNL / DSL W/LOGO	1	46"	120"	38.33	38.33
MONUMENT SIGNS TOTAL SIGNAGE :					38.33 S.F.
TOTAL SIGN AREA :					86.23 S.F.

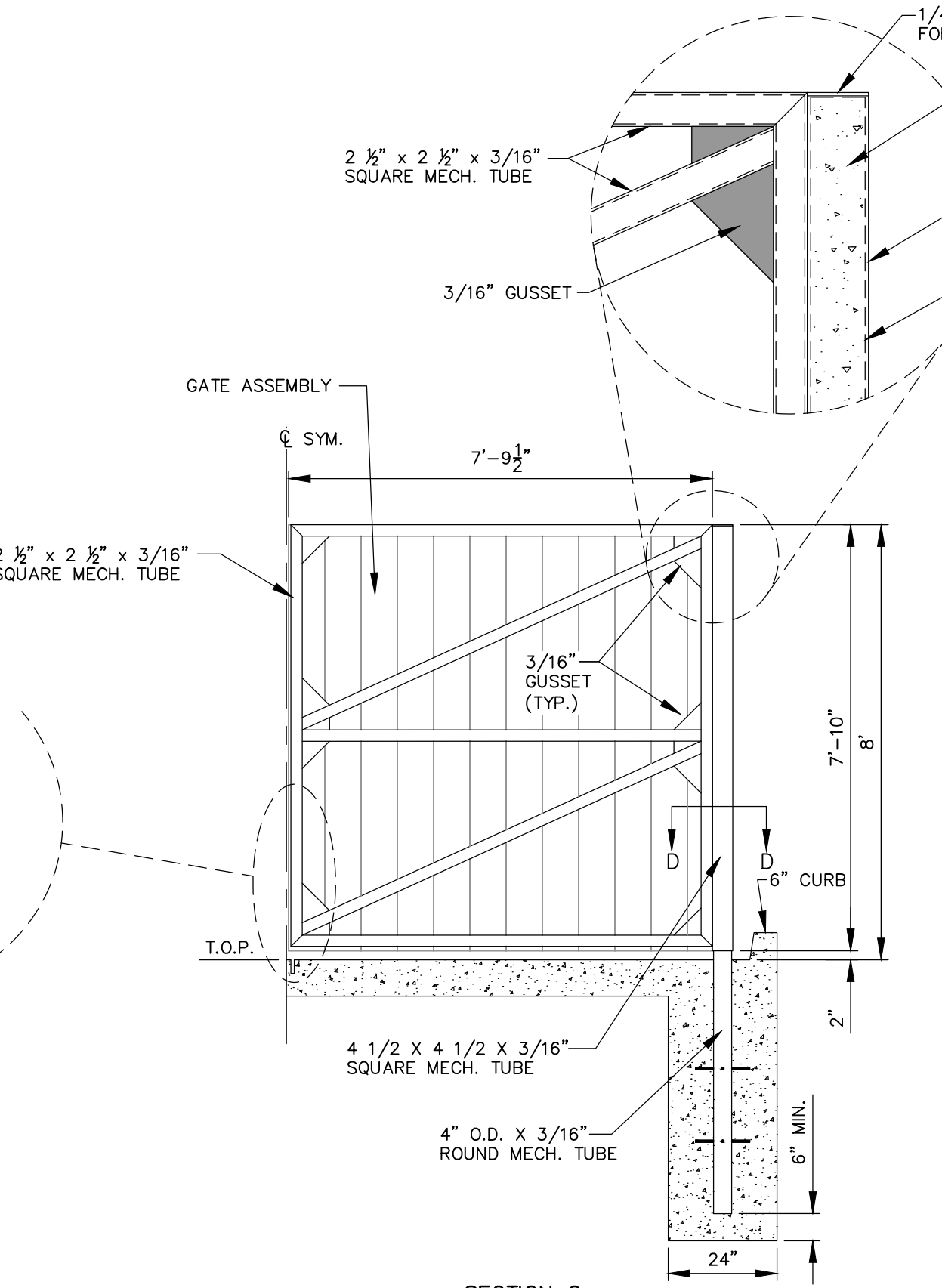
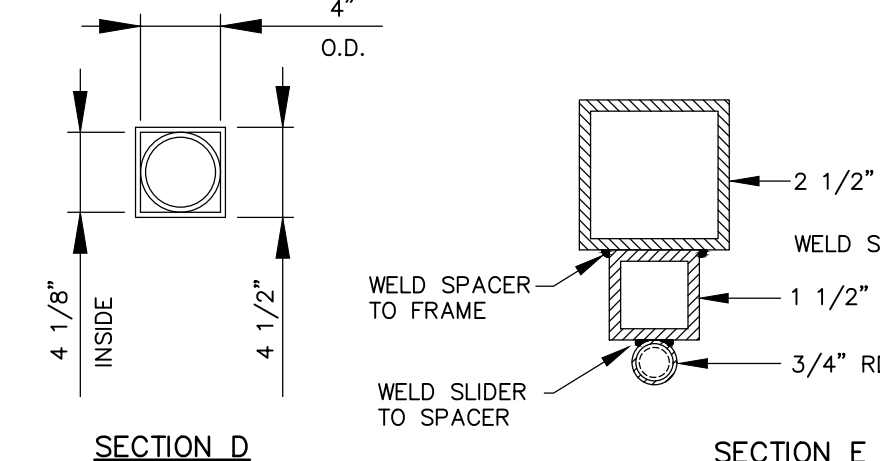
