



# Agenda Item #1

## Application 2023-56-CA

### DETAILS

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**Location:**

34 S. Reed Avenue

**Summary of Request:**

Update to After-the-Fact Approval: Install aluminum-clad replacement windows that do not match muntin profile of the original windows, as issued COA required; replace two windows with French doors on façade; replace two-light window with single-light sash; remove attic gable window.

**Applicant (as applicable):**

Reilly Terrell

**Property Owner:**

same

**Historic District:**

Old Dauphin Way

**Classification:**

Contributing

**Summary of Analysis:**

- The muntin profile of the installed replacement windows does not match the original windows, as required in the issued COA and *Design Review Guidelines for Mobile's Historic Districts*, but two of the four elevations would not be considered character-defining.
- The light pattern of the installed replacement window on the south end of the east elevation (façade) does not match the original, as required in the issued COA and *Design Review Guidelines for Mobile's Historic Districts*.
- The two windows at the south end of the second-floor east elevation were removed and replaced with French doors without review.
- The fixed window in the front-facing attic gable was removed without review.
- A Design Review Committee met with applicant to resolve non-compliant components of the project.

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## PROPERTY AND APPLICATION HISTORY

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Old Dauphin Way Historic District was initially listed in the National Register in 1984 under Criterion C for significant architecture and community planning. The district includes most nineteenth-century architectural styles and shows adaptations of middle-class domestic designs of the nineteenth century to the regional, Gulf Coast climate. It includes “fine examples of commercial, institutional, and religious structures as well as 20<sup>th</sup>-century apartments.”

Per the National Register nomination, the two-story, side-hall plan house was constructed c. 1905, just missing representation on the 1904 Sanborn map. According to city directory, deed, and oral history records, the house was constructed for William A. Godwin who resided at that time at the Hotel Royal. The 1925 Sanborn map, updated in 1956, shows a rear one-story addition stepped back from the north and south planes of the house.

According to Historic Development Department records, this property has appeared twice previously before the Architectural Review Board (ARB). In February 2021 the Board considered but did not approve the demolition of two rear, one-story additions and restoration of the historic appearance of the rear elevation due to a lack of information on the elevation restoration. The work was approved by the ARB in March 2021. The current application first appeared before the ARB in November 2023.

## SCOPE OF WORK

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1. Install aluminum-clad replacement windows that do not match muntin profile of the original windows, as Required by issued COA.
2. Install single-light window at south end of east elevation where original window was of two-light pattern.
3. Remove four-light window in front-facing attic gable; close opening with siding to match.
4. Remove two (2) two-over-two windows at south end of second-floor façade; replace with French doors.

## APPLICABLE STANDARDS (*Design Review Guidelines for Mobile's Historic Districts*)

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1. Preserve the functional historic and decorative features of a historic window.
  - Where historic (wooden or metal) windows are intact and in repairable condition, retain and repair them to match the existing as per location, light configuration, detail and material.
  - Preserve historic window features, including the frame, sash, muntins, mullions, glazing, sills, heads, jambs, moldings, operation, and groupings of windows. (5.20)
2. When historic windows are not in a repairable condition, match the replacement window design to the original.
  - In instances where there is a request to replace a building's windows, the new design shall match the existing as per location, framing and light configuration.
3. When a historic window is missing on a key character-defining wall, use a historically accurate replacement.
  - Historically accurate light patterns shall be employed. Use photographic, physical, and/or documentary evidence for the design.
  - A new window shall be installed in such a manner as to fit within the original window opening and match in depth and filling of the reveal.
  - A double-paned or clad wood window may be considered as a replacement alternative only if the replacement matches the configuration, dimensions, and profiles of the original windows.

### ACCEPTABLE WINDOW MATERIALS

Materials that are the same as the original, or that appear similar in texture, profile and finish to the original are acceptable. These often include:

- Wood sash

- Steel, if original to structure
- Custom extruded aluminum
- Aluminum clad wood
- Windows approved by the National Park Service

#### UNACCEPTABLE WINDOW MATERIALS

- Vinyl
- Mill-finished aluminum
- Interior snap-in muntins (except when used in concert with exterior muntins and intervening dividers) (5.22)

## STAFF ANALYSIS

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The subject property, 34 S. Reed Avenue, is a c. 1905 two-story frame residence within the Old Dauphin Way Historic District. The application under review is for after-the-fact approval of replacement windows that do not match muntin profile of original windows, as provided in the issued COA; removal of an attic window without review; removal and replacement of two façade windows with French doors, and replacement of a 2-light window on the faced with a single-light window.

A Certificate of Appropriateness (COA) for the replacement of “rotten windows with wood or clad windows to match in light pattern and muntin profile” was administratively issued on January 29, 2021. In response to an alert from a member of the public, a Historic Development staff member visited the property and determined that the installed replacement windows did not match the original windows. A Notice of Violation (NOV) was issued on October 29, 2021 and was delivered to the property owner via Certified mail on November 1, 2021. The property owner did not respond to the NOV. Due to delays in project completion, the applicant applied for an extension of his building permit for this property, and the Historic portion of the permit approval was held because of the outstanding Notice of Violation.

The original window at the south end of the east elevation (façade) on the first floor had two fixed lights, and the smaller upper light echoed the transom above the front door to its immediate north. The window has been replaced with a single-light fixed window that does not match the original light configuration, as required by the *Guidelines* and the issued COA. (5.21)

The *Guidelines* require that when a window located on “a key character-defining wall” must be replaced, a historically accurate replacement matching the “configuration, dimensions, and profiles of the original windows” should be used. (5.22) The balance of replacement windows (excluding the window discussed above) installed in the house are aluminum-clad sashes in a two-over-two light pattern, matching the original windows. The dimensions of the rails and stiles of the replacement windows closely match those of the original windows. The width of the muntins is also a close match to the originals. However, the depth and profile of the muntins in the replacement windows does not resemble the original windows, as required by the *Guidelines* and the issued COA.

