



Agenda Item #2

Application 2024-07-CA

DETAILS

Location:

1500 Government Street

Summary of Request:

Install wall signage on property

Applicant (as applicable):

Sign Medics on behalf of Sage Health

Property Owner:

Sage Health

Historic District:

Old Dauphin Way

Classification:

Non-contributing

Summary of Analysis:

- The proposed sign at a larger tenant space at 1500 Government Street would be 16 square feet, bringing the total signage square footage out of compliance with the *Guidelines*. However, Historic Development Department records and photos of past approved signage demonstrate that larger signage was previously used at this location and under the existing design guidelines. In addition, the neighboring tenant’s wall sign is visibly larger than 64 square feet.
- The proposed sign is in compliance with the *Guidelines* regarding materials and compatibility with the associated building and the district.
- The subject building sits significantly back from the ROW, affecting the visibility of signage from the street.

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PROPERTY AND APPLICATION HISTORY

Old Dauphin Way Historic District was initially listed in the National Register in 1984 under Criterion C for significant architecture and community planning. The district includes most nineteenth-century architectural styles and shows adaptations of middle-class domestic designs of the nineteenth century to the regional, Gulf Coast climate. It includes “fine examples of commercial, institutional, and religious structures as well as 20th-century apartments.”

The property at 1500 Government is a contemporary masonry shopping center which was constructed in 2004. Historically this property was multiple residential lots. The 1878 Hopkins maps shows what is now the subject property made up of lots owned by J.H. Allen, The C.R. Richards Estate, Mary A. Brown, and Dorman. A domestic complex is represented on the Allen lot, along with a residence on the Richard and Brown lots. The Dorman lot is vacant. By the time of the 1925 Sanborn map, the western portion of the current property which fronts Catherine Street is represented as five lots consisting of 207, 211, 213, 217, and 219 Catherine Street. Each property denotes a small single-family residence in a cottage form with one or multiple accessory structures. Aerial photos convey that the structures at 207 and 211 Catherine were removed or demolished between 1955 and 1967. During this same time period, a brick veneer motel was constructed on the east side of the current property, which fronted Government Street. According to MHDC records, the motel was demolished in 2004 in anticipation of the current structure. Records also show that two frame single-family residences on Catherine Street were relocated to Etheridge Street, and a third brick veneer single-family residence was demolished. It appears that these three residence were the remaining 213, 217, and 219 Catherine Street properties.

According to MHDC files, this property has appeared before the Architectural Review Board (ARB) four times. In February 2004, an application to demolish three structures and relocate two structures on the property was granted a COA. A Signage COA was granted in September 2004, which allowed for an increased allowance for signage on the property. In 2009, a COA was granted for two wall signs for two different tenants at the property. In 2023, an application to install a wall sign with lettering and business logo on the subject building was denied.

SCOPE OF WORK

1. Install a wall sign on the south facing façade of the building.
 - a. The proposed sign would consist of the company’s logo and would measure 4’- 0” wide by 6’- 0” high, for a total of approximately 16 square feet.
 - b. The logo would be mounted on the oversized panel above the storefront on the façade, to the west (left) of the existing letter sign which reads “Sage Health”.
 - c. The proposed material for the sign would be vinyl on acrylic faces.
 - d. The sign would be thru bolted using all thread into blocking.
 - e. The proposed logo sign would be back-lit by white LED.

APPLICABLE STANDARDS (*Design Review Guidelines for Mobile’s Historic Districts*)

1. **11.3** Design a new sign to be compatible with the character of a building and the district.
2. **11.5** New signs are restricted to a maximum of 64 square feet.
3. **11.6** Place a sign to be compatible with those in the district.
 - When placing a new sign on a historic building, locate a sign to emphasize design elements of the historic building façade.
 - Mount a sign to fit within existing architectural features.
4. **11.7** Use a sign material that is compatible with the materials of the building on which it is placed and the district. New materials that achieve the effect of traditional materials and lighting solutions will be considered on a case by case basis.

- Do not use highly reflective materials for a sign. All plastic faced box signs are not allowed.
 - Design a sign to be subordinate to the building façade.
5. **11.8** Where necessary, use a compatible, shielded light source to illuminate a sign.
- Consider direct lighting toward a sign from an external, shielded lamp when possible.
 - Use a warm colored light to illuminate a sign when possible.
 - If halo lighting is used to accentuate a sign or building, locate the light source so that it is not visible.
 - If a back-lit sign is used, illuminate each individual letter or element separately.

