



Agenda Items #4

Certified Record 2025-41-CA

DETAILS

Location:

1558 Luling Street

Summary of Request:

Construct a two-story wood-frame carriage house

Applicant:

Dennis Carlisle

Property Owner:

Patrick and Kelly Patten

Historic District:

Old Dauphin Way

Classification:

Contributing

Summary of Analysis:

- The scale and placement of the proposed carriage house are in keeping with the *Design Guidelines* for new accessory structures.
- The overall design is in keeping with the Craftsman-style primary structure.
- The proposed materials are all approvable under the *Design Guidelines*.
- The *Guidelines* allows for the placement of solar panels on secondary structures, especially new construction.

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PROPERTY AND APPLICATION HISTORY

Old Dauphin Way Historic District was initially listed in the National Register in 1984 under Criterion C for significant architecture and community planning. The district includes most nineteenth-century architectural styles and shows adaptations of middle-class domestic designs of the nineteenth century to the regional, Gulf Coast climate. It includes “fine examples of commercial, institutional, and religious structures as well as 20th-century apartments.”

The primary structure is a frame Craftsman-style bungalow constructed between 1925 and 1956. The wrap-around front porch was fully enclosed sometime between 1956 and 1984. The porch was partially reopened across the south façade in 1997.

This property has appeared once before the Architectural Review Board. In 2004, a COA was granted to install a 6-foot wood privacy fence enclosing the rear yard.

SCOPE OF WORK

1. Construct two-story wood-frame slab-on-grade carriage house structure with garage on first floor and living space above.
 - a. The proposed structure would be located to the north (rear) of the main structure. It would measure 34'-0" wide by 64'-0" deep. The structure would sit 17'-0" east of the west property line.
 - b. The enclosed garage portion would measure 30'-0" wide by 33'-0" deep.
 - c. The roof height will be approximately 34'-5".
 - d. The carriage would rest on a concrete slab foundation.
 - e. The carriage house will feature a side gable roof with shed roof projections over the south gallery porch and a small dormer window on the north elevation. Gable ends feature Craftsman style wood bracketing. Roof eaves feature exposed end beams. Roofs will be clad in a standing seam terne metal roof. Solar panels will be mounted on the south gallery roof.
 - f. Exterior walls will be clad in smooth fiber cement siding with a 6" lap to match existing siding on the main house. A wider siding board and trim piece create a belt course around all elevations approximately 14'-10" above the ground level. Siding will feature a flared skirt just above the concrete slab.
 - g. The south elevation will feature a centered two-story gallery porch that is three bays wide. Porch columns on both levels are simple square wood columns. End columns are paired while a single column divides each bay. First-floor columns feature simple box bases and capitals. Craftsman style wood brackets extend from the first-floor columns to support a low-sloped shed roof. Second floor columns are plain, without base, capital, or decorative brackets. A wood railing with roman lattice panels encloses the upper level. The lower gallery level has no railings. A framed opening with a sliding louvered barn door is centered on the south façade. A second wood paneled door to the west of the gallery leads into the carriage house. Three sets of French doors with transoms lead out onto the second-floor gallery.
 - h. The north elevation features a single centered casement window at the second-floor level.
 - i. A garage entrance with roll-up door is centered on the east elevation. A three-bay bump-out is centered on the second-floor level. Three full-light doors with transoms lead out to a small balcony. The balcony railing features the same roman lattice motif as the gallery railing. Decorative wood brackets appear to support the bump-out and the shed balcony roof.
 - j. The west elevation features a single centered case window shaded by a shed roof over decorative wood brackets.
 - k. All windows will be impact rated aluminum-clad wood casement windows. The stair window on the west elevation will have low-e glass panes.
 - l. Exterior doors are mahogany with glass lights.

APPLICABLE STANDARDS (*Design Review Guidelines for Mobile's Historic Districts*)

1. **9.1** Design an accessory structure to be subordinate in scale to that of the primary structure.
 - If a proposed accessory structure is larger than the size of typical historic accessory structures in the district, break up the mass of the larger structure into smaller modules that reflect traditional accessory structures.
2. **9.2** Locate a new accessory structure in line with other visible accessory structures in the district.
 - These are traditionally located at the rear of a lot.

ACCEPTABLE ACCESSORY STRUCTURE MATERIALS Materials that are compatible with the historic district in scale and character are acceptable.

These often include:

- » Wood frame
- » Masonry
- » Cement-based fiber siding
- » Installations (Pre-made store-bought sheds, provided they are minimally visible from public areas)

UNACCEPTABLE ACCESSORY STRUCTURE MATERIALS Materials that are not compatible with the historic district in scale and character are unacceptable.

These often include:

- » Metal (except for a greenhouse)
- » Plastic (except for a greenhouse)
- » Fiberglass (except for a greenhouse)

3. **A.7** Locate energy-generating technology to minimize impacts to the historic character of the site and structure.
 - » Install collectors on an addition or secondary structure.
 - » Minimize visual impacts by locating collectors back from the front façade.

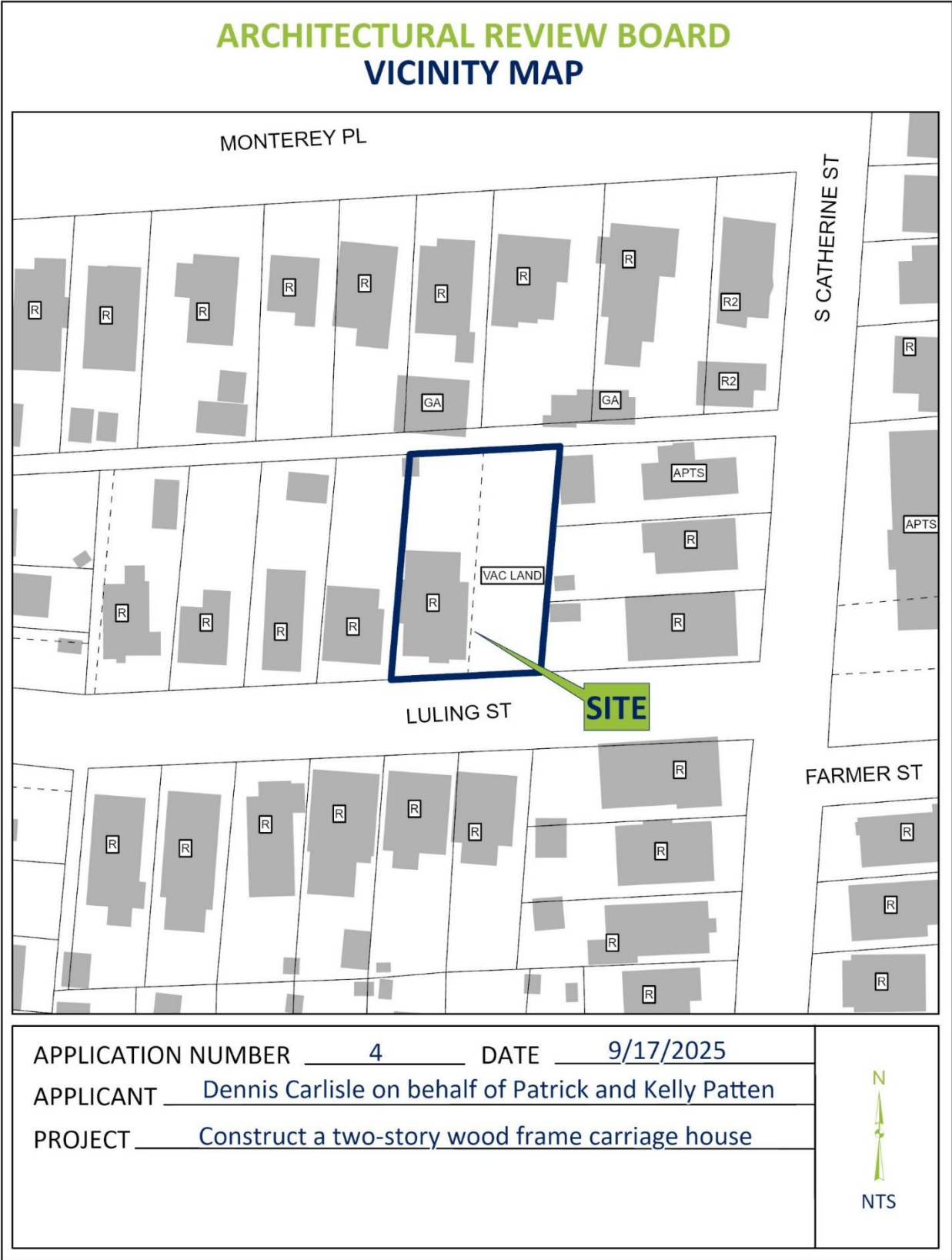
STAFF ANALYSIS

The dwelling at 1558 Luling is a contributing resource to the Old Dauphin Way Historic District. The application under review seeks approval to construct a new freestanding carriage house structure at the rear of the property.