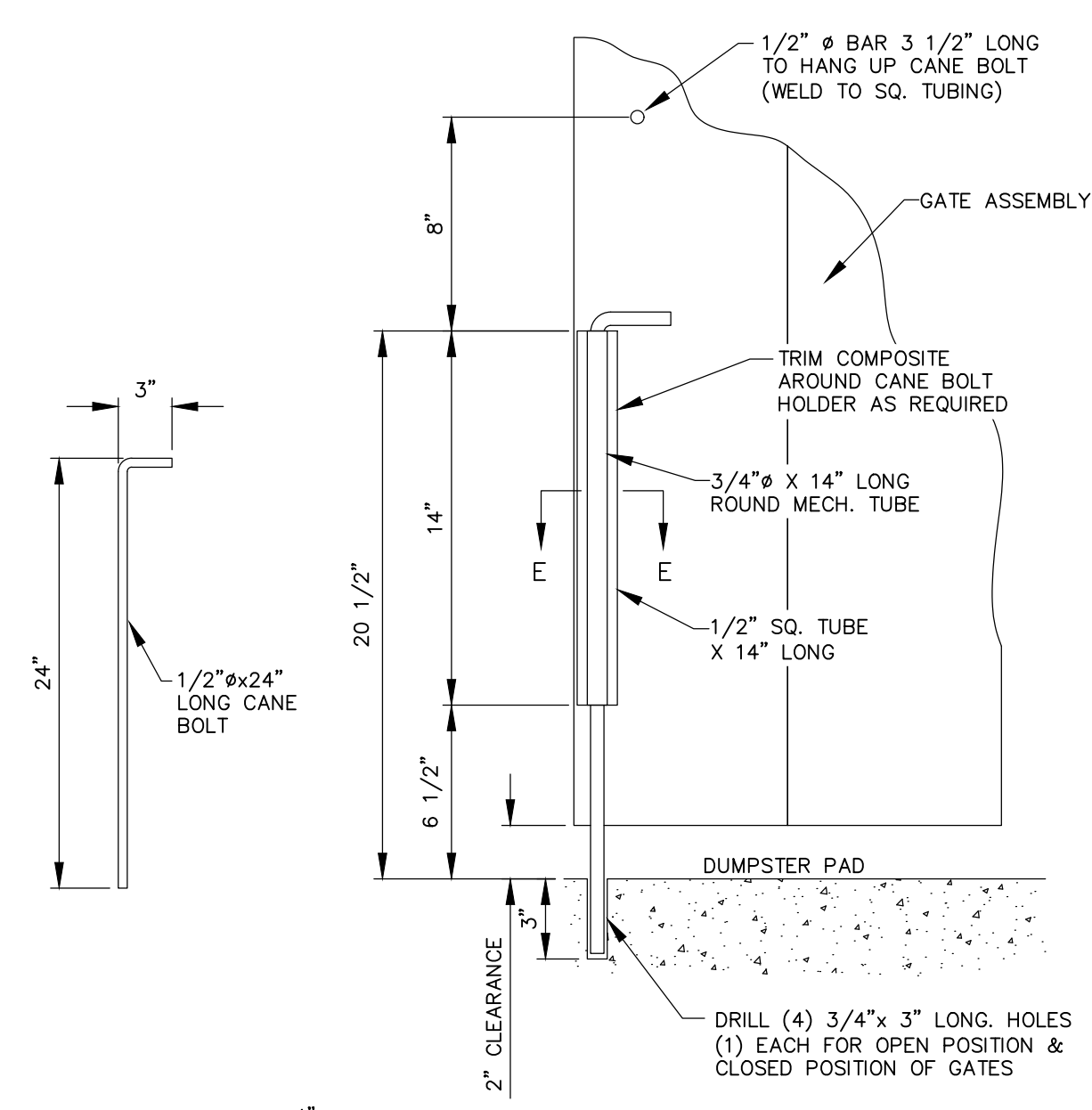
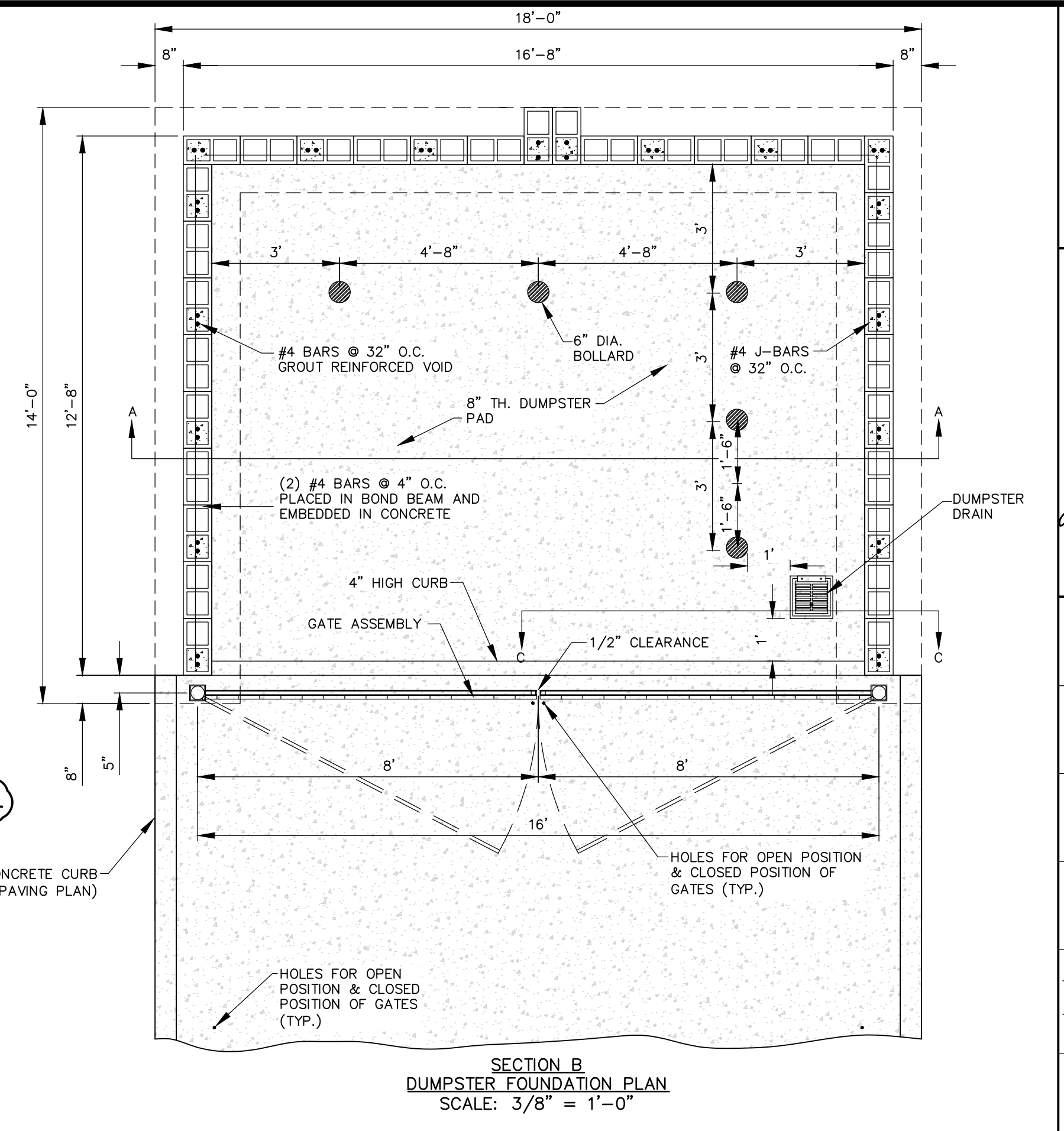


MOBILE, AL (900 GOVERNMENT STREET) R03
MURPHY #7944
JANUARY 30, 2024



MASONRY CMU BLOCK 8"x8"x16" - DUMPSTER ENCLOSURE
DESIGN WIND SPEED: 130 M.P.H.