STAFF ANALYSIS

This application involves the installation of a logo wall sign with an area of approximately 16 square feet on a non-contributing property located on Government Street in the Old Dauphin Way District.

In June of 2023, an application to install a 97 square feet wall sign which included the business logo and name was denied by a 5:1 vote due to the size overage. The applicant later resubmitted an application for signage measuring 59.84 square feet, which was approved on the Staff level. Although that sign proposal could be interpreted as incompatible with the established aesthetic of the shopping center due to its proportionally small size in relation to the scale of the building's oversized storefront sign band, it nevertheless eliminated the company's brand logo portion of the sign in order to comply with the *Guidelines'* maximum square footage allowance for signage yet still produce signage which would be discernable and identifiable. This application seeks approval to add the recognizable logo to the company name in order to present signage that appears complete and which is consistent with other business locations.

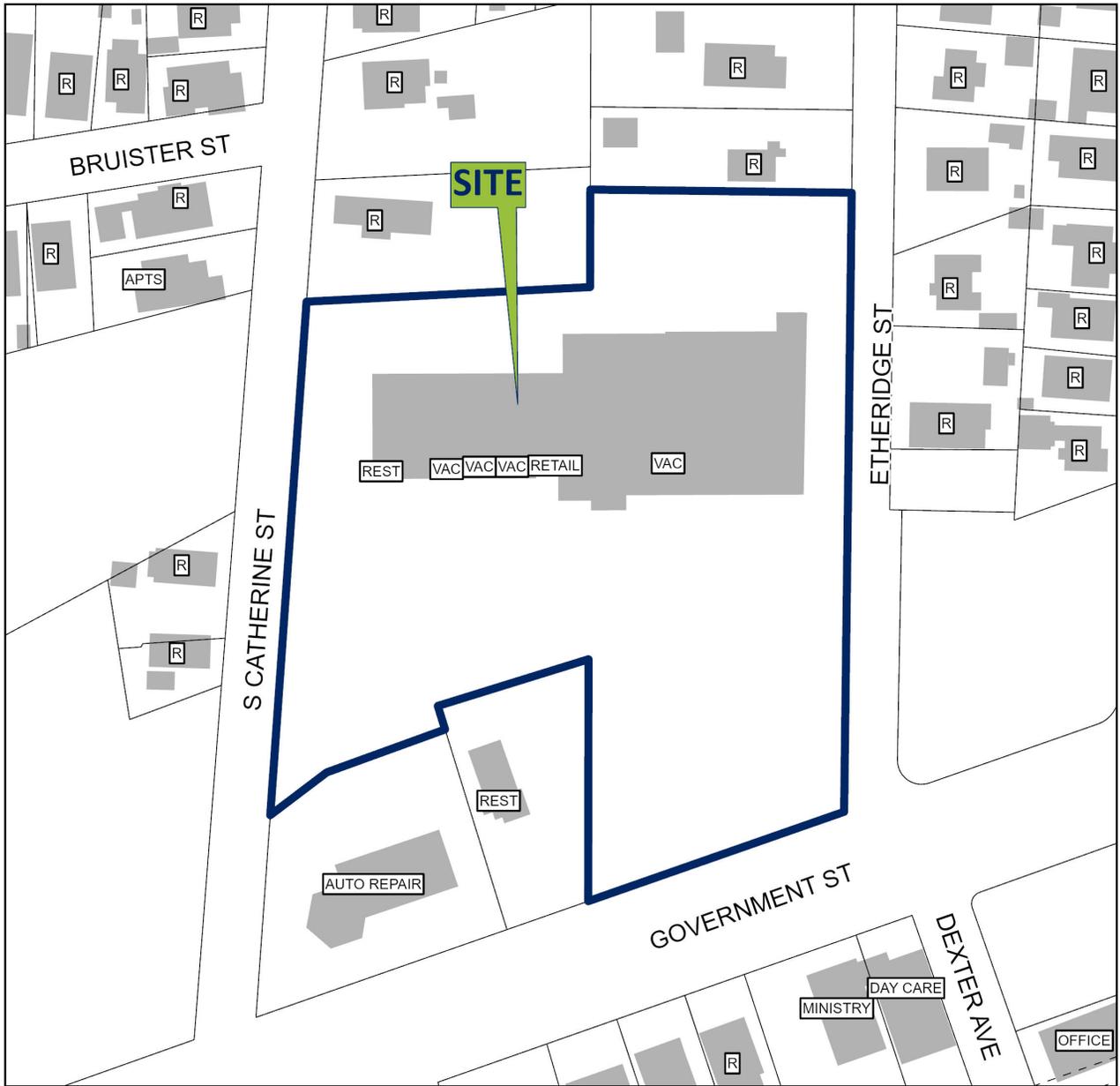
The area of the proposed sign would bring the total signage square footage to 81.72 square feet (including a previous approved 59.84 square feet wall sign and a double faced monument sign totaling 5.88 square feet). This is larger than the area allowed under the *Guidelines* by approximately 18 square feet (81.72 versus 64 square feet) (11.5). However, it should be noted that in 2004, a Certificate of Appropriateness was issued, which approved an increase in signage allowance at this property. The certified record states that a total of 64 square feet was approved for the wall sign alone, with an additional 25 square feet allowed for monument signage. In the same year, a plan for a wall sign of 78 square feet and a monument sign of 16.66 square feet for the subject location were submitted to the Historic Development Department for approval. Although a COA for these plans cannot be found, photos of the previous 'Office Depot' wall sign reveal signage visibly larger than 64 square feet. In addition, the wall sign of neighboring tenant, Dollar Tree (which was approved for the same increase in square footage in 2004) appears obviously larger than 64 square feet.