The *Guidelines* state that new accessory structures should be subordinate in scale to the primary structure and, when possible, located at the rear of the subject property. While the two-story carriage house would likely be several feet taller than the primary residence, there is considerable precedent for two-story accessory structures behind one- and one-and-one-half-story residences in Old Dauphin Way. Moreover, the placement of the structure at the rear of the subject lot would minimize the visual impact from the public right-of-way. The overall footprint of the proposed carriage house is approximately half that of the main residence. (9.1, 9.2)

The proposed structure employs materials considered approvable under the *Guidelines*. These include fiber cement siding, aluminum-clad windows, wood doors with glass lights, and a standing seam terne metal roof. Porch supports, railings, and decorative wood brackets would be painted wood. The design also replicates details and trim profiles found on the primary structure, including the decorative wood brackets, simple box columns, and window and door casings. (9.2) The proposed casement windows are more modern in appearance, in keeping with the *Guidelines* directive that new construction should be clearly distinguishable as new.

The *Guidelines* state that solar panels should be located to minimize impacts on historic buildings and visibility from the public right-of-way. The proposed panels will not be located on a historic building. Given the placement of the carriage house at the rear of the subject property, the panels will be minimally visible from the street. (A.7)



Site Photos



1. View of south façade, looking N



2. View of south façade, looking NE



3. View of east and north elevations, looking SW



4. View of north elevation, looking S



4. Proposed location of carriage house, looking W



5. Neighboring accessory structure at 1557 Monterey Place, looking NW



City of Mobile • Historic Development

Architectural Review Board Application

August 19, 2025

Date of Application

Date Received

1558 Luling Street, Mobile, AL 36604

Address of Property

Does any party hold a façade easement on this property? ☒ No ☐ Yes

If yes, evidence of the easement holder's approval of the specific work outlined in this application must be provided prior to the consideration of this application by the ARB.

\$999,000.00

Fee Paid: ☐ \$ _____ Check # _____

Cost of Project (Required)

Patrick & Kelly Patten

Owner Name

Phone

Email

1558 Luling Street, Mobile, AL

36604

Address

Zip Code

If Owner is a legal entity such as a corporation, limited liability company, limited liability partnership or similar, you should attach a copy of the formation documents for the Owner, showing the date of formation and that such have been filed and accepted by the Secretary of State.

Dennis Carlisle

Owner's Representative Name

Phone

Email

1568 Monterey Place, Mobile, AL

36604

Address

Zip Code

Describe the Proposed Work:

This is Phase 1 of a three-phase project. Phase 1 is to construct a two-story wood framed slab on grade carriage house of approximately 2,276 sq. ft. Structure shall have a garage at first floor with support spaces, including toilet, shower, storage and elevator, and including stairs.. Second floor shall be equipped as temporary living quarters for owner and his family while main dwelling is being renovated, and shall included kitchen, living room / bedroom, and a home office, as well as stairs and elevator.

Build Mobile, PO Box 1827, Mobile, Alabama 36633

For more information: www.buildmobile.org | info@buildmobile.org | 251.208.7281

Visit our help window: Mobile Government Plaza, 205 Government Street, Third Floor South Tower

Revised August 2023

Does the work involve demolition of a structure? ☒ No ☐ Yes Please fill out demolition portion of application.

Does the proposed work involve signage? ☒ No ☐ Yes

Will the proposed work require the removal of any trees from the site? ☒ No ☐ Yes

If yes, attach a detailed site plan showing all trees and landscaping that will be removed and contact the Urban Forester at 208-7091 for Tree Permitting Requirements.

REQUIRED PLANS: If plans are required for the project, please attach the following:

- Attach two (2) sets of plans: one large scale set and one 11"x17" reproducible set,
- Also attach one set of photographs to the application.
- If available, electronic plans should also be submitted as a TIFF or PDF.
- A \$15 or \$5.00 application fee is due upon filing. Check should be made out to the City of Mobile.

Refer to the following checklist for requirements for specific work items to be performed. Refer to the Design Review Guidelines for Mobile's Historic Districts (<https://www.buildmobile.org/architectural-review-board/>). Staff is available to assist with application preparation. For large projects, such as new construction or substantial additions or renovations, consultation with staff is strongly encouraged. Applications are reviewed in the order in which they are received, and if review by the Architectural Review Board is required, an application will be placed on the next available agenda. Any incomplete applications may be held until all information is submitted.

Staff Reports: The Historic Development Staff will review your application and generate a report that will be sent to you, along with the meeting agenda, via e-mail approximately one week before the meeting. The meeting agenda may be found at <https://www.buildmobile.org/architectural-review-board/>. Please examine these and be prepared to discuss any issues at the Board meetings. Questions before the meeting should be addressed to the staff of the Historic Development Department.

Alterations to Approved Plans: A new application must be submitted for changes to the approved plan. Minor alterations may be approvable by staff.

Historic Markers: The Architectural Review Board examines applications based on its adopted guidelines for historic preservation. These are based on a minimal standard set by the City of Mobile and the State. Historic markers are awarded by the Mobile Historic Development Commission based on a higher standard of review. Approval by the ARB does not guarantee approval for a historic marker. If the desire is to qualify for a marker, please inform the Board and it will attempt to guide you toward the higher goal.

Conflicts of Interest: ARB members sit as a quasi-judicial body. All its deliberations must be made in an open meeting. It is illegal for a Board member to discuss an application outside of a meeting with anyone but staff. Conflicts of interest, if any, will be disclosed at the meeting.

Public Notice: A sign will be placed in a conspicuous location on the property prior to the Review Board meeting to notify surrounding property owners of a pending application. Attendance at the meeting is strongly advised in order for the applicant to respond to any questions.

NOTE: INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Use the Following Checklist to Ensure a Complete Application
Complete each box that applies:

NEW CONSTRUCTION, ADDITIONS, OR EXTENSIVE RENOVATION/REPAIR TO EXISTING STRUCTURES

1. **One large set and one 11 x 17 (reproducible) set of scaled drawings which shall include:**
 - a. ☒ A complete site plan illustrating the proposed construction, its location, with dimensions, required setbacks, landscaping and other site amenities;
 - b. ☒ Floor plans, with dimensions, as they impact the exterior of the building, including existing plan and proposed plan;
 - c. ☐ N/A Square footage of the original building with square footage of all additions including the proposed addition;
 - d. ☒ A drawing, with dimensions, of all affected exterior elevations;
 - e. ☒ Notes describing all exterior materials (i.e. walls, roof, trim, cornice, windows, etc.) Sample materials may be required in some cases (consult with staff);
 - f. ☒ Detailed drawings or photographs of all decorative architectural details (i.e. columns, balustrades, modillions, etc.);
 - g. ☒ Paint samples and plan keyed to location of each color. (See below)
2. **Photographs of the subject property to be worked on and surrounding buildings are required.**
 - ☒ Subject Property photographs
 - ☒ Surrounding Buildings photographs

The Historic Development Office can provide sample plans for garages, carports, and outbuildings. These are generally acceptable for most domestic sites. Note: These are for design purposes only and are not suitable as construction drawings.

FOR MINOR RENOVATION OR REPAIR TO EXISTING BUILDINGS

For work which includes changes to the exterior of existing buildings, the following is required:

1. ☐ Elevation drawings with dimensions and material details
2. ☐ Floor plans
3. ☐ Photographs of each face of the building to be renovated with details of the areas of work.

EXTERIOR PAINTING

Period color schemes are encouraged. However, other colors may be acceptable. Submit name and color samples for:

_____	Manufacturer
_____	main body color
_____	trim or decorative features
_____	porch deck
_____	accent areas: lattice, shutters, etc.
_____	other areas

FENCES, DRIVES AND GATES

1. ____ A drawing or photograph of the type of fence, wall or gate with the height noted.
2. ____ A site plan, with dimensions, showing the placement of any proposed change to the property as it relates to property boundaries and all other building or site facilities.
3. ____ A description of the materials to be used.
4. ____ Paint samples, if the fence, wall or gate is to be painted.

SIGNAGE

Width of sign ____ feet ____ inches

Height of sign: ____ feet ____ inches

Single Face ____ Double Face ____

Height (from ground level to top of sign) ____ feet ____ inches

Height (from ground level to bottom of sign) ____ feet ____ inches

Total Square Footage of Signage: ____ square feet. (Both sides if double-faced)

General Description

Type of Sign: ☐ Monument ☐ Free Standing ☐ Projecting ☐ Wall ☐ Banner ☐ Sandwich Board

How will sign be mounted:

Sign Materials (sample materials may be requested by the Review

Board): _____

Describe type of lighting to be used: _____

Linear front footage of principle building: ____ feet ____ inches.

Square footage of Existing Signage: ____ feet ____ inches N/A ____

Include in Application:

____ Scaled colored renderings of the requested sign; or photographs with dimensions

____ Photographs of the building

____ A site plan or building elevation showing the location of the proposed signage For specific requirements, refer to *Sign Design Guidelines for Mobile's Historic District and Government Street*.

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Revised August 2023

DEMOLITION APPLICATION

Purchase Date: _____ Purchase Price: _____

Current appraised value of the property? _____ (N/A if Not Available)

Was the property occupied at time of purchase? _____ What was the property's condition? _____

What alternatives to demolition have you considered for this property?