The *Guidelines* specifically reference “key character-defining” walls. The façade (east elevation) and original block of the south elevation are the most visible walls of the building and may be considered character-defining. Therefore, the removal of the four-light fixed window in the attic gable on the façade (without review) was not in compliance with the *Guidelines*. (5.20, 5.22) Likewise, the removal of two (2) two-over-two windows at the second-floor level of the façade and their replacement with French doors (without review) was not in compliance with the *Guidelines*. (5.20, 5.22)

With the key character-defining walls in mind, the profile of the muntins in replacement windows located at the west end of the south elevation, on the west elevation, and on the north elevation may not be as critical since

these would not be considered key character-defining walls. Therefore, the lack of matching profile on those elevations may be permissible.

#### UPDATE TO APPLICATION

On December 1, 2023, the applicant met with a Design Review Committee which consisted of members of Staff and the Architectural Review Board to further review the subject application in an attempt to mitigate the non-compliant components of the project.

At the meeting, the following conclusions were made:

- ARB members agreed that it would be acceptable for the existing windows in the side and rear elevations to remain as-is since they are secondary elevations.
- Mr. Terrell agreed to place a louvered vent in the gable on the front elevation.

Other issues and actions discussed:

- Options for some indication of a transom (or genuine transom) in regard to the large, single-light window on the first floor of the façade
- Options for replacing one of the French doors on the second floor of the façade with a window matching the existing windows, in an evenly spaced arrangement across the façade.
- ARB members suggested that the missing trim at the installed windows be addressed and that Mr. Terrell should verify with his window manufacturer that the installation was done to the manufacturer's specifications.
- Mr. Terrell proposed square replacement porch supports. The ARB members present stated that the design would require a vote of the entire Board.

On February 1, 2024, the Design Review Committee reconvened.

The following further conclusions were made:

- Mr. Terrell stated that the window manufacturer is not able to make a simulated divided light thick enough to resemble the missing transom on the first-floor façade window. Possible alternative solutions presented were installing a two-over-two window to match other existing windows, or to install a simulated two-over-two divided light on the single-light window.  
ARB members were not amenable to installing a simulated divided light, but agreed with the option of replacing the single-light window with a two-over-two window to match existing windows. They recommended moving an existing two-over-two window from a secondary elevation to the façade and reusing the single-light window on a non-primary elevation.
- Mr. Terrell has ordered a window for the second floor of the façade which will replace one of the French doors. The second floor fenestration pattern (from left to right) will be converted to single door; two-over-two window; two-over-two window.

*Items still in need of discussion include window trim and replacement porch supports.*

ARCHITECTURAL REVIEW BOARD  
VICINITY MAP

The map shows a street grid with McGill Ave running horizontally and S Reed Ave running vertically. To the south of McGill Ave is a large area labeled 'CHARITABLE SERVICE'. The site is located on the west side of S Reed Ave, between McGill Ave and the Charitable Service area. It is highlighted with a green box and labeled 'SITE'. A blue box highlights a 'VAC' area. Other areas are labeled 'R' and 'GA'.

APPLICATION NUMBER	1	DATE	2/21/2024	<div><div>N</div><div>NTS</div></div>
APPLICANT	Reilly Terrell			
PROJECT	Various fenestration changes; remove attic gable Window			



## Site Photos – 34 S. Reed Avenue



1. View west-southwest to east elevation (façade) of subject property; photo taken January 2021



2. view west to east elevation (façade) of subject property; photo taken October 2023



3. View west to replacement window at south end of east elevation (façade); photo taken October 2023



4. View west-northwest to south elevation of subject property (October 2023)



5. View southeast to north elevation of rear additions (January 2021)



6. View southwest to north elevation of rear additions (January 2021)



## Site Photos – 34 S. Reed Avenue

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7. View east-northeast to west elevation (rear) of subject property (January 2021)



8. typical replacement window (October 2023)



9. Detail: replacement window on south elevation of subject property (October 2023)



10. Detail: typical replacement window (October 2023)



## Architectural Review Board

Mobile Historic Development Commission  
City of Mobile  
200 Government Street, Second Floor  
Mobile, AL 36602

### PERMIT NUMBER

**MHDC-070681-2021**

Issue Date: 01/29/2021

## MHDC - Certificate of Appropriateness Building/Site COA

Parcel Number	Street Address	Jurisdiction
R022907250007303.	34 S Reed Ave	Old Dph Wy

Owner Information	Applicant Information	Contractor Information
Name: Company: Address:  Phone:	Name: ANTHONY OREILLY (REILLY) TEF Company: AOT, L.L.C. Address: 85 N Sage Ave Mobile, AL 36607  Phone: (251) 751-7011	Name: Company: Address:  Phone:  Lic No:                      Lic Exp:

Project Cost
\$35,000.00

Project Description
Add new timberline shingle to roof (black), paint exterior siding (white) and replace rotten pieces of wood in-kind (matching material, dimensions, and profile to existing),and replace rotten windows with wood or clad windows to match in light pattern and muntin profile.

THIS CERTIFICATE MUST BE POSTED PROMINENTLY ON THE SITE,AND ONLY WORK ITEMIZED ON THIS CERTIFICATE MAY BE UNDERTAKEN. A NEW application must be submitted for CHANGES to the approved plan. APPROVALS ARE VALID FOR ONE YEAR,and separate BUILDING PERMITS may be required.

*Christine Dawson*

Signature of Approving Official

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