DUMPSTER TO BE:
• 8" HT. SMOOTH FACE CMU BLOCK WALL. COLOR TO MATCH BUILDING EXTERIOR FINISH
• ENDURAMAX PRE-BLENDED MORTAR (GROUT), COLOR "GRAY"

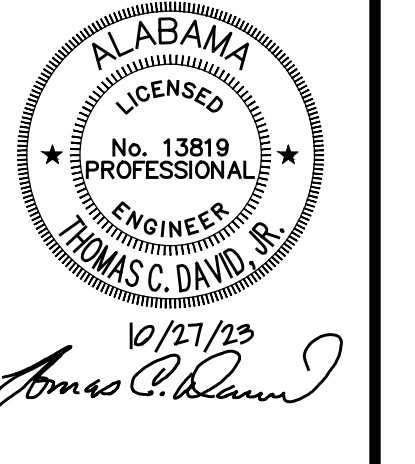


FINISH OF FRAMING (ALL EXPOSED METAL SURFACES) - UPON PREPARATION AND CLEANING PER PAINT MANUFACTURER'S RECOMMENDATIONS, CONTRACTOR SHALL UTILIZE THE FOLLOWING COATINGS:
1. PRIMER COAT - CPS-26 ZINC CHROMATE PRIMER (3 TO 4 MILS DFT)
2. FINISH COAT - 100 SERIES INDUSTRIAL ALKYL ENAMEL W/ HARDNER ADDITIVE (3 TO 5 MILS DFT) - COLOR - BLACK

DUMPSTER GATE ELEVATION
SCALE: 3/8" = 1'-0"