Have you listed the property for sale or lease since your purchase? ☐ Yes ☐ No

If "Yes", what was your asking price? _____

How many offers did you receive? _____

List any options currently held for the purchase of the property, including the price received for such option, the conditions placed on such option and the date of expiration of such option:

Do you have construction plans ready to complete the replacement project? ☐ Yes ☐ No

If so, how much have you expended on the plans? _____

What are the dates of these expenditures? _____

In order to determine your ability to complete the replacement project, do you have the following:

Performance Bond ☐ Yes ☐ No

Letter of Credit ☐ Yes ☐ No

Trust for completion of improvements ☐ Yes ☐ No

Other evidence of financial ability ☐ Yes ☐ No

Letter of commitment from a financial institution ☐ Yes ☐ No

**"In no event shall the Board entertain any application for the demolition or relocation of any Historic Property unless the applicant also presents at the same time the post-demolition or post-relocation plans for the site."
Ordinance #44-084**

An Architectural Review Board Application with supporting documentation and fee should accompany this request with the plans for development of the site. A sign will be placed in the front yard of the property prior to the Review Board meeting to notify surrounding property owners of a pending application. Attendance at the meeting is strongly advised in order for the applicant to respond to any questions.

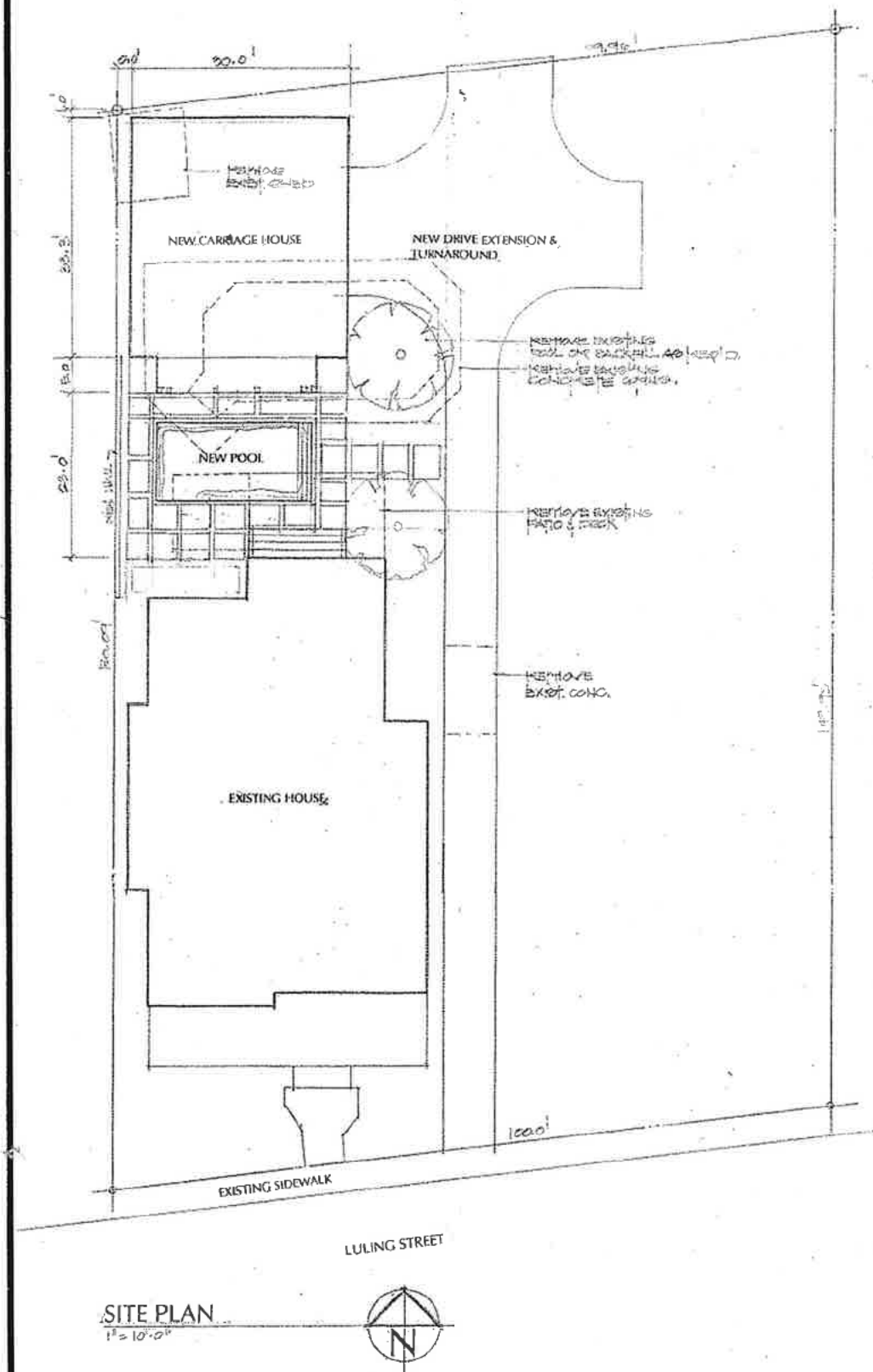
SEE NEXT PAGE

CONFLICTS WITH OTHER CITY DEPARTMENTS

The Architectural Review Board examines applications solely on the basis of impairment to the historic character of a building or neighborhood. Approval by other City Departments may consider other aspects of a project such as safety. When multiple regulations are in conflict, generally the most restrictive applies. Also, though the staff and Review Board try to inform applicants of possible conflicts, they may not be aware of all the implications of a request. Therefore, the property owner should clear all requests with the appropriate departments.