The proposed signage would be constructed of a material compatible with the non-historic building, and the intended placement on the sign band above the storefront, adjacent to the existing wall sign, is also appropriate to the character of the building as instructed by the *Guidelines* (11.6, 11.7). Further, like the existing lettering, the logo would be individually back-lit, which is permitted under the *Guidelines* (11.8).

The *Guidelines* instruct that signage should be designed "to be compatible with the character of a building and the district." (11.3) Although the size of the proposed signage would place the total signage square footage in excess of that allowed by the *Guidelines*, a few factors regarding location and compatibility should be kept in mind. First, the building to which the sign would be attached is a non-historic, non-contributing property which sits back significantly from the Government Street right-of-way (ROW). The proposed sign would be attached to an oversized panel above the building's storefront and would, therefore, be proportional to its intended location and to the size of the existing letter sign. Given that the subject building's storefront is significantly wider than traditional storefronts, where a 64 square feet limit is appropriate, a larger scale sign may be more suitable in this case. The proposed scale of the sign is additionally in proportion with the sign on the adjacent storefront in the

strip, which as stated previously, is visibly larger than the allotted 64 square feet. Besides proportionality, the large setback of the subject building affects the visibility of signage from the street. Therefore, a larger scale sign on one of the more significant retail spaces of this property, which includes an identifiable brand logo, is appropriate for this non-historic strip shopping center building.

ARCHITECTURAL REVIEW BOARD VICINITY MAP



APPLICATION NUMBER 2 DATE 2/21/2024
APPLICANT Sign Medics LLC on behalf of Sage Health
PROJECT Install wall signage on property in excess of 64 SF



NTS

Site Photos – 1500 Government St.



1. View of façade, looking northwest.



2. View of shopping center, looking northwest.



3. View of shopping center, looking northwest.



4. Neighboring retail space, looking north.

NEW PERMIT

- Summary
- Details
- Location
- Additional Info**
- Workflow
- Linked Records
- Holds
- Contacts (1)
- Fees (1)
- Bonds
- Activities
- Files (1)
- Print Documents
- Conditions
- Tasks

A. SIGN INFORMATION

B. ADDITIONAL SIGN INFORMATION

C. APPROVED SCOPE OF WORK

\$ 15 - Full ARB Review* 1

\$ 5 - Mid-Month / Staff Review* 0

Cost of Project* \$1,500.00

Step 01

Attached Sign Type* Wall

Freestanding Sign Type* Not Applicable

Step 02

Number of Faces* 1

Width of Sign in Feet* 3.11

Height of Sign in Feet* 5.11

Total Square Feet - All Faces 15.8921

Sign Valuation \$1,000.00

Step 03

Is site within the Downtown Development District?* No

Has CRC approval been obtained, if required? Not Appli...