CMU DUMPSTER ENCLOSURE (COMPOSITE GATES) 2E

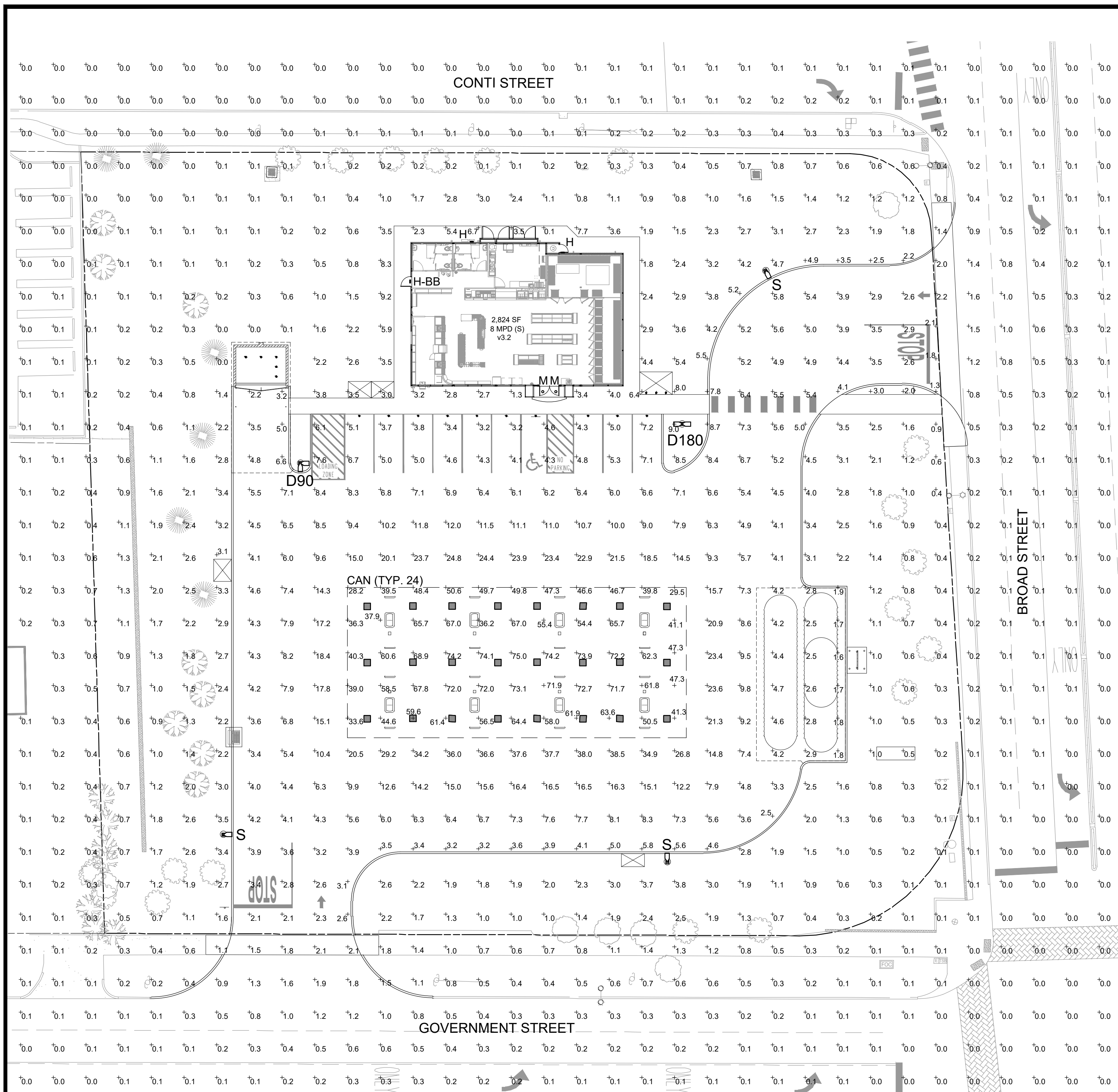
SHEET NO. C-13



DUMPSTER DETAILS
MURPHY USA (NTJ)
900 GOVERNMENT STREET
MOBILE ALABAMA

PAN AMERICAN ENGINEERS, LLC
1717 JACKSON STREET
ALEXANDRIA, LA. 71301
CONTACT: WEBLEY MILLER

MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730
MURPHY USA



1 PHOTOMETRIC SITE PLAN
SCALE: 1"=20'-0"

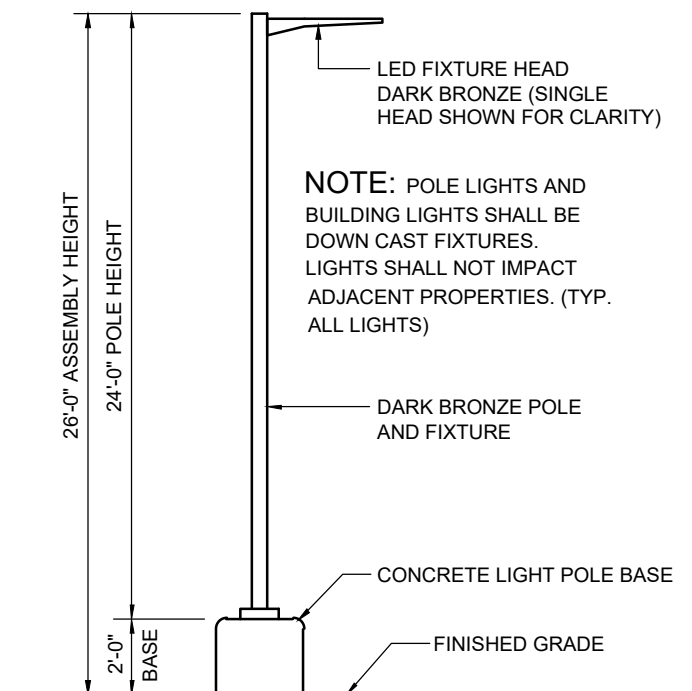
MOUNTING CONFIG	SYMBOL	QTY	ASSEMBLY HEIGHT	POLE HEIGHT	LUMENS	TOTAL WATTS	MODEL NUMBER	DESCRIPTION
S		3	26'-0"	24'-0"	18904	135	SLM-18L-SIL-FT-UNV-50-70-BRZ	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 5000K 70 CRI, SINGLE HEAD FLAT LENS FIXTURE, FORWARD THROW
D90		1	26'-0"	24'-0"	18904	270	SLM-18L-SIL-FT-UNV-50-70-BRZ	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 5000K 70 CRI, DOUBLE HEAD FLAT LENS FIXTURE, FORWARD THROW, SEE NOTE BELOW
D180		1	26'-0"	24'-0"	18904	135	SLM-18L-SIL-FT-UNV-50-70-BRZ	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 5000K 70 CRI, DOUBLE HEAD FLAT LENS FIXTURE, FORWARD THROW, SEE NOTE BELOW
CAN		24	15'-0"	N/A	19071	125	CRUS-SC-LED-HO-50-UE-WHT	LSI LIGHTING, LEGACY SERIES, HIGH OUTPUT DRIVER, FLAT LENS CANOPY FIXTURE
H-BB		2	8'-3"	N/A	4124	30	XWM 3 LED 04L 50 UE BRZ	LSI LIGHTING, MIRADA (XWM) WALL MOUNT LUMINAIRE, 5000K CCT, 4000 LUMEN PACKAGE, BRONZE COLOR, H-BB WITH BATTERY BACK-UP
M		2	8'-8"	N/A	2333	22	LC6LED25LUNVDM135VFT	LSI LIGHTING, LCD6 DOWN LIGHT LUMINAIRE, 3500K CCT, 2500 LUMENS, WIDE FLOOD HAZE SEMI-DIFFUSED WALL WASH REFLECTOR, WHITE OR EQUIVALENT

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET ALL ANCHOR BOLTS TO BE ORIENTED IN THE SAME DIRECTION (SQUARE) AT INSTALLATION PER MANUFACTURER'S SPECIFICATIONS. ALL PROPOSED FIXTURES ARE FULL CUT-OFF FIXTURES

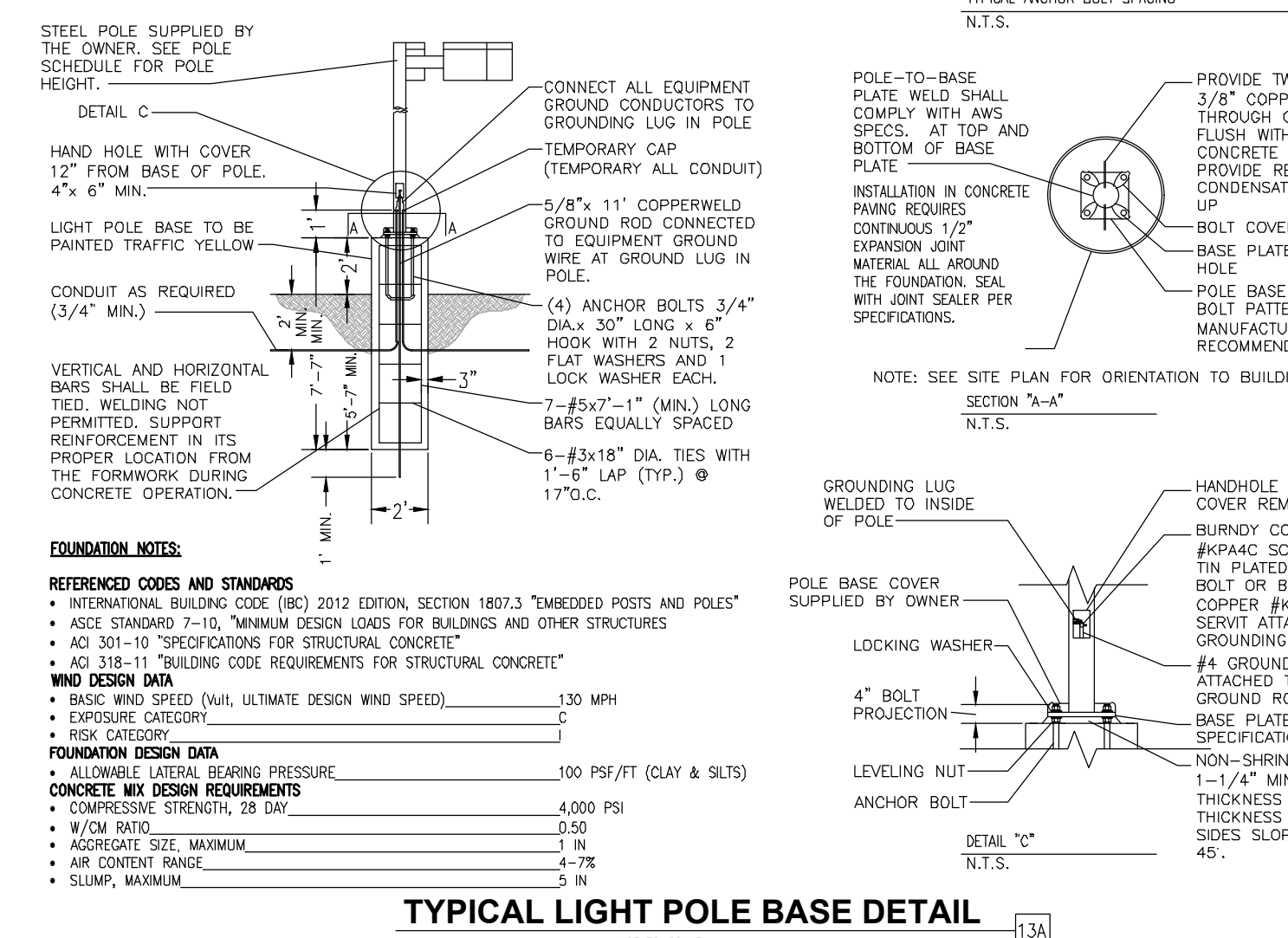
MOUNTING CONFIG	SYMBOL	QTY	POLE HEIGHT	MODEL NUMBER	DESCRIPTION
S		3	24'-0"	4SQB3-S11G-24-S-BRZ-4BC	LSI LIGHTING, STEEL SQUARE POLE, BOLT-ON ARM MOUNT, BRONZE
D90		1	24'-0"	4SQB3-S11G-24-D90-BRZ-4BC	LSI LIGHTING, STEEL SQUARE POLE, BOLT-ON ARM MOUNT, BRONZE
D180		1	24'-0"	4SQB3-S11G-24-D180-BRZ-4BC	LSI LIGHTING, STEEL SQUARE POLE, BOLT-ON ARM MOUNT, BRONZE