Signature


Date



SPECIFICATIONS

1. CONCRETE: REFER TO STRUCTURAL. NOTE: GARAGE CONCRETE FLOOR SHALL BE 5" THICK. CONCRETE IN GARAGE SHALL BE COATED WITH ARMOKTHANE POLYUREA INDUSTRIAL 2-PART SYSTEM, INSTALLED BY QUALIFIED INSTALLER.
2. MASONRY: REFER TO STRUCTURAL.
3. WOOD:
 - A. FOR STRUCTURAL LUMBER REFER TO STRUCTURAL DOCUMENTS.
 - B. CEMENTITIOUS WOOD SIDING SHALL BE JAMES HARDI ARTISAN LAP SIDING, SMOOTH, MATCHING EXISTING HOUSE SIDING EXPOSURE OF 6".
 - C. WOOD FLOORS: FLOORS WHERE CALLED FOR, INCLUDING STAIR AND STAIR LANDINGS AND ENTRY Foyer FIRST FLOOR, SHALL BE RED OAK SOLID FLOORING 3/4" x 4" T&G, INSTALLED OVER MIN. 1/2" CDX PLYWOOD. HARDWOOD SHALL BE LAID PERPENDICULAR TO FLOOR JOISTS. FINISH SHALL BE SELECTED. PRICE AS ALTERNATE CUSTOM MILLED RECLAIMED TIMBER.
 - D. SHIP LAP INTERIORS SHALL BE SMOOTH FINISH BOARD 3/4" x 7-1/2" WITH 1/16" GAPS.
 - E. BEAD BOARD IN GARAGE SHALL BE MANUFACTURED BY AMERICAN BEADBOARD 5/8" THICK, NOF. MOISTURE RESISTANT PLANK. SEE DRAWINGS FOR PANELING.
4. CERAMIC TILE: CERAMIC TILE FOR KITCHEN FLOOR, WALLS AND FOR RESTROOMS AND SHOWERS SHALL BE SELECTED BY OWNER.
5. GRANITE: GRANITE FOR COUNTERTOPS, BAR TOP AND BATH SHALL BE SELECTED BY OWNER.
6. PAINT:
 - A. ALL EXTERIOR TRIM SHALL BE PRIMED AND PAINTED TWO (2) COATS AND PAINTED ON BACKSIDE. PRIME WITH OIL-BASED PRIMER AND FINISH WITH TWO (2) COATS LATEX PAINT. COLORS SHALL BE WHITE UNLESS STATED AND SHADE OF WHITE SHALL BE SELECTED. SIDING SHALL BE DELIVERED PRIMED BY MANUFACTURER AND THEN TWO (2) COATS UNLESS OTHERWISE STATED. PAINT SHALL BE BENJAMIN MOORE OC-145 ATRIUM WHITE.
 - B. SHUTTERS: BENJAMIN MOORE HC-138 NEWBERG GREEN.
 - C. ALL INTERIOR WOOD SHIP LAP, MOLDINGS, PANELING TRIM, CASINGS, ETC., INCLUDING DOORS SHALL BE PRIMED AND PAINTED TWO (2) COATS INTERIOR LATEX UNLESS OTHERWISE STATED. PAINT SHALL BE BENJAMIN MOORE AF-20 MASCARONE.
7. CABINET WORK: KITCHEN AND BATH CABINETS SHALL BE QUALITY SHOP BUILT CABINETS OF 3/8" PLYWOOD MEETING ANI STANDARDS, WITH FULL PLYWOOD BACKS. DOOR PANELING STYLE SHALL BE SHAKER OR GLASS READY. HINGES SHALL BE SOFT CLOSE. CONCEALED AND ADJUSTABLE HINGES UNDERMOUNT SOFT-CLOSE DRAWER GLIDES. DOVETAIL DRAWER BOXES. LIFETIME WARRANTY FOR CABINETS. CABINET HARDWARE SELECTED BY OWNER FROM RAYFORD'S. MATCH DOOR HARDWARE FINISH.
8. WINDOWS: WINDOWS SHALL BE IMPACT RATED KOLBE ULTRA SERIES OR MARVIN ULTIMATE IMPACT RATED WITH ALUMINUM EXTERIORS AND WOOD INTERIORS. NOTE: STAIR WINDOW SHALL BE LOW E GLASS SOLAR CONTROL.
9. DOORS - MAHOGANY EXTERIOR DOORS: SAND AS REQUIRED BEGINNING WITH PROPER GRIT SANDPAPER AND FINISHING WITH FINER GRIT SAND PAPER PRIOR TO APPLYING VARNISH. FINISH BY USING EPIFANES CLEAR VARNISH FOR THE FIRST FIVE LAYERS. AFTER THE SOLID BUILD-UP USE A MIN. OF AT LEAST TWO COATS OF WOODFINISH MATTE. TOTAL COATS A MINIMUM OF SEVEN. THE HIGH GLOSS OF THE FIRST FIVE COATS ENSURES UV PROTECTION, THE LAST TWO COATS WILL PROVIDE A SATIN FINISH. USE THE PROPER THINNING AS RECOMMENDED BY THE MANUFACTURER AND USE A MINIMUM OF 24 HOURS DRYING TIME BETWEEN COATS. NOTE THAT SEVEN (7) COATS ARE MINIMUM ALSO FOR MAINTENANCE. DOORS SHALL BE (RECOMMENDED) TO BE CLEANED AND RE-COATED WHEN REQUIRED, OR EVERY FEW YEARS.
10. TERNE STANDING SEAM ROOFING: STAINLESS STEEL SHEET METAL MANUFACTURED WITH 304 STAINLESS STEEL COATED BOTH SIDES WITH TERNE ALLOY 50% TIN, 50% ZINC MEETING ASTM REQUIREMENTS FOR TERNE METAL.
11. DOOR HARDWARE: BALDWIN RESERVE SERIES IN VENETIAN BRONZE. NOTE: THIS IS A GUIDE AND SHALL BE VERIFIED WITH OWNER. ENTRY AT STAIR #1: BALDWIN NAPA HANDLESET AND FEDERAL LEVER - ROUND AT INTERIOR. COORDINATE WITH OWNER FOR ENTRY KEYPAD. LOUVERED DOOR #2: BALDWIN PULL HANDLESET WITH DEADBOLT AND CYLINDER LOCK AND THUMB LATCH FACE MOUNT. PROVIDE BARN DOOR FACE MOUNT TRACK AND FLUSH PULL WITH LOCK. DOOR #4 SIMILAR. POCKET DOORS: TYPICAL AS DOOR #3. RECTANGULAR ESTATE FLUSH PRIVACY MORTISE SET. STORAGE: GENERALLY, PROVIDE BALDWIN FEDERAL LEVER WITH DEADBOLT LOCK. ENTRANCE DOOR AT STAIR: BALDWIN RESERVE NAPA FEDERAL SINGLE CYLINDER UNIT DEADBOLT. POCKET DOORS: FLUSH PULLS AND MORTISED PULL RINGS. FLUSH PULLS SHALL BE LOCKABLE. FEDERAL RESERVE LEVER PASSAGE SETS FOR CLOSETS AND PANTRY. RESERVE FEDERAL PRIVACY SETS. FRENCH DOORS: BALDWIN RESERVE LEVER HANDLE SINGLE CYLINDER MORTISE SETS, OPERABLE LEAF WITH ASTRAGAL.
12. LIGHTING:
 - A. PORCH PENDANT: CAPITAL LIGHTING BRADFORD 345431BK OILED BRONZE. UTT-230281. UTT-215662 BRONZE AND ANTIQUE BRASS 16".
 - B. KITCHEN PENDANTS: PLACUNA PENDANTS BY LUTHERMOST UTT-32028.
 - C. BATH AT SECOND FLOOR: HEREGEL HG-S000 DIMMABLE.
 - D. SEE DRAWINGS FOR RECESSED CANS. REMAINDER SELECTED BY OWNER.
 - E. GOODENICK BARN LIGHT: GARDENIA BARN GOODENICK LIGHT, DARK BRONZE, WITH 16" SHADE. HEAVY DUTY LED LIGHTING.
13. HEAT PUMP AND WATER HEATER: PROVIDE 50 GALLON HEAT PUMP WATER HEATER.
14. ELECTRICAL: WIRE HOUSE FOR INTERNET. WIRE FOR VIDEO SURVEILLANCE. NOTE: PROVIDE CONDUIT STRIP-UP. INSTALL A 1" EMPTY PVS SCHEDULE 40 CONDUIT CONCEALED IN WALL FROM GARAGE LEVEL TO THE 2ND FLOOR LIVING QUARTERS AT A LOCATION TO BE DETERMINED BY THE OWNER. TERMINATE EACH END IN A 4" SQUARE BOX WITH A BLANK COVER PLATE. INSTALL PULL ROPE IN THE CONDUIT.
15. PAINT: ALL PAINT SHALL BE BENJAMIN MOORE. PRIME WITH OIL BASE THEN FINISH WITH TWO (2) COATS LATEX. COLORS SELECTED TO BE COORDINATED WITH OWNER.
16. PLUMBING: FIXTURES SELECTED BY OWNER, INSTALLED BY CONTRACTOR. SEE DRAWINGS FOR KITCHEN SINK.
17. APPLIANCES: SELECTED BY OWNER, INSTALLED BY CONTRACTOR. RECOMMEND SUB-ZERO FREEZER, WOLF INDUCTION RANGE AND COVE DISHWASHER.
18. SMOKE ALARMS AND SMOKE DETECTION: INSTALL SMOKE ALARMS AND SMOKE DETECTORS, AS REQUIRED BY NFPA 72. SMOKE DETECTORS LOCATIONS NOT TO EXCEED EVERY 500 SQ. FT. IN BOTH GARAGE AND LIVING QUARTERS. MUST BE IN STAIR, ELEVATOR LOBBY, BEDROOM, KITCHEN, ETC.

PHASE I NEW CARRIAGE HOUSE FOR PATRICK & KELLY PATTEN 1558 LULING STREET, MOBILE, ALABAMA

INDEX OF DRAWINGS

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SCOPE OF WORK

THIS IS THE FIRST PHASE OF A THREE PHASE TOTAL PROJECT, AND IS TO CONSTRUCT A TWO-STORY WOOD FRAMED SLAB ON GRADE CARRIAGE HOUSE OF APPROXIMATELY 2,276 SQ. FT.

STRUCTURE SHALL HAVE A GARAGE AT FIRST FLOOR WITH SUPPORT SPACES INCLUDING TOILET, SHOWER STORAGE AND ELEVATOR, AND INCLUDING STAIR.

SECOND FLOOR SHALL BE EQUIPPED AS TEMPORARY LIVING QUARTERS FOR OWNER AND HIS FAMILY WHILE MAIN DWELLING IS BEING RENOVATED, AND SHALL INCLUDE KITCHEN, LIVING AND HOME OFFICE AS WELL AS STAIRS AND ELEVATOR.

ALL CONSTRUCTION SHALL MEET 145 MPH WINDS, 3 SECOND GUSTS, OR AS SPECIFIED IN STRUCTURAL WHICH EVER IS MORE STRINGENT. AND ALL OF THE CODES AS ADOPTED BY THE CITY OF MOBILE, INCLUDING PLUMBING, ELECTRICAL AND/OR HVAC.

CODES:

2021 INTERNATIONAL RESIDENTIAL CODE AND ANY AMENDMENT MADE BY THE CITY OF MOBILE.
2020 NATIONAL ELECTRICAL CODE.

SQUARE FOOTAGES

FIRST FLOOR:		SECOND FLOOR:	
22'-6" X 5'-0"	112.5 SQ. FT.	22'-6" X 5'-0"	112.5 SQ. FT.
+30'-0" X 33'-4"	+ 1,000.0 SQ. FT.	30'-0" X 33'-4"	1,000.0 SQ. FT.
SUB TOTAL	1,112.5 SQ. FT.	+3'-8" X 14'-1"	+ 51.5 SQ. FT.
		SUB TOTAL	1,164.0 SQ. FT.

GRAND TOTAL 2,276.5 SQ. FT.