Step 04

Will Sign be over ROW? No

Sign Setback 300

Distance from Ground to Sign Bottom 11

Distance from Ground to Sign Top 17

Step 05

How will Sign be mounted? sign will be thru bolted using all thread into blocking

Width of Building Facade 51.3

Total SF of all existing signs 73.21

What are the Sign Materials? 3/16" #2447 white acrylic with surface applied dual-color white vinyl printed to match Dk. Teal; Graphics will illuminate white at night TRIMCAP:

Describe lighting, if any sign will be lit with white LEDs

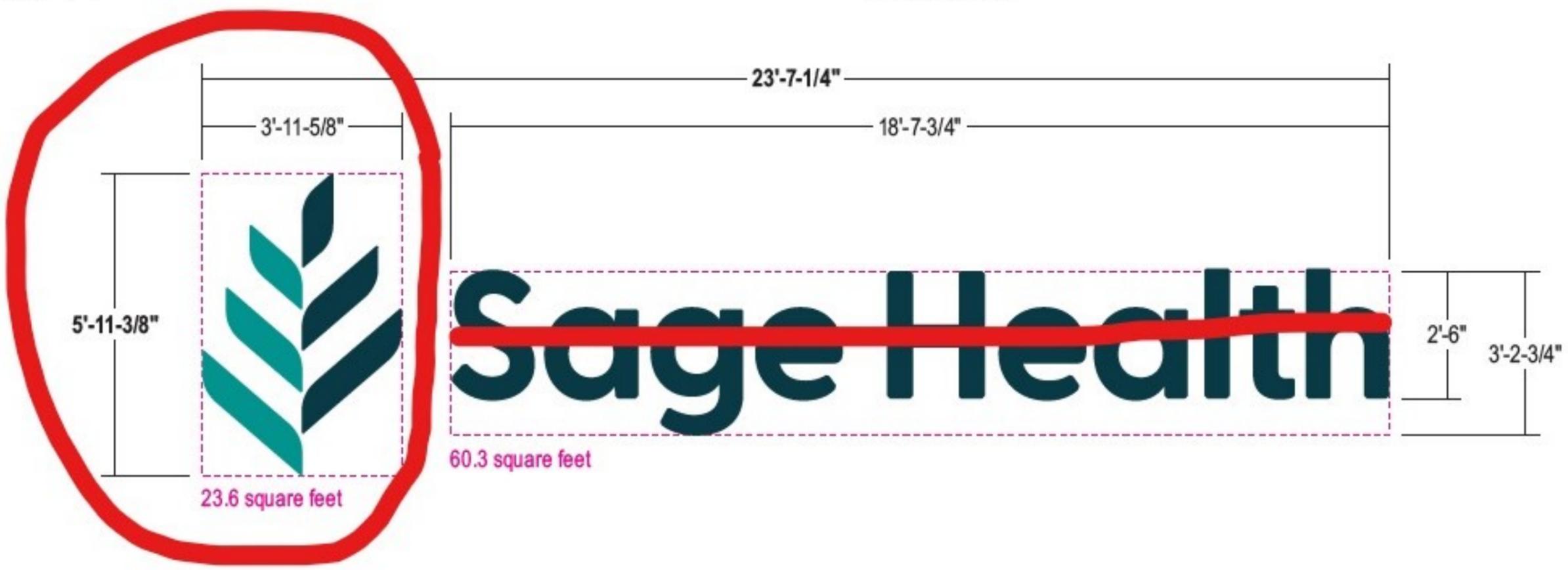
E01

FACE LIT CHANNEL LETTERS

Scale: 3/8"=1'-0"

CL-H-FC-283-RM-I

83.9 square feet



- FACES:** 3/16" #2447 white acrylic with surface applied dual-color white vinyl printed to match Dk. Teal and Teal; *Graphics will illuminate white at night*
- TRIMCAP:** 1" jewelite trimcap painted Dk. Teal
- RETURNS:** 5" deep .040 alum. returns - insides painted High Gloss White; Outsides painted Dk. Teal
- BACKS:** .063 alum. backs - insides painted High Gloss White
- ILLUM.:** White LEDs as required by manufacturer; **Remote power supplies**
- WALL MAT.:** Stucco
- INSTALL:** Thru bolted using all thread into blocking as required; 12" standard length of threaded rod will be supplied unless otherwise noted; 3/8" threaded rod into blocking or Stratus approved equivalent; Compression sleeves required to avoid crushing wall & achieve max tensioning
- QUANTITY:** (1) ONE SET REQUIRED FOR STOREFRONT ELEVATION

COLOR PALETTE

	3M 3635-210 Dual-Color White Printed to Match PMS 309 C Dk. Teal		High Gloss White
	3M 3635-210 Dual-Color White Printed to Match PMS 7716 C Teal		PMS 309 C Dk. Teal

SIMULATED NIGHT VIEW