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET. POLES RATED TO 130 MPH WIND VELOCITY

CONTRACTOR TO ENSURE THE LIGHT POLE AND HANDICAP PARKING SIGN ARE AT LEAST 2' FROM THE BACK OF CURB TO PREVENT VEHICLES FROM STRIKING THE LIGHT POLE OR HANDICAP PARKING SIGN. PROPOSED LIGHT POLE BASES SHOWN AT A MINIMUM OF 2'-6" FROM BACK OF CURB TO CENTER OF POLE/BASE. ENGINEER TO VERIFY PROPOSED LOCATIONS FOR ANY CONFLICTS OR MISPLACEMENTS. REPORT TO LIGHTING DESIGNER ANY DISCREPANCIES OR CONFLICTS.



2 AREA LIGHT DETAIL
SCALE: NOT TO SCALE



TYPICAL LIGHT POLE BASE DETAIL
NOT TO SCALE

NOTES:
PLAN WAS BASED ON THE INFORMATION PROVIDED. ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.
THE CALCULATED PHOTOMETRIC LEVELS MAY OR MAY NOT MEET CERTAIN STANDARDS OR RECOMMENDED PRACTICES OF IESNA.
THE PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. LABORATORY TESTS ARE MADE UNDER OPTIMUM CONDITION, WITH LAMP OUTPUT AT RATED VALUE, AND IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS.
ACTUAL ILLUMINATION LEVELS MAY DIFFER DUE TO VARIABLE FIELD CONDITIONS SUCH AS (BUT NOT LIMITED TO): VARIANCE IN LAMP LUMEN OUTPUT; LAMP TILT FACTOR; BALLAST WATTAGE OUTPUT; LINE VOLTAGE AT BALLAST; REFLECTOR SPECULARITY; LAMP LUMEN DEPRECIATION; AND LUMINAIRE DIRT DEPRECIATION.
THE 26'-0" MOUNTING HEIGHT IS THE ACTUAL ASSEMBLY (POLE, BASE, AND FIXTURE) AND MAY DIFFER FROM THE FROM THE LUMINAIRE'S LUMINOUS APERTURE.
THIS PLAN IS FOR RELATIVE LAYOUT AND SCOPE OF WORK PURPOSES ONLY. REFER TO SITE PLAN PREPARED BY LOCAL CONSULTANT FOR RELATIONSHIP OF THESE LUMINAIRES AND THEIR LOCATIONS TO EXISTING STRUCTURES AND REFERENCE.

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Project: _____ Date: _____

Slice Medium (SLM) Outdoor LED Area Light

OVERVIEW

Lumen Package	8,000 - 48,000
Wattage Range	63 - 401
Efficacy Range (LPW)	112 - 156
Weight (lb/kg)	30 (13.6)

QUICK LINKS

Ordering Guide	Performance	Photometrics	Dimensions
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FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory pre-wired and optical unit. Cast aluminum wiring access door located underneath.
- Input power stays constant over life.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in distribution (typ. 2.5, 3.0, 3.5, 4.0, and 4.5).
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also available in phosphor converted amber with peak intensity at 610nm.
- Minimum CRI of 70
- Integral louver (IL) and house-side shield (HS) options available for improved backlight control without sacrificing street side performance. See page 3 for more details.

Optical System

- State-of-the-Art one-piece silicone optical sheet delivers industry leading optical control with an integrated gasket to provide IP65 rated seal.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in distribution (typ. 2.5, 3.0, 3.5, 4.0, and 4.5).
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also available in phosphor converted amber with peak intensity at 610nm.
- Minimum CRI of 70
- Integral louver (IL) and house-side shield (HS) options available for improved backlight control without sacrificing street side performance. See page 3 for more details.

Electrical

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (0% - 100%) standard.
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
- UL80 Calculated Life: >100k Hours (See Lumen Maintenance on Page 5)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L Lumen packages rated to +40°C.
- Power factor: >90
- Field replaceable 10KV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C82.41.2).
- High efficiency LEDs mounted to metal core circuit board to maximize heat dissipation
- Driver is fully encased in potting material for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed.

Installation

- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga wire.
- Utilizes LSI's traditional 83 drill pattern. (See drawing on page 9)

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsiindustries.com/resources/terms-and-warranty.aspx> for more information.

Controls

- Optional integral passive infrared (PIR) motion and photocell sensor. Fixtures operate independently and can be commissioned via iOS or Android configuration app.
- LSI's AirLink™ wireless control system (not included) reduces energy and maintenance costs while optimizing light quality 24/7.

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MANUFACTURER SPECIFICATION SHEET FOR SITE FIXTURES

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Project: _____ Date: _____

Scottsdale® Legacy (CRUS) LED Canopy Luminaire

OVERVIEW

Lumen Package	8,000 - 22,000
Wattage Range	38 - 152
Efficacy Range (LPW)	114 - 156
Weight (lb/kg)	23 (10.4)

QUICK LINKS

Ordering Guide	Performance	Photometrics	Dimensions
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FEATURES & SPECIFICATIONS

Construction

- Features a ultra-thin 1/8" profile die-cast housing, with flat clear or diffused tempered glass lens. Unit is water-resistant, sealed and IP65 rated. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.
- Standard color is white and is finished with LSI's DuraGrip® polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.
- Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal failure and failure.

Optical System

- Features an array of select, mid-power, high brightness, high efficiency LED, 3000K, 4000K, 5000K color temperatures. 0-10 V dimming (optional) provides a wider distribution pattern. Optional symmetric with diffused lens also available.
- Forward Throw distribution provides an industry leading unique distribution pattern that illuminates the area under the gas canopy and beyond. The forward throw optic directs the light to the forefront from the gas canopy eliminating the need for supplemental floodlights and extensive perimeter lighting.
- Diffuse lens available as an option to soften brightness of the luminaire.
- LSI Lumen packages: 8,000, 10,000, 13,000, 18,000 and 22,000 Lumens.