DENNIS CARLISLE
ARCHITECT

COMMERCIAL/RELIGIOUS
CUSTOM RESIDENTIAL
HISTORIC RESTORATION

1568 MONTEREY PL., MOBILE, AL 36601
(251) 619-4405
DENNICARLISLEARCHITECT
HOMESTADCLLOUD.COM

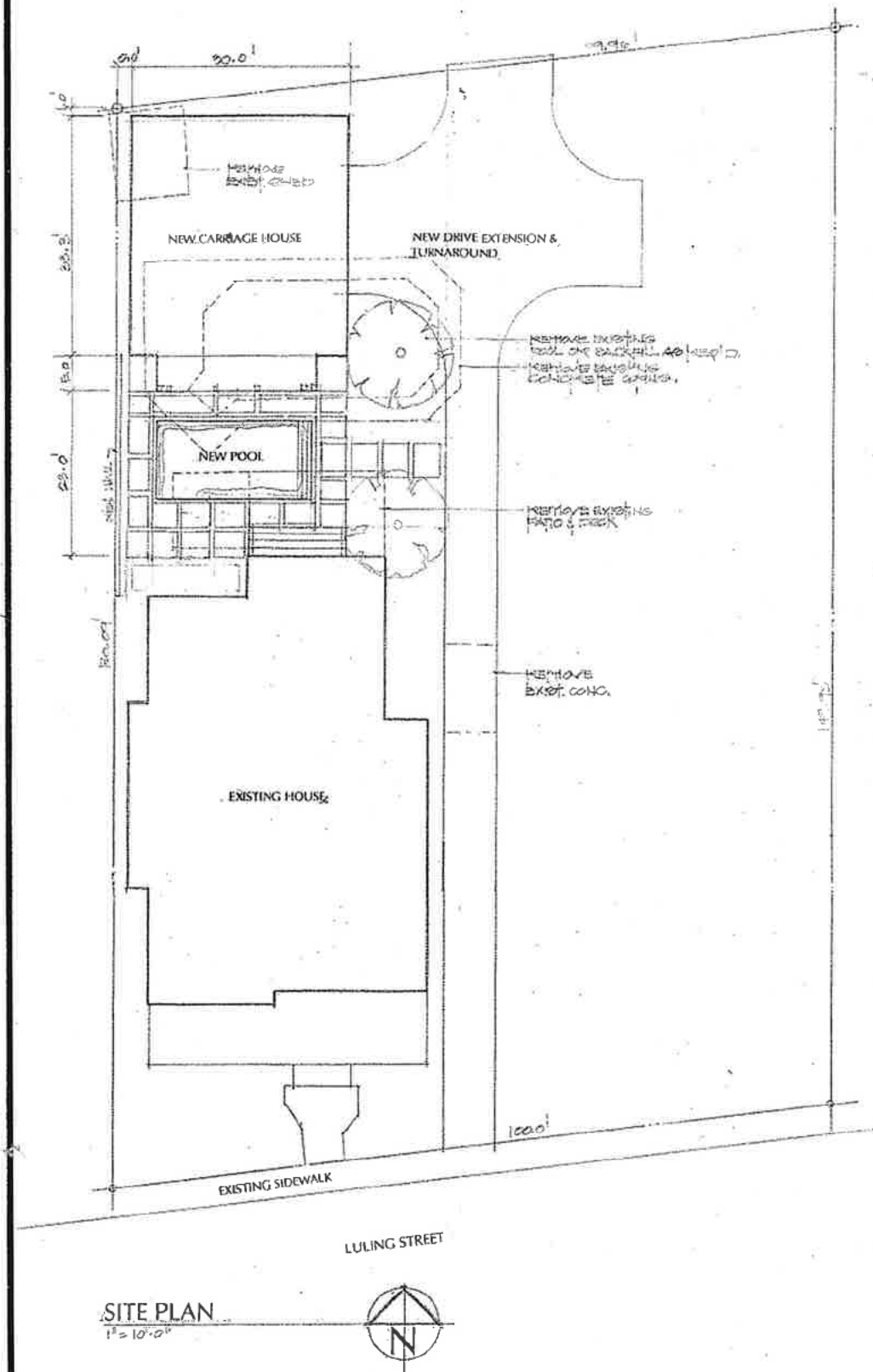
THIS DRAWING IS THE PROPERTY OF DENNIS CARLISLE, ARCHITECT, and is not to be reproduced or copied in whole or in part. It is only to be used for the project and for specific conditions stated hereon and is not to be used on any other project. It is to be returned upon request. Scales as stated hereon are valid on the original drawing, the dimensions of which are 24x36 inches.



Job No. Sheet No.

Date 4/10/25
7/20/25

A.1



SPECIFICATIONS

1. CONCRETE: REFER TO STRUCTURAL. NOTE: GARAGE CONCRETE FLOOR SHALL BE 5" THICK. CONCRETE IN GARAGE SHALL BE COATED WITH ARMOKTHANE POLYUREA INDUSTRIAL 2-PART SYSTEM, INSTALLED BY QUALIFIED INSTALLER.
2. MASONRY: REFER TO STRUCTURAL.
3. WOOD:
 - A. FOR STRUCTURAL LUMBER REFER TO STRUCTURAL DOCUMENTS.
 - B. CEMENTITIOUS WOOD SIDING SHALL BE JAMES HARDI ARTISAN LAP SIDING, SMOOTH, MATCHING EXISTING HOUSE SIDING EXPOSURE OF 6".
 - C. WOOD FLOORS: FLOORS WHERE CALLED FOR, INCLUDING STAIR AND STAIR LANDINGS AND ENTRY Foyer FIRST FLOOR, SHALL BE RED OAK SOLID FLOORING 3/4" x 4" T&G, INSTALLED OVER MIN. 1/2" CDX PLYWOOD. HARDWOOD SHALL BE LAID PERPENDICULAR TO FLOOR JOISTS. FINISH SHALL BE SELECTED. PRICE AS ALTERNATE CUSTOM MILLED RECLAIMED TIMBER.
 - D. SHIP LAP INTERIORS SHALL BE SMOOTH FINISH BOARD 3/4" x 7-1/2" WITH 1/16" GAPS.
 - E. BEAD BOARD IN GARAGE SHALL BE MANUFACTURED BY AMERICAN BEADBOARD 5/8" THICK, NOF. MOISTURE RESISTANT PLANK. SEE DRAWINGS FOR PANELING.
4. CERAMIC TILE: CERAMIC TILE FOR KITCHEN FLOOR, WALLS AND FOR RESTROOMS AND SHOWERS SHALL BE SELECTED BY OWNER.
5. GRANITE: GRANITE FOR COUNTERTOPS, BAR TOP AND BATH SHALL BE SELECTED BY OWNER.
6. PAINT:
 - A. ALL EXTERIOR TRIM SHALL BE PRIMED AND PAINTED TWO (2) COATS AND PAINTED ON BACKSIDE. PRIME WITH OIL-BASED PRIMER AND FINISH WITH TWO (2) COATS LATEX PAINT. COLORS SHALL BE WHITE UNLESS STATED AND SHADE OF WHITE SHALL BE SELECTED. SIDING SHALL BE DELIVERED PRIMED BY MANUFACTURER AND THEN TWO (2) COATS UNLESS OTHERWISE STATED. PAINT SHALL BE BENJAMIN MOORE OC-145 ATRIUM WHITE.
 - B. SHUTTERS: BENJAMIN MOORE HC-138 NEWBERG GREEN.
 - C. ALL INTERIOR WOOD SHIP LAP, MOLDINGS, PANELING TRIM, CASINGS, ETC., INCLUDING DOORS SHALL BE PRIMED AND PAINTED TWO (2) COATS INTERIOR LATEX UNLESS OTHERWISE STATED. PAINT SHALL BE BENJAMIN MOORE AF-20 MASCARONE.
7. CABINET WORK: KITCHEN AND BATH CABINETS SHALL BE QUALITY SHOP BUILT CABINETS OF 3/8" PLYWOOD MEETING ANI STANDARDS, WITH FULL PLYWOOD BACKS. DOOR PANELING STYLE SHALL BE SHAKER OR GLASS READY. HINGES SHALL BE SOFT CLOSE. CONCEALED AND ADJUSTABLE HINGES UNDERMOUNT SOFT-CLOSE DRAWER GLIDES. DOVETAIL DRAWER BOXES. LIFETIME WARRANTY FOR CABINETS. CABINET HARDWARE SELECTED BY OWNER FROM RAYFORD'S. MATCH DOOR HARDWARE FINISH.
8. WINDOWS: WINDOWS SHALL BE IMPACT RATED KOLBE ULTRA SERIES OR MARVIN ULTIMATE IMPACT RATED WITH ALUMINUM EXTERIORS AND WOOD INTERIORS. NOTE: STAIR WINDOW SHALL BE LOW E GLASS SOLAR CONTROL.
9. DOORS - MAHOGANY EXTERIOR DOORS: SAND AS REQUIRED BEGINNING WITH PROPER GRIT SANDPAPER AND FINISHING WITH FINER GRIT SAND PAPER PRIOR TO APPLYING VARNISH. FINISH BY USING EPIFANES CLEAR VARNISH FOR THE FIRST FIVE LAYERS. AFTER THE SOLID BUILD-UP USE A MIN. OF AT LEAST TWO COATS OF WOODFINISH MATTE. TOTAL COATS A MINIMUM OF SEVEN. THE HIGH GLOSS OF THE FIRST FIVE COATS ENSURES UV PROTECTION, THE LAST TWO COATS WILL PROVIDE A SATIN FINISH. USE THE PROPER THINNING AS RECOMMENDED BY THE MANUFACTURER AND USE A MINIMUM OF 24 HOURS DRYING TIME BETWEEN COATS. NOTE THAT SEVEN (7) COATS ARE MINIMUM ALSO FOR MAINTENANCE. DOORS SHALL BE (RECOMMENDED) TO BE CLEANED AND RE-COATED WHEN REQUIRED, OR EVERY FEW YEARS.
10. TERNE STANDING SEAM ROOFING: STAINLESS STEEL SHEET METAL MANUFACTURED WITH 304 STAINLESS STEEL COATED BOTH SIDES WITH TERNE ALLOY 50% TIN, 50% ZINC MEETING ASTM REQUIREMENTS FOR TERNE METAL.
11. DOOR HARDWARE: BALDWIN RESERVE SERIES IN VENETIAN BRONZE. NOTE: THIS IS A GUIDE AND SHALL BE VERIFIED WITH OWNER. ENTRY AT STAIR #1: BALDWIN NAPA HANDLESET AND FEDERAL LEVER - ROUND AT INTERIOR. COORDINATE WITH OWNER FOR ENTRY KEYPAD. LOUVERED DOOR #2: BALDWIN PULL HANDLESET WITH DEADBOLT AND CYLINDER LOCK AND THUMB LATCH FACE MOUNT. PROVIDE BARN DOOR FACE MOUNT TRACK AND FLUSH PULL WITH LOCK. DOOR #4 SIMILAR. POCKET DOORS: TYPICAL AS DOOR #3. RECTANGULAR ESTATE FLUSH PRIVACY MORTISE SET. STORAGE: GENERALLY, PROVIDE BALDWIN FEDERAL LEVER WITH DEADBOLT LOCK. ENTRANCE DOOR AT STAIR: BALDWIN RESERVE NAPA FEDERAL SINGLE CYLINDER UNIT DEADBOLT. POCKET DOORS: FLUSH PULLS AND MORTISED PULL RINGS. FLUSH PULLS SHALL BE LOCKABLE. FEDERAL RESERVE LEVER PASSAGE SETS FOR CLOSETS AND PANTRY. RESERVE FEDERAL PRIVACY SETS. FRENCH DOORS: BALDWIN RESERVE LEVER HANDLE SINGLE CYLINDER MORTISE SETS, OPERABLE LEAF WITH ASTRAGAL.
12. LIGHTING:
 - A. PORCH PENDANT: CAPITAL LIGHTING BRADFORD 345431BK OILED BRONZE. UTT-230281. UTT-23562 BRONZE AND ANTIQUE BRASS 16".
 - B. KITCHEN PENDANTS: PLACUNA PENDANTS BY LUTHERMOST UTT-32028.
 - C. BATH AT SECOND FLOOR: HEREGEL HG-S000 DIMMABLE.
 - D. SEE DRAWINGS FOR RECESSED CANS. REMAINDER SELECTED BY OWNER.
 - E. GOODENICK BARN LIGHT: GARDENIA BARN GOODENICK LIGHT, DARK BRONZE, WITH 16" SHADE. HEAVY DUTY LED LIGHTING.
13. HEAT PUMP AND WATER HEATER: PROVIDE 50 GALLON HEAT PUMP WATER HEATER.
14. ELECTRICAL: WIRE HOUSE FOR INTERNET. WIRE FOR VIDEO SURVEILLANCE. NOTE: PROVIDE CONDUIT STRIP-UP. INSTALL A 1" EMPTY PVS SCHEDULE 40 CONDUIT CONCEALED IN WALL FROM GARAGE LEVEL TO THE 2ND FLOOR LIVING QUARTERS AT A LOCATION TO BE DETERMINED BY THE OWNER. TERMINATE EACH END IN A 4" SQUARE BOX WITH A BLANK COVER PLATE. INSTALL PULL ROPE IN THE CONDUIT.
15. PAINT: ALL PAINT SHALL BE BENJAMIN MOORE. PRIME WITH OIL BASE THEN FINISH WITH TWO (2) COATS LATEX. COLORS SELECTED TO BE COORDINATED WITH OWNER.
16. PLUMBING: FIXTURES SELECTED BY OWNER, INSTALLED BY CONTRACTOR. SEE DRAWINGS FOR KITCHEN SINK.
17. APPLIANCES: SELECTED BY OWNER, INSTALLED BY CONTRACTOR. RECOMMEND SUB-ZERO FREEZER, WOLF INDUCTION RANGE AND COVE DISHWASHER.
18. SMOKE ALARMS AND SMOKE DETECTION: INSTALL SMOKE ALARMS AND SMOKE DETECTORS, AS REQUIRED BY NFPA 72. SMOKE DETECTORS LOCATIONS NOT TO EXCEED EVERY 500 SQ. FT. IN BOTH GARAGE AND LIVING QUARTERS. MUST BE IN STAIR, ELEVATOR LOBBY, BEDROOM, KITCHEN, ETC.

PHASE I NEW CARRIAGE HOUSE FOR PATRICK & KELLY PATTEN 1558 LULING STREET, MOBILE, ALABAMA

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- S2-0 SECOND FLOOR CEILING FRAMING PLAN, ROOF FRAMING PLAN
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- S7-0 SECTIONS, DETAILS

SCOPE OF WORK

THIS IS THE FIRST PHASE OF A THREE PHASE TOTAL PROJECT, AND IS TO CONSTRUCT A TWO-STORY WOOD FRAMED SLAB ON GRADE CARRIAGE HOUSE OF APPROXIMATELY 2,276 SQ. FT.

STRUCTURE SHALL HAVE A GARAGE AT FIRST FLOOR WITH SUPPORT SPACES INCLUDING TOILET, SHOWER STORAGE AND ELEVATOR, AND INCLUDING STAIR.

SECOND FLOOR SHALL BE EQUIPPED AS TEMPORARY LIVING QUARTERS FOR OWNER AND HIS FAMILY WHILE MAIN DWELLING IS BEING RENOVATED, AND SHALL INCLUDE KITCHEN, LIVING AND HOME OFFICE AS WELL AS STAIRS AND ELEVATOR.

ALL CONSTRUCTION SHALL MEET 145 MPH WINDS, 3 SECOND GUSTS, OR AS SPECIFIED IN STRUCTURAL WHICH EVER IS MORE STRINGENT. AND ALL OF THE CODES AS ADOPTED BY THE CITY OF MOBILE, INCLUDING PLUMBING, ELECTRICAL AND/OR HVAC.

CODES:

2021 INTERNATIONAL RESIDENTIAL CODE AND ANY AMENDMENT MADE BY THE CITY OF MOBILE.
2020 NATIONAL ELECTRICAL CODE.

SQUARE FOOTAGES

FIRST FLOOR:		SECOND FLOOR:	
22'-6" X 5'-0"	112.5 SQ. FT.	22'-6" X 5'-0"	112.5 SQ. FT.
+30'-0" X 33'-4"	+ 1,000.0 SQ. FT.	30'-0" X 33'-4"	1,000.0 SQ. FT.
SUB TOTAL	1,112.5 SQ. FT.	+3'-8" X 14'-1"	+ 51.5 SQ. FT.
		SUB TOTAL	1,164.0 SQ. FT.

GRAND TOTAL 2,276.5 SQ. FT.