Electrical

- High performance factory programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection with integral 6kV surge protection that meets IEEE C62.41.2 and ANSI C62.77-5 Location Category C Low standards. Additional field replaceable 10kv surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C82.41.2).
- Custom lumen and wattage packages available.
- Driver components are fully encased in potting for moisture resistance. Complies with IEC and FCC standards. 0-10 V dimming (optional) standard with all drive currents.
- Die-cast aluminum, wet location rated driver/electrical enclosure is elevated above canopy deck to prevent water entry. 4000K, 5000K color temperatures. 80 CRI (nominal).
- Universal voltage power supply, 120-277 VAC, 50/60 Hz and 347-480 VAC, 50/60 Hz input.
- 40°C to 55°C (-40°F to 131°F) ambient operating temperature. (Varies based on lumen package and mounting style see performance data for specifics.)
- Minimum 60,000 to 100,000 hour depending upon the ambient temperature of the installation location (see performance data for specifics.)

Hazardous Location

- Designed for lighter than air fuel applications. Product is suitable for Class 1 Divisions 2 only when properly installed per LSI installation instructions. See lsi.com for specific guidance. Not available on SLW.

Installation

- One-person installation.
- Install in a 3" or 18" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale (4") hole as well as openings for Encore and Encore Top Access and to reconnect wiring for the SC/ECTA without having to relocate the conduit.
- Retro panels are available for existing Encore as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

Warranty

- LSI LED fixtures carry a 5-year warranty (contractor liability for labor). See lsi.com for extended warranty options.

Listings

- UL and ETL listed to UL 1598, UL 8750 and other UL and international safety standards. Suitable for wet locations.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DLC to confirm which versions are qualified.
- Meets Buy American Act requirements.
- IDA compliant with 3000K or lower color temperature.

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MANUFACTURER SPECIFICATION SHEET FOR CANOPY FIXTURE

	DESIGNER	DATE							
	BY								
	REVISION								
No.									

5000 Greenwood Plaza Blvd. Suite 200
Greenwood Village, CO 80111
303.770.8884
GallowayUSA.com

MURPHY USA
MOBILE, ALABAMA
900 Government Street

Project No: MOC9994
Sheet Scale: 1"=20'-0"