DENNIS CARLISLE
ARCHITECT

COMMERCIAL/RELIGIOUS
CUSTOM RESIDENTIAL
HISTORIC RESTORATION

1568 MONTEREY PL., MOBILE, AL 36601
(251) 619-4405
DENNICARLISLEARCHITECT
HOMESTADCLLOUD.COM

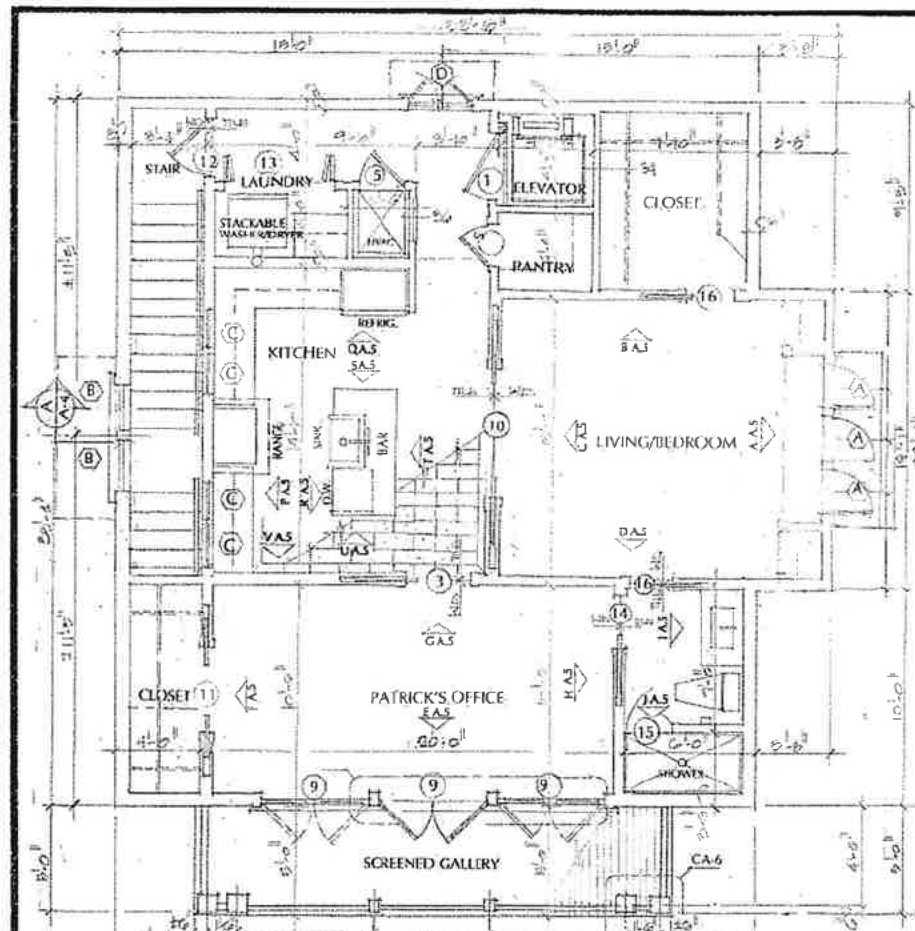
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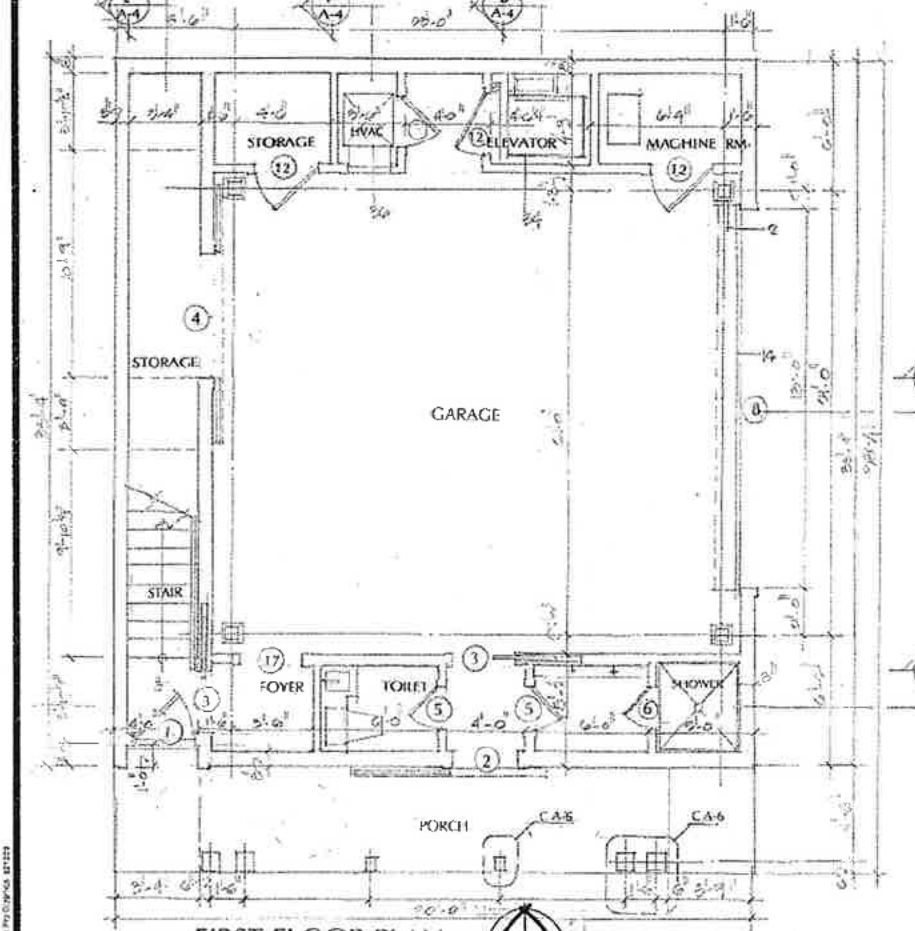
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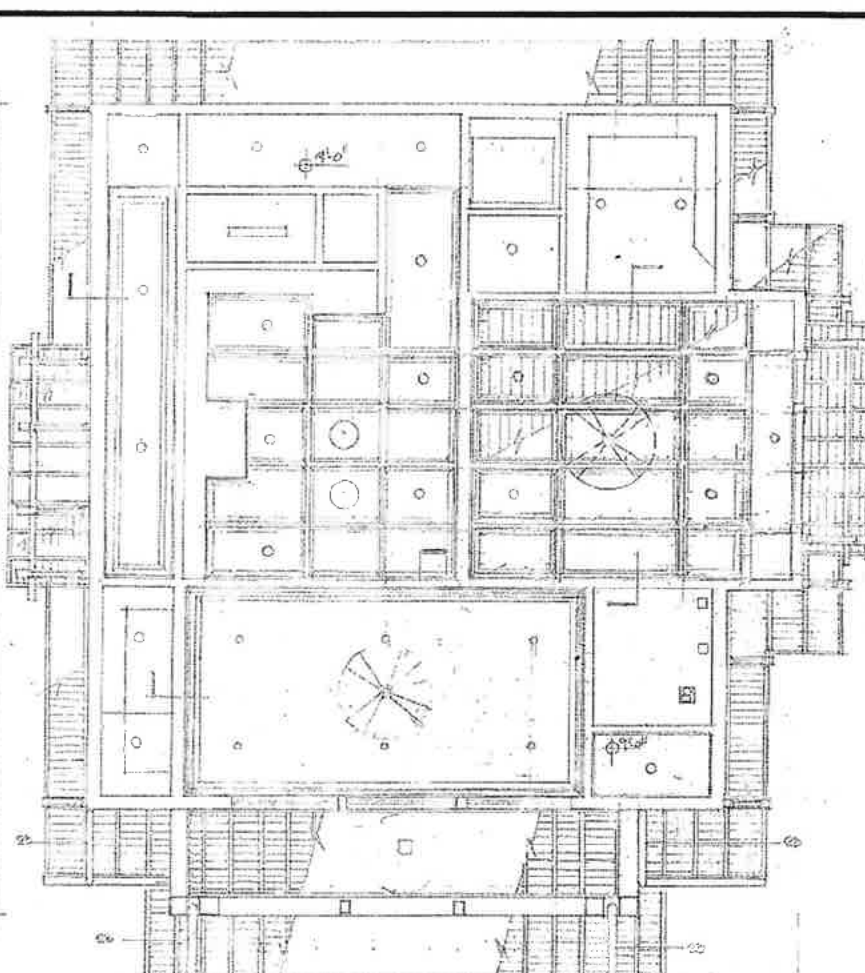
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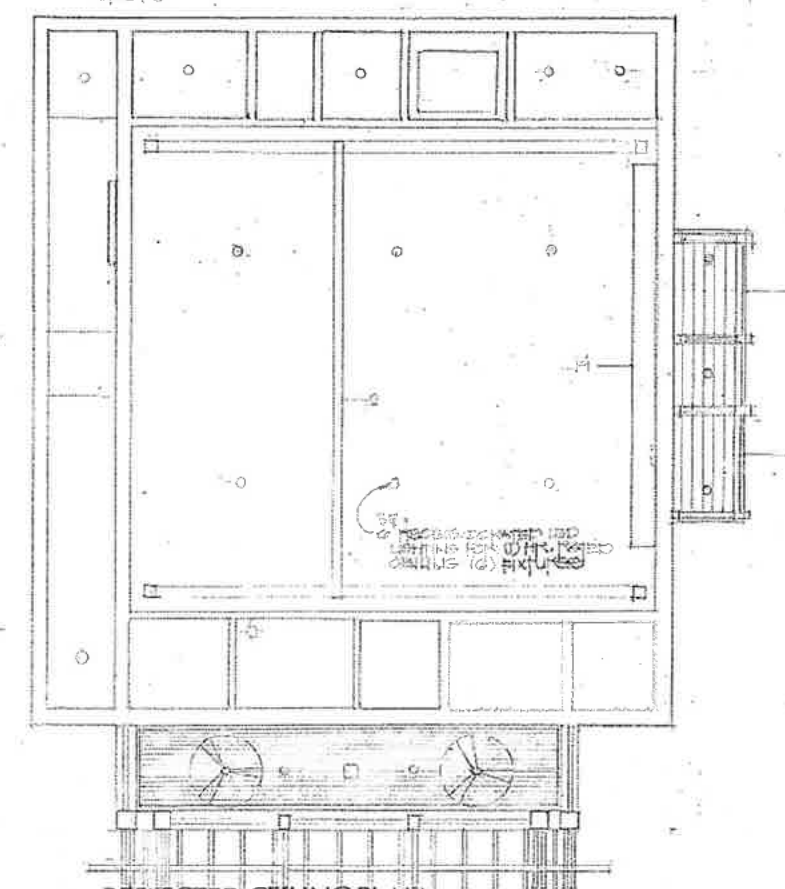
SECOND FLOOR PLAN