Date: November, 2023
Disk File: Photometric-Mobile, AL (Broad) #7344

PHOTOMETRIC SITE PLAN

L-1.0



LSI Industries XWM Mirada LED Wall Sconce Variable Output with Optional Controls

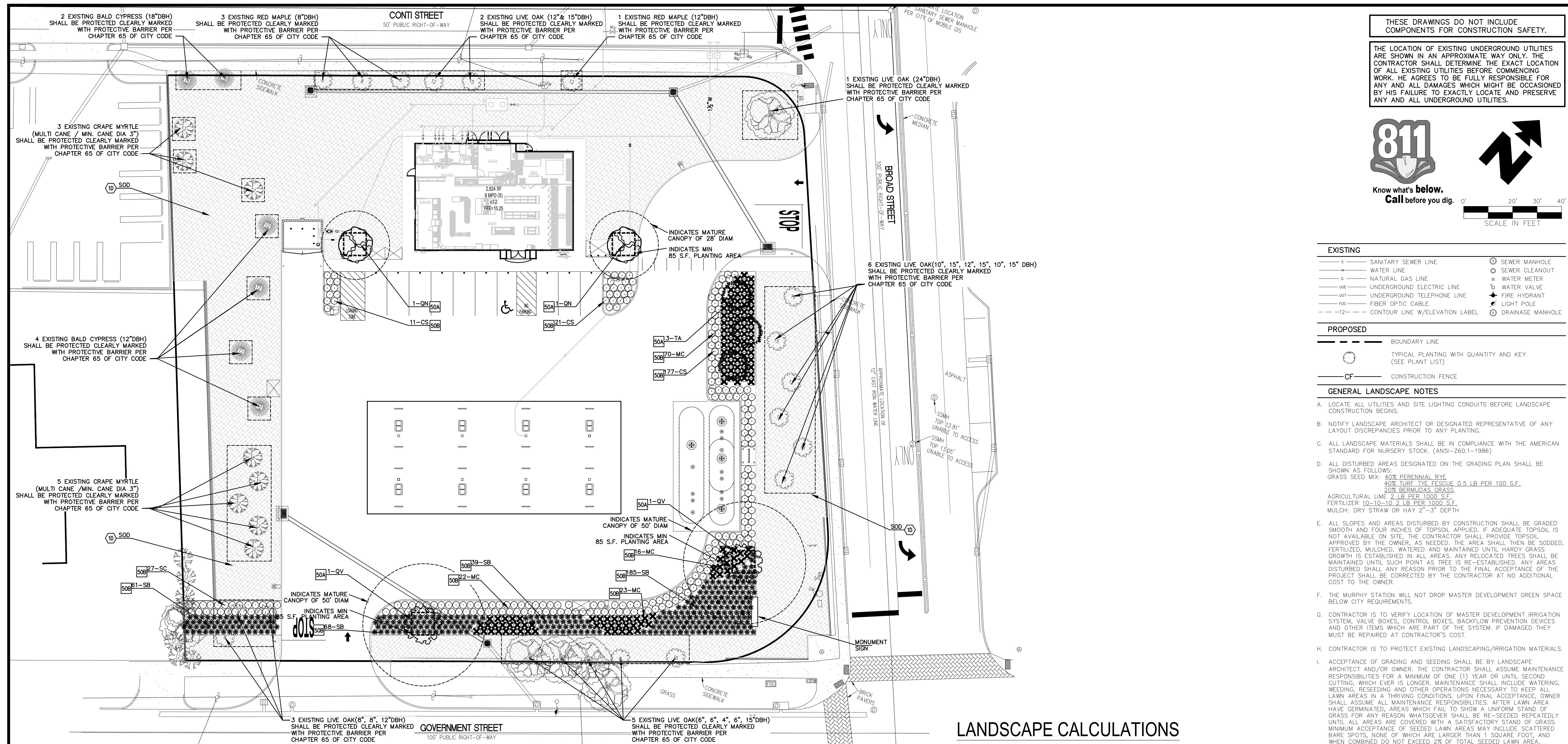


Be the first to review this product

LSI Industries XWM Mirada LED Wall Sconce with Optional Controls

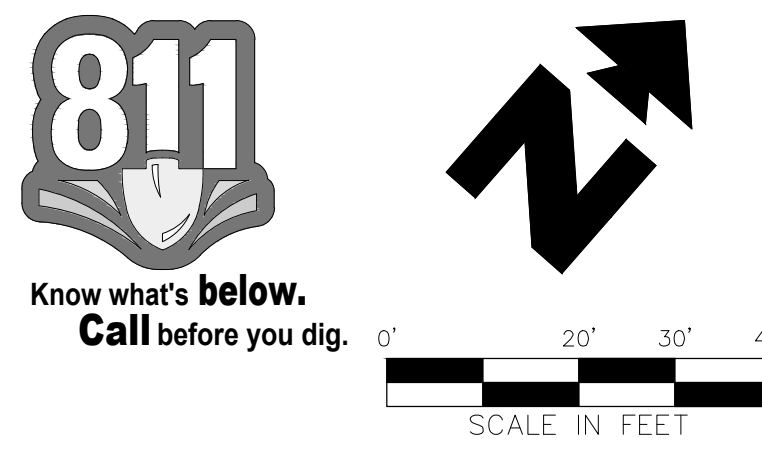
The Mirada Wall Sconce's sleek design makes it perfectly-suited for architectural applications, while its cost-effective die-cast aluminum housing makes its acquisition cost very competitive. The Mirada Wall Sconce uses high performance silicone optics, 8,600+ lumens and is available with integral and wireless controls. US & Int'l. patents pending.

- Industry-leading photometry through LSI's exclusive new molded silicone optical system
- Contemporary, sleek, low-profile styling
- Optional Integral Bluetooth™ Motion and Photocell Sensor
- US & Int'l. patents pending
- 5-year Warranty
- Mirada Series also includes area lights Mirada MRM and MRL, post top MPH and MPP and bollard MRB



THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



EXISTING		PROPOSED	
S	SANITARY SEWER LINE	○	SEWER MANHOLE
W	WATER LINE	○	SEWER CLEANOUT
G	NATURAL GAS LINE	○	WATER METER
UE	UNDERGROUND ELECTRIC LINE	○	WATER VALVE
UT	UNDERGROUND TELEPHONE LINE	○	FIRE HYDRANT
FOC	FIBER OPTIC CABLE	○	LIGHT POLE
-12-	CONTOUR LINE W/ELEVATION LABEL	○	DRAINAGE MANHOLE

GENERAL LANDSCAPE NOTES

A. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.

B. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.

C. ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK. (ANSI-Z60.1-1986)

D. ALL DISTURBED AREAS DESIGNATED ON THE GRADING PLAN SHALL BE SHOWN AS FOLLOWS:
 GRASS SEED MIX: 40% PERENNIAL RYE
 40% TURF TIE FESCUE 0.5 LB PER 100 S.F.
 20% BERMUDA GRASS
 AGRICULTURAL LIME 2 LB PER 1000 S.F.
 FERTILIZER 10-10-10 2 LB PER 1000 S.F.
 MULCH: DRY STRAW OR HAY 2"-3" DEPTH

- E. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED SHALL ANY REASON PRIOR TO THE FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- F. THE MURPHY STATION WILL NOT DROP MASTER DEVELOPMENT GREEN SPACE BELOW CITY REQUIREMENTS.
- G. CONTRACTOR IS TO VERIFY LOCATION OF MASTER DEVELOPMENT IRRIGATION SYSTEM, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTION DEVICES AND OTHER ITEMS WHICH ARE PART OF THE SYSTEM. IF DAMAGED THEY MUST BE REPAIRED AT CONTRACTOR'S COST.
- H. CONTRACTOR IS TO PROTECT EXISTING LANDSCAPING/IRRIGATION MATERIALS.
- I. ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES FOR A MINIMUM OF ONE (1) YEAR OR UNTIL SECOND CUTTING, WHICH EVER IS LONGER. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITIONS. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREA HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEEDING REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL SEEDED LAWN AREA.
- J. ALL PERMANENT TURF AREAS SHALL BE SOD.
- K. FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERTILIZER.
- L. SEE GRADING PLAN FOR APPLICATION OF TOPSOIL AND MAINTENANCE OF SEEDED AREAS.
- M. SHREDDED HARDWOOD MULCH SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES, SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (SEE PLANTING DETAILS).
- N. PLANT MATERIAL SHALL BE WARRANTED FOR A PERIOD OF 1 YEAR AFTER PLANTING; IF ANY PLANTS DIE BEFORE THEY END OF 1 YEAR THEY SHALL BE REPLACED, AT NO COST TO THE OWNER, BY A PLANT OF SIMILAR SIZE AND SPECIES.
- O. TREES SHALL BE PLANTED PER DETAIL 50A.
- P. GC SHALL INCORPORATE PRE-EMERGENT HERBICIDE AND WEED BARRIER FABRIC IN MULCH AND PLANTING AREAS.

LANDSCAPE CALCULATIONS

1. TOTAL LOT AREA 75,051 S.F.
 62,027 SF x 12% = 7,443 SF REQUIRED
 PROVIDED: 5098 SF BED AREA
 23,279 S.F. SOD AREA
 =28,377 S.F. (45%)

DECIDUOUS TREE PLANTING LEGEND

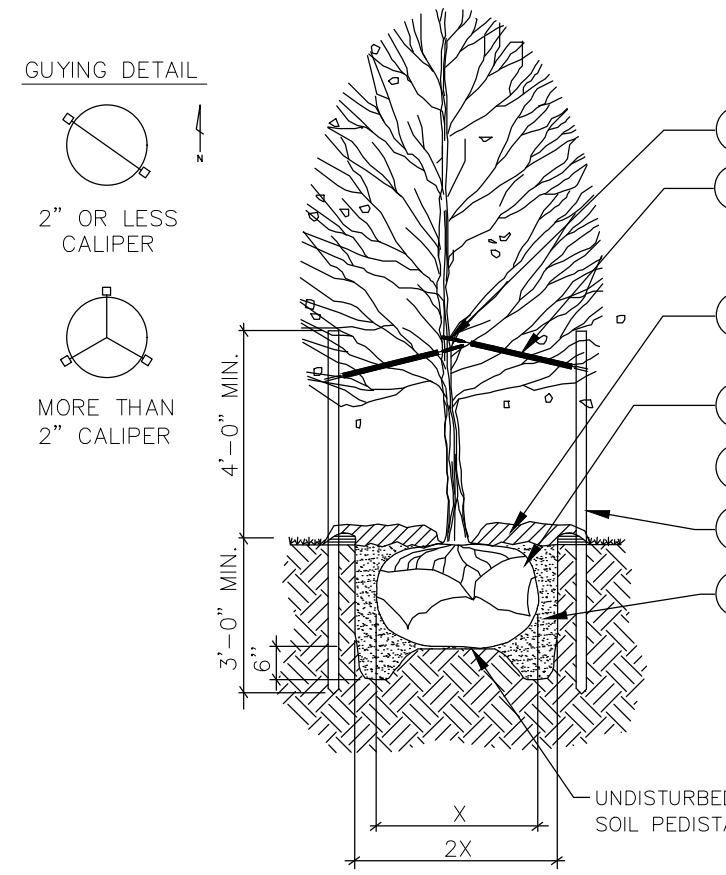
- SYMBOL DESCRIPTION**
- TREE STRAP LOOP AT FIRST BRANCH. USE RUBBER HOSE OR APPROVED EQUAL TO PREVENT DAMAGE TO TREE.
 - 12 GAUGE GALVANIZED WIRE & 1 1/2" PVC PIPE
 - 4" ORGANIC MULCH PER SPECIFICATIONS. DO NOT PLACE MULCH AGAINST TREE TRUNK.
 - REMOVE WIRE BASKET AND REMOVE BURLAP & ROPE FROM TOP 1/3 OF ROOT BALL.
 - TREE SAUCER (FORMED BY MIN. 4" THICK MULCH).
 - 8" METAL TEE STAKE. KEEP STAKE PLUMB AND SECURE OUTSIDE OF TREE PIT.
 - PREPARED BACKFILL - TAMP TO PREVENT SETTLEMENT. SOAK BACK FILL AFTER PLANTING