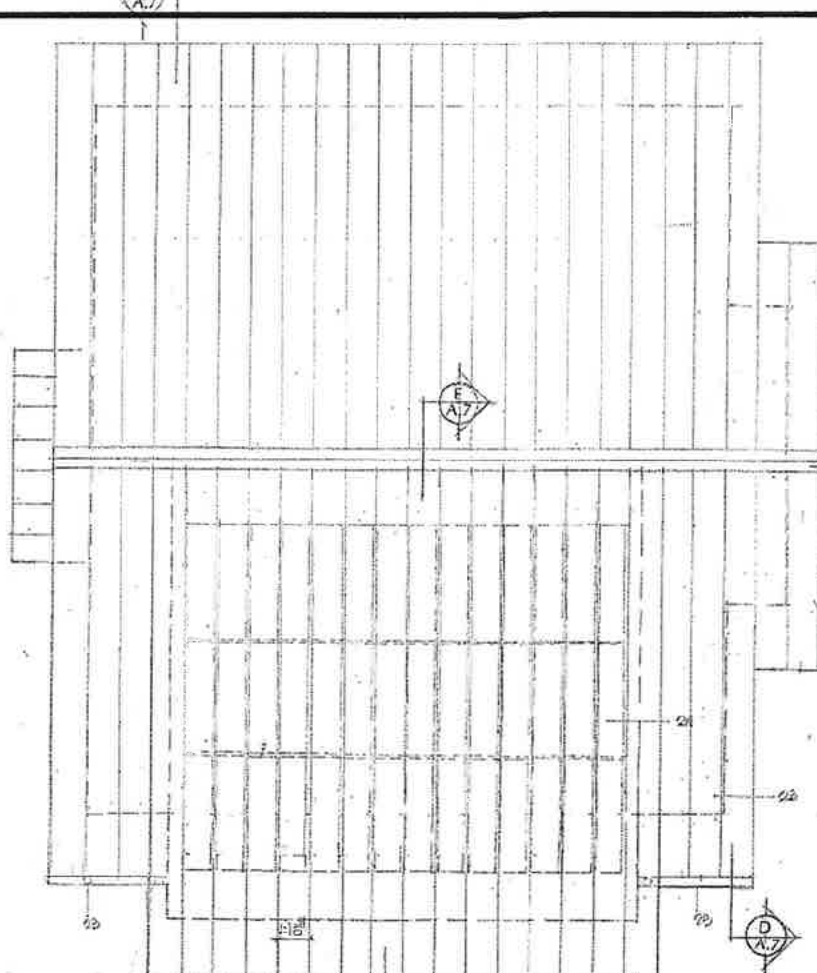
FIRST FLOOR PLAN



REFLECTED CEILING PLAN



REFLECTED CEILING PLAN



ROOF PLAN

FINISH SCHEDULE

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL	REMARKS
1	CEILING	1000	SQ. FT.	1.00	1000.00	
2	FLOOR	1000	SQ. FT.	1.00	1000.00	
3	WALLS	1000	SQ. FT.	1.00	1000.00	
4	DOORS	10	EA.	100.00	1000.00	
5	WINDOWS	20	EA.	50.00	1000.00	
6	STAIRS	10	EA.	100.00	1000.00	
7	TOILETS	2	EA.	500.00	1000.00	
8	SHOWERS	2	EA.	500.00	1000.00	
9	MACHINE RM.	1	EA.	1000.00	1000.00	
10	STORAGE	1	EA.	1000.00	1000.00	
11	GARAGE	1	EA.	1000.00	1000.00	
12	FOYER	1	EA.	1000.00	1000.00	
13	KITCHEN	1	EA.	1000.00	1000.00	
14	LIVING/BD RM.	1	EA.	1000.00	1000.00	
15	PATRICK'S OFFICE	1	EA.	1000.00	1000.00	
16	SCREENED GALLERY	1	EA.	1000.00	1000.00	
17	CLOSET	1	EA.	1000.00	1000.00	
18	LAUNDRY	1	EA.	1000.00	1000.00	
19	STAIR	1	EA.	1000.00	1000.00	
20	PORCH	1	EA.	1000.00	1000.00	




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COMMERCIAL-RELIGIOUS
CUSTOM RESIDENTIAL
HISTORIC RESTORATION

1548 MONTEREY PL., MOBILE, AL. 36604
(251) 610-4405
DENNIS@CARLISLEARCHITECT.COM
HOMES@CARLISLEARCHITECT.COM

KEYNOTES

1. Concrete slab on grade over compacted fill.
2. 100 lb. concrete block, 12" capacity brick masonry.
3. Foundation: See Structural.
4. Hardi-Anneal siding with mixed corners over 1/2" sub. Siding: "Standard" 1/2" x 6" over 1/2" sub. Energy Shield Plywood 5/8" insulation over Hardi-Anneal. Weather Barrier over 1/2" plywood sheathing over 2x4 studs at 16" o.c. Fill wall cavity with R-15 Rockwool comfort batt. Finish interior w/ 1/2" Gypsum Board or as specified.
5. Siding as floor line and/or as plan. Provide 1/2" sub. gyp. inc. studs. Install brackets in recess.
6. Hardi-Anneal siding with mixed corners over 1/2" sub. Siding: "Standard" 1/2" x 6" over 1/2" sub. Energy Shield Plywood 5/8" insulation over Hardi-Anneal. Weather Barrier over 1/2" plywood sheathing over 2x4 studs at 16" o.c. Fill wall cavity with R-15 Rockwool comfort batt. Finish interior w/ 1/2" Gypsum Board or as specified.
7. Interior wall of 2nd story at 16" o.c. w/ 1/2" Gypsum Board or as specified.
8. Floor system shall be wood 1x6 flooring or as specified over 1/2" sub. plywood and screed over 1/2" sub. floor joists perpendicular to framing over 2x8" sub. floor joists. Floor mat over 1/2" sub. floor over 1/2" sub. floor joists. 1/2" x 6" type X Gypsum ceiling. Install 1/2" Rockwool sound batt. Finish interior w/ 1/2" Gypsum Board on walls and ceiling separating garage from living areas.
9. Wood joists: 12" o.c. over 1/2" sub. floor over 1/2" sub. floor joists. 1/2" x 6" type X Gypsum ceiling. Install 1/2" Rockwool sound batt. Finish interior w/ 1/2" Gypsum Board on walls and ceiling separating garage from living areas.
10. Wood joists: 12" o.c. over 1/2" sub. floor over 1/2" sub. floor joists. 1/2" x 6" type X Gypsum ceiling. Install 1/2" Rockwool sound batt. Finish interior w/ 1/2" Gypsum Board on walls and ceiling separating garage from living areas.
11. Porch system: 12" o.c. over 1/2" sub. floor over 1/2" sub. floor joists. 1/2" x 6" type X Gypsum ceiling. Install 1/2" Rockwool sound batt. Finish interior w/ 1/2" Gypsum Board on walls and ceiling separating garage from living areas.
12. Wood joists: 12" o.c. over 1/2" sub. floor over 1/2" sub. floor joists. 1/2" x 6" type X Gypsum ceiling. Install 1/2" Rockwool sound batt. Finish interior w/ 1/2" Gypsum Board on walls and ceiling separating garage from living areas.
13. Wood joists: 12" o.c. over 1/2" sub. floor over 1/2" sub. floor joists. 1/2" x 6" type X Gypsum ceiling. Install 1/2" Rockwool sound batt. Finish interior w/ 1/2" Gypsum Board on walls and ceiling separating garage from living areas.
14. Roof system: 12" o.c. over 1/2" sub. floor over 1/2" sub. floor joists. 1/2" x 6" type X Gypsum ceiling. Install 1/2" Rockwool sound batt. Finish interior w/ 1/2" Gypsum Board on walls and ceiling separating garage from living areas.
15. Roof system: 12" o.c. over 1/2" sub. floor over 1/2" sub. floor joists. 1/2" x 6" type X Gypsum ceiling. Install 1/2" Rockwool sound batt. Finish interior w/ 1/2" Gypsum Board on walls and ceiling separating garage from living areas.
16. Roof system: 12" o.c. over 1/2" sub. floor over 1/2" sub. floor joists. 1/2" x 6" type X Gypsum ceiling. Install 1/2" Rockwool sound batt. Finish interior w/ 1/2" Gypsum Board on walls and ceiling separating garage from living areas.
17. Roof system: 12" o.c. over 1/2" sub. floor over 1/2" sub. floor joists. 1/2" x 6" type X Gypsum ceiling. Install 1/2" Rockwool sound batt. Finish interior w/ 1/2" Gypsum Board on walls and ceiling separating garage from living areas.
18. Roof system: 12" o.c. over 1/2" sub. floor over 1/2" sub. floor joists. 1/2" x 6" type X Gypsum ceiling. Install 1/2" Rockwool sound batt. Finish interior w/ 1/2" Gypsum Board on walls and ceiling separating garage from living areas.
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20. Roof system: 12" o.c. over 1/2" sub. floor over 1/2" sub. floor joists. 1/2" x 6" type X Gypsum ceiling. Install 1/2" Rockwool sound batt. Finish interior w/ 1/2" Gypsum Board on walls and ceiling separating garage from living areas.



Job No. _____ Sheet No. **A.2**

Date **4/16/19**