- PLANTING NOTES**
- RETAIN NATURAL SHAPE. DO NOT SHEAR OR CUT CENTRAL LEADER. TREES WITH CENTRAL LEADERS ARE NOT ACCEPTED IF LEADER IS DAMAGED OR REMOVED.
 - PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - WRAP TREES TO FIRST BRANCH IF PLANTED IN FALL. DO NOT WRAP IF PLANTED IN SPRING.
 - TREES TO BE INSTALLED SO TOP OF ROOT BALLS LEVEL WITH ADJACENT GRADE. TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS MAINTAINED AT NURSERY.
 - PLACE TREE BALL ON FIRM UNDISTURBED SOIL.
 - IF POSSIBLE MARK TREE TRUNK ON THE NORTHERN SIDE AT THE NURSERY AND PLANT TREE WITH MARK FACING NORTH.
 - TOPSOIL USED SHALL BE AS SPECIFIED IN THE LANDSCAPE SPECIFICATIONS.

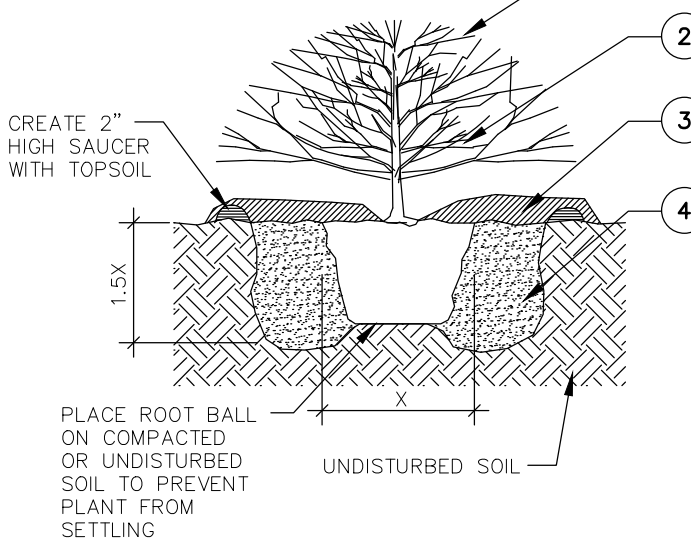
SHRUB PLANTING LEGEND

- SYMBOL DESCRIPTION**
- PRUNE BROKEN AND DAMAGED TWIGS AFTER PLANTING. DO NOT PRUNE OR DAMAGE CENTRAL LEADER.
 - PLACE PLANT IN VERTICAL, PLUMB POSITION. REMOVE CONTAINER AND PLANT LABEL PRIOR TO PLACING BACKFILL.
 - 3"-4" OF MULCH AS SPECIFIED. DO NOT PLACE MULCH DIRECTLY AGAINST STEMS.
 - PREPARED BACKFILL AND FERTILIZE PER SPECIFICATIONS. TAMP AND SOAK BACKFILL AFTER PLANTING. MAINTAIN AFTER PLANTING PER SPECIFICATIONS.

- PLANTING NOTES**
- HOLE DIAMETER SHOULD BE AT LEAST TWICE THE DIAMETER OF THE SHRUB ROOT BALL. SHRUB CROWN SHOULD BE PLACED SLIGHTLY HIGHER (1"-2") ABOVE THE SURROUNDING FINISHED GRADE.
 - SCORE ROOTBALL BY CUTTING 1/8"-1/4" VERTICAL GROVES 3" APART.
 - SPACE PLANTS PER PLANTING PLAN.



TREE PLANTING DETAIL
N.T.S.



CONTAINER SHRUB PLANTING DETAIL
N.T.S.

PLANT MATERIAL LIST		
KEY	QNTY.	ITEM
QN	2	NUTTALL OAK / QUERCUS NUTTALLII 10'-12' HT., 4" CALIPER, FULL CANOPY
TA	3	POND CYPRESS / TAXODIUM ASCENDENS 10'-12' HT., 4" CALIPER, FULL CANOPY
QV	2	LIVE OAK / QUERCUS VIRGINIANNA 10'-12' HT., 4" CALIPER, FULL CANOPY
CS	221	SHI SHI SASANQUA / CAMELLIA SASANQUA 'SHI SHI GASHIRA' 3"GAL. 24" MIN HT. FULL SPREAD
MC	137	MUHLIY GRASS / MUHLENBERGIA CAPILLARIS 3"GAL. 24" MIN HT. FULL SPREAD
SB	353	CEDAR FERN / SELLAGINELLA BRAUNNII 3"GAL. 18" MIN HT. FULL SPREAD
	23,279 S.F.	BURMUDA SOD / CYNODON TRANSVAALENSIS X C. DACTYLON SEE SPECIFICATIONS-CONTRACTOR RESPONSIBLE FOR VERIFICATION OF QUANTITIES
LUMP SUMP		GUARANTEE PERIOD - (1) ONE YEAR

SHEET NO. LP-1

TONY TRADEWELL
LANDSCAPE ARCHITECT

MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730

MURPHY USA

LANDSCAPE PLAN
MURPHY USA
900 GOVERNMENT STREET
MOBILE ALABAMA

PAN AMERICAN ENGINEERS, LLC
1717 JACKSON STREET
ALEXANDRIA, LA 71301
(318) 473-2100
CONTACT: WESLEY MILLER

DATE: 12/7/23
REV: 1

